

AGENDA

Board of Public Works Meeting

Tuesday, July 25, 2017 - **7:00 p.m.**

Jackson Village Hall

N168W20733 Main Street

Jackson WI 53037

1. Call to Order and Roll Call.
2. Approval of Minutes for May 30, 2017, meeting.
3. Review of Bid Storm Water Drainage Stonehedge Drive.
4. Final Pay Request – Stonewall Sidewalk Project – Johnson & Sons Paving.
5. Review of Pay Request #3 Chateau Dr Reconstruction Project.
6. Discussion on Special Assessment for final lift of asphalt.
7. Discussion on year-round street parking Georgetown Drive
8. Final Pay Request – Industrial Dr. Sidewalk Project – TP Concrete Inc.
9. Selling of Village Equipment.
10. Director of Public Works Report.
11. Citizens/Village Staff to address the Board.
12. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

APPROVED MINUTES
Board of Public Works Meeting
Tuesday, June 27, 2017 –7:00 p.m.
Jackson Village Hall
N168W20733 Main Street

1. Call to Order and Roll Call.

Chairman Tr. Don Olson called the meeting to order at 7:00 p.m.

Members present: Brian Heckendorf, Tr. Lippold, Linda Granec, Scott Thielmann, and Tr. Kufahl.

Excused: Gloria Teifke.

Trustees Present: Tr. Emmrich and Tr. Kurtz

Staff present: Brian Kober, John Walther, and Deanna Boldrey.

2. Approval of Minutes for May 30, 2017, meeting.

Motion by Scott Thielmann, second by Tr. Kufahl to approve the minutes of the May 30, 2017, Board of Public Works meeting.

Vote: 6 ayes, 0 nays. Motion carried.

9. Citizens/Village Staff to Address the Board.

Brian Kober commented that there are several Village citizens at the meeting to make comments and suggested to allow individuals speak and hear their concerns.

Chairman Tr. Olson allowed citizens to speak and limited their time to three minutes.

Jennifer Bateman from Stonewall Dr. commented on the possible special assessment in their condo development. She commented that previously a resident was told the road would be completed after construction is completed. She commented that now the possible special assessment is showing up on title searches where previously it was not. They are trying to determine which properties will be in the special assessment area. Jennifer questioned the timing of why is this coming up now when there will be construction continuing?

Stephanie Egner of Willow Ridge Dr. commented that she has similar questions to Jennifer Bateman and questioned where the second lift of asphalt will be and who will be assessed?

Jack Boerger of Cedar Run Dr. commented on the boulevard on Cedar Run Drive and Hickory. He commented on the boulevard that is covered with wood chips, wild day lilies, and large weeds. This is causing a site problem. He requested for the Village to put the area back into grass and the Condo association would care for it and cut the grass. Pictures were uploaded to the laptops.

Mike Hansen of Chateau Dr. commented on the seeding on Chateau Dr. Part of his property needs reseeded.

Ron Stuebs of Stonewall Dr. commented on the title search. He commented that many of the

condo owners are not happy about the assessment. He commented that a letter should be sent to the affected property owners rather than the posted agendas. He was told to look for the postings at the Village Hall, the Post Office and Community Center as well as on-line.

Deborah Foster of Stonewall Dr. commented that she had asked about the road in 2011 or 2012 when she moved in and was told the road would be completed after the construction was completed.

Ron Stuebs added that there will be four more buildings on Stonewall Heights.

Glen Kaebisch from Cedar Run Dr. commented on the tall weeds on Cedar Run Dr.

Mike Sandeal from Chateau Dr. in regards to the driveway approaches / entrances do not line up with the driveways; they are not centered. He brought pictures.

3. Review of Storm Water Drainage Stonehedge Drive.

Brian Kober reviewed the project with TP Concrete, and the comment was that this is a major project. Everyone's storm lateral in the project area should be hooked up. The Village would have to go out to bid since the proposed cost is over \$25,000. Brian recommended doing the project with another road project next year as most contractors have their projects for the year already.

Discussion of going out to bid now ensued and see where the bids come in at depending on the market and availability.

Motion by Tr. Olson, second by Linda Granec to bid the project out prior to the July Public Works meeting, and bring results back to meeting for discussion.

Vote: 6 ayes, 0 nays. Motion carried.

4. Review of Change Order #2 Chateau Dr. Reconstruction Project.

Brian Kober reported on the item. A punch list of the project has been created. The landscaping is part of the punch list. The landscaper will "keep an eye on it". Brian is working with the contractor on the driveway approaches and landscaping. Some of the property owners had requested a wider driveway approach. Brian Kober recommended the change order of \$1,572. Brian commented that the grant paperwork will be completed on schedule.

Motion by Tr. Kufahl, second by Linda Granec to recommend approval the change order in the amount of \$1,572.

Vote: 6 ayes, 0 nays. Motion carried.

5. Review of Pay Request #3 Chateau Dr. Reconstruction Project.

Brian Kober will communicate with contractor on the punch list items.

Motion by Tr. Olson, second by Linda Grance refer pay request #3 to next meeting, and until the outstanding items are resolved.

Vote: 6 ayes, 0 nays. Motion carried.

6. Discussion on Special Assessment for final lift of asphalt.

Brian reported on the item. There has not been a special assessment issued. The discussion is how to complete the final lift of asphalt. Brian reported that he is working with BMO Harris Corporate in regards to the English Oaks final lift of asphalt and now communicating with email since phone messages were not working. Brian gave history to the item as English Oaks and Stonewall has been on the Director's Report for some time. The item was just agendaized last meeting. This is now on the title search as it is on the agendas and a possible / contemplated assessment at this point. Brian Kober commented that the approval of the remaining buildings will need to come before the Village for the rest of the development. There is not a developer's agreement for the remaining parcels. Plus, there are no approved plans or timeline for the remaining construction of buildings. Brian reviewed the possible special assessment area and potential building sites. The road will continue to deteriorate without the final lift.

Motion by Tr. Olson, second by Scott Thielmann for Brian Kober to reach out to the developers for the future plans and to look at the costs of the project and what applies to Living Word and the Truck Stop. Brian is following up with the BMO Harris Bank for the English Oaks project. Vote: 6 ayes, 0 nays. Motion carried.

7. Resolution 17-14 – Adopting 2016 Compliance Maintenance Annual Report for Jackson Sewer Utility.

Brian reviewed the report. Brian pointed out the flow and the phosphorus rates. There were no violations in the report. The overall rating is an "A".

Motion by Tr. Olson, second by Tr. Kufahl to recommend approval of Resolution 17-14 Adopting the 2016 Compliance Maintenance Annual Report for the Jackson Sewer Utility. Vote: 6 ayes, 0 nays. Motion carried.

8. Director of Public Works report.

Brian Kober gave the report. Brian talked to the Washington County Highway Commissioner on ownership of old park and ride lot. Brian has reached out to the DOT in regards to the Railroad tracks and Hwy 60. The DOT has said all projects are not being completed due to lack of funding.

Motion by Linda Granec, second by Brian Heckendorf to place the Director of Public Works report on file.

Vote: 6 ayes, 0 nays. Motion carried.

9. Citizens/Village Staff to Address the Board.

Brian Emmrich commented for future projects to have sod instead of grass seed and then give credit for the water used for watering. He questioned if there was a bond for the Stonewall project? John Walther reported that there was letter of credit but it has expired.

Unknown individual questioned the assessment process. He commented that a lot of other people use the Stonewall Roads. Tr. Olson commented that normally the developers are responsible.

Debbie Kurtz questioned if it is a letter of credit or bonds?

An unknown resident commented that he believed that the assessment would be retro.

An unknown resident commented if this is a breach of contract or considered part of the easement.

The weeds on the Cedar Run Boulevard were discussed. Brian will draft an agreement with the condo association for the Village Board Meeting.

Brian Emmrich commented to use stone instead of mulch on the Cedar Run Boulevard.

Brian Kober showed a damaged stop box valve from a water main leak.

10. Adjourn.

Motion by Linda Granec, second by Brian Heckendorf to adjourn at 8:33 p.m.

Vote: 6 ayes, 0 nays. Motion carried.

Respectfully submitted by: Deanna L. Boldrey, Village Clerk-Treasurer

Technical Memorandum

To: Mr. Brian Kober, Village of Jackson Director of Public Works
From: Jeff Chvosta, Gremmer & Associates
Date: May 4, 2017
Re: Stonehedge Drive – Stormwater Drainage

The Village of Jackson has retained Gremmer & Associates, Inc. to perform field survey and determine potential alternatives to alleviate drainage issues related to sump pump discharges from properties located along Stonehedge Drive in the Village of Jackson, Wisconsin. The survey was limited to the properties on the south side of Stonehedge Drive and east of Hickory Lane and specifically W194 N16013 Hickory Lane, N160 W19415 Stonehedge Drive, N160 W19391 Stonehedge Drive, and N160 W19375 Stonehedge Drive.

Based on field survey, telephone correspondence with Village officials, and a site visit it is our understanding that N160 W19391 and N160 W19375 have sump pumps that discharge frequently onto grade throughout the year. The sump pump discharges are from the northeast corner of N160 W19391 and the northwest corner of N160 W19375. These properties are located east of the high point of the roadway by approximately 50-feet. The stormwater from the sump pumps flows overland in a northern direction from the pipe discharges, before flowing over the public sidewalk, and roadway curb and gutter. Upon entering the roadway curb and gutter, the stormwater continues to flow to the north for approximately 575' before entering a storm sewer inlet. Furthermore, it is our understanding that during the winter months, the stormwater freezes within the curb and gutter and creates issues for properties located between the roadway high point and the inlet.

Given the existing conditions described above, potential alternatives were examined to alleviate the drainage issue. Numerous alternatives were considered including re-routing the sump pump discharges to backyards, grading a swale between properties to the Sherman Road ditch, burying a pipe from the sump pumps to the ditch on the north side of Sherman Road or the pond located on the south side of Sherman Road, and burying a pipe from the existing storm sewer located at the intersection of Hickory Road and Stonehedge Drive in varying locations. Upon further examination of the above mentioned alternatives, the grading of a swale between the properties to the Sherman Road ditch and the burying of a pipe to Sherman Road were eliminated from consideration due to the lack of sufficient elevation to adequately drain either alternative.

The following table summarizes the remaining potential alternatives with associated costs.

Proposed Alternatives

Alternative	Improvement	Pros	Cons	Cost
1	Re-route sump pump discharge to backyards	Lowest cost. No road work required.	Inadequate backyard drainage to Sherman Road.	\$100
2	Install storm sewer in terrace	Adequate drainage. Asphalt, curb and gutter, and sidewalk undisturbed.	Moderate cost. Street trees and driveway aprons to be removed.	\$28,350
3	Install storm sewer under sidewalk	Adequate drainage. Asphalt, curb and gutter, driveway aprons, and street trees undisturbed.	Moderate cost. Sidewalk to be removed.	\$27,775
4	Install storm sewer in roadway	Adequate drainage. Curb and gutter, driveways, street trees, and sidewalks undisturbed.	High cost. Asphalt to be removed.	\$37,500

A project location map, site pictures, alternative overview plan, and associated estimate of probable costs are attached as exhibits for reference.

Please review this information in regards to the existing drainage issue and proposed alternatives. If you have any questions or comments, you can call me at (920) 924-5720 or e-mail j.chvosta@gremmerassociates.com.

Exhibits

- 1 Location Map
- 2 Site Pictures
- 3 Alternative Overview
- 4 Estimate of Probable Costs

Agenda item documents were not received in time to be part of the packet.

The information will be distributed at the meeting.

EXHIBIT 1

PROJECT LOCATION MAP



STREET INDEX

08/15/2006

ALCAN DRIVE NW 18, NE 18
ANDREA WAY SE 20
APPLE LANE SE 13
ASH DRIVE SW 20
ASPEN DRIVE NW 20
BERRY PATCH ROAD NE 19
BUTTERNUT LANE SW 20
CAIRN COURT NE 19
CEDAR CREEK ROAD NW 18, NE 18, NW 17
CEDAR PARK COURT NE 24
CEDAR PARKWAY NE 24
CEDAR RUN DRIVE SE 20
CELTIC COURT NE 19
CENTER STREET (N) SE 18
CENTER STREET (S) NE 19
CHATEAU DRIVE SW 17
CHERRY HILL CIRCLE SW 17
CHERRY HILL COURT SW 17
CHESTNUT COURT SW 17
CLOVER LANE SE 20
COLONIAL LANE NE 18
CRANBERRY CREEK LANE NE 19
CREEKSIDE DRIVE NW 17
CRESTVIEW DRIVE NW 17
CTY TK P SE 24/SW 19 - NE 13/NW 18
DIANA DRIVE SE 13
DUNBAR COURT NW 19
DUNDEE COURT NE 19
EAGLE DRIVE NE 20, SE 17
EASTWOOD CIRCLE SE 20
ELLIOT DRIVE SE 19
EMERY WAY NE 18, SE 18
ERWIN WAY SW 20
FOREST VIEW DRIVE SE 20
FOX CREEK DRIVE SW 20
FRANCIS DRIVE NW 17
GALLOWAY COURT NE 19
GEORGETOWN DRIVE SW 17
GLEN BROOKE DRIVE NW 19, NE 19
GLEN HILL DRIVE NE 19
GLENCOE LANE NE 19, NW 19
HAWTHORN CIRCLE NW 20
HAWTHORN DRIVE NW 20
HAZELWOOD LANE NE 18
HEATHER DRIVE SE 20
HEATHER LYNN CIRCLE SE 20
HEMLOCK STREET NW 20
HICKORY LANE NW 20, NE 20, SE 20
HIGHLAND ROAD NW 17/SW 17 - NE 17/SE 17
HUNTERS ROAD SW 17
INDUSTRIAL DRIVE SW 18, SE 18, NE 18
JARED DRIVE SE 20
JACKSON DRIVE SE 19/SW 20 - NE 18/NW 17
JUNIOR STREET SE 19
KAMI LANE SE 20
KIRSTEN COURT SE 20
LEA PON CIRCLE SE 20
LINDEN CIRCLE NW 20
LINDEN DRIVE NW 20
MAIN STREET NW 24/SW 13 - NE 20/SE 17
MELROY PLACE SE 19
MEADOW LANE SW 18, SE 18
METRO COURT NE 18
MILL ROAD NE 24, SE 24
NORTHVIEW DRIVE SE 18, SW 17
NORTHWEST PASSAGE NW 18, NE 18
OAKLAND DRIVE SE 20
OAKWOOD DRIVE NW 17

OLD ORCHARD COURT SW 17
PARK COURT SW 17
PARKVIEW COURT SE 18
PARKWAY DRIVE SE 18, NE 18
PARTRIDGE PATH NE 20
PHEASANT LANE NE 20
PINE DRIVE NW 20, SW 20
PRAIRIE VIEW LANE SE 13
RAVENS WAY NE 20
RAYMOND DRIVE NW 17
REYNOLDS AVENUE SE 19
RIDGE COURT SE 18
RIDGE ROAD SE 18
RIDGWAY COURT SW 17
RIDGEWAY DRIVE SW 17
RIVERVIEW DRIVE SW 20
ROSEWOOD LANE SW 18
SCOT COURT NE 19, NW 19
SHARON LEE LANE SE 19
SHERMAN ROAD SE 19, SE 20, SW 20

SILVER CREEK LANE SW 20
SONGBIRD CIRCLE SW 20
SOUTH STREET NE 19, NW 19
SPRUCE ST NW 20
ST. ANDREWS COURT NE 19
STONEBROOK DRIVE SE 19
STONEHEDGE DRIVE SE 20
STONEWALL DRIVE SW 17, SE 17
TARTAN COURT NW 19, NE 19
TILLIE LAKE COURT SE 13
TILLIE LAKE ROAD SE 13
TOWER DRIVE SW 18, SE 18
TWEED COURT NE 19
VALLEY DRIVE SE 18
WESTERN AVENUE NE 19
WESTFIELD DRIVE NE 18, NW 17
WHITE OAK CIRCLE SW 20
WILLOW RIDGE DRIVE SW 17
WILSHIRE DRIVE SW 17
WOODLAND TRAIL NW 17
WOODSHIRE COURT NE 19

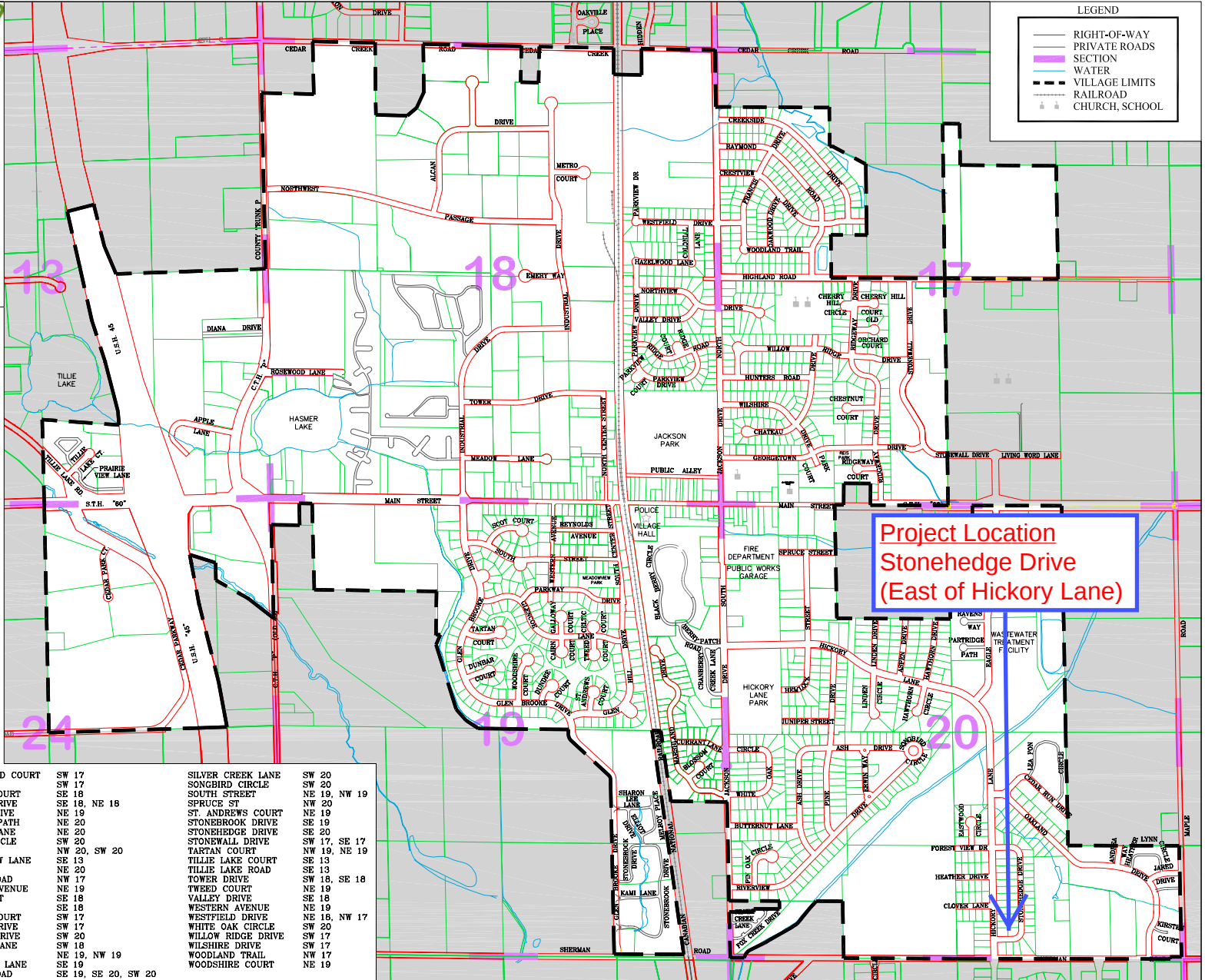


EXHIBIT 2

SITE PICTURES



Looking East from Intersection of Hickory Lane and Stonehedge Drive



Sump pump discharge from W194 N16013



Looking East from Stonehedge Drive High Point



Looking South between N160 W19391 and N160 W19375 Stonehedge Drive



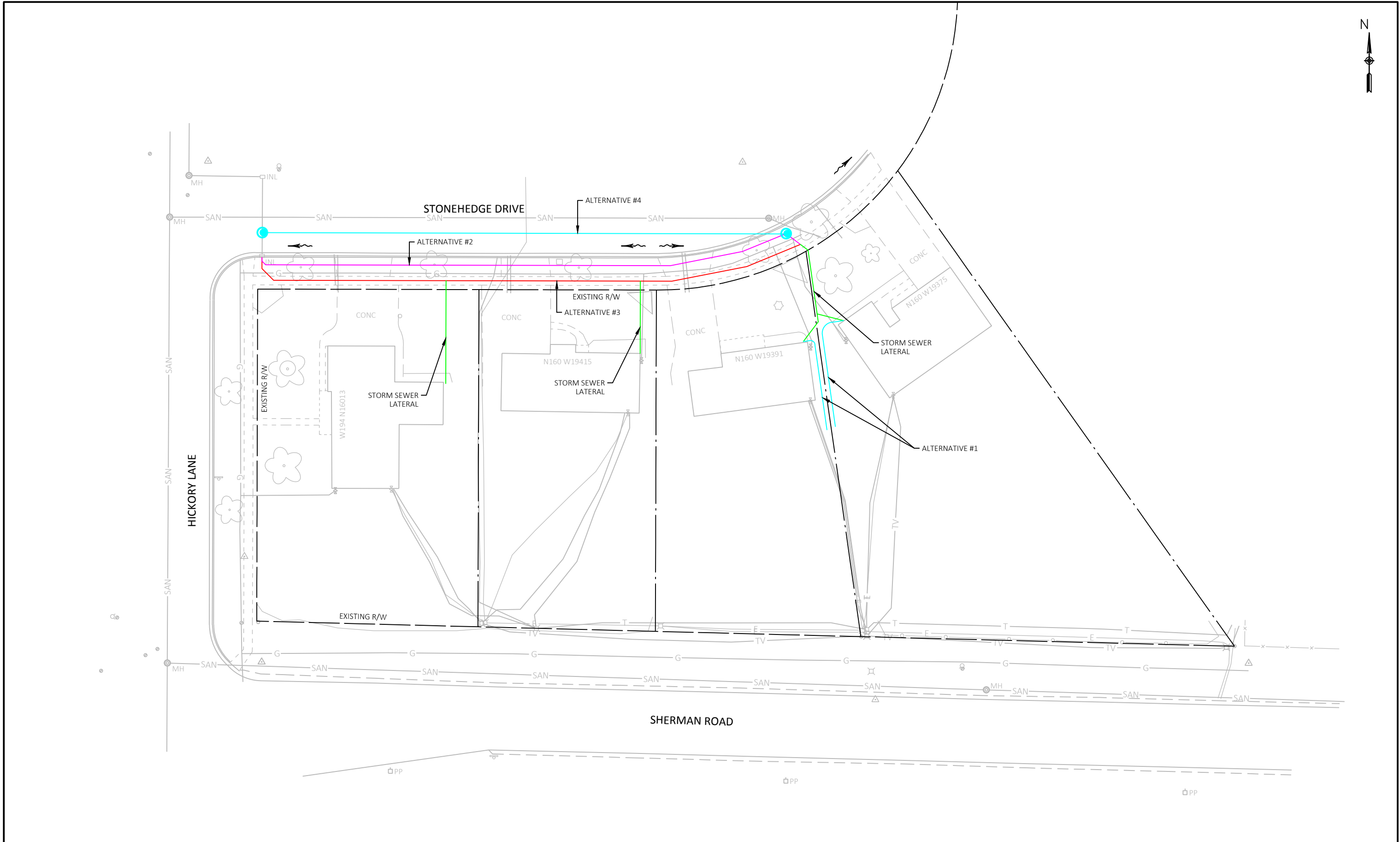
View of standing water at N160 W19391 and N160 W19375 Stonehedge Drive



Looking North between N160 W19391 and N160 W19375 Stonehedge Drive

EXHIBIT 3

ALTERNATIVE OVERVIEW



Revisions:	Job No: ----	Designed: JAC	Date: 5/4/17	 95 South Pioneer Road, Suite 300 Fond du Lac, WI 54805 (920) 924-5720 Fax: (920) 924-5725	Village of Jackson, WI Stonehedge Drive	ALTERNATIVE OVERVIEW	SHEET
		Drawn: JAC	Date: 5/4/17				1
	Date: 05/04/2017	Checked:	Date:				1

EXHIBIT 4

ESTIMATE OF PROBABLE COSTS

Stonehedge Drive - Village of Jackson
Estimate of Probable Costs
5/4/2017

				Alternative #1		Alternative #2		Alternative #3		Alternative #4	
Item No.	Description	Units	Unit Price	Quantity	Total	Quantity	Total	Quantity	Total	Quantity	Total
ROADWAY ITEMS											
100.01	Removing Concrete Sidewalk & Driveways	SY	\$5.00	-	\$0.00	80	\$400.00	115	\$575.00	15	\$75.00
100.02	Removing Curb & Gutter	LF	\$5.00	-	\$0.00	-	\$0.00	-	\$0.00	30	\$150.00
100.03	Removing Trees	EACH	\$250.00	-	\$0.00	4	\$1,000.00	-	\$0.00	-	\$0.00
100.04	Base Aggregate Dense 1 1/4-Inch	TON	\$15.00	-	\$0.00	30	\$450.00	30	\$450.00	65	\$975.00
100.05	Concrete Driveway 7-Inch	SY	\$50.00	-	\$0.00	70	\$3,500.00	30	\$1,500.00	-	\$0.00
100.06	HMA Pavement	TON	\$75.00	-	\$0.00	-	\$0.00	-	\$0.00	35	\$2,625.00
100.07	Concrete Curb & Gutter 30-Inch Type D	LF	\$20.00	-	\$0.00	-	\$0.00	-	\$0.00	30	\$600.00
100.08	Concrete Sidewalk 4-Inch	SF	\$5.00	-	\$0.00	115	\$575.00	745	\$3,725.00	120	\$600.00
100.09	Lawn Restoration	SY	\$5.00	-	\$0.00	320	\$1,600.00	225	\$1,125.00	175	\$875.00
100.10	Traffic Control	LS	\$1,500.00	-	\$0.00	1	\$1,500.00	1	\$1,500.00	1	\$1,500.00
100.11	Sawing	LF	\$5.00	-	\$0.00	25	\$125.00	10	\$50.00	520	\$2,600.00
SUBTOTAL ROADWAY ITEMS					\$0.00		\$9,150.00		\$8,925.00		\$10,000.00
STORM SEWER ITEMS											
200.01	Connect to Existing Inlet	EACH	\$500.00	-	\$0.00	1	\$500.00	1	\$500.00	-	\$0.00
200.02	Connect to Existing Storm Sewer Pipe	EACH	\$250.00	-	\$0.00	-	\$0.00	-	\$0.00	2	\$500.00
200.03	Storm Sewer Pipe Corrugated Plastic 4-Inch	LF	\$1.00	100	\$100.00	-	\$0.00	-	\$0.00	-	\$0.00
200.04	Storm Sewer Pipe PVC SDR-35 4-Inch	LF	\$40.00	-	\$0.00	155	\$6,200.00	140	\$5,600.00	190	\$7,600.00
200.05	Storm Sewer Pipe PVC SDR-35 6-Inch	LF	\$50.00	-	\$0.00	250	\$12,500.00	255	\$12,750.00	-	\$0.00
200.06	Storm Sewer Pipe PVC SDR-35 12-Inch	LF	\$60.00	-	\$0.00	-	\$0.00	-	\$0.00	240	\$14,400.00
200.07	Manholes 4-FT Diameter w/ Casting	EACH	\$2,500.00	-	\$0.00	-	\$0.00	-	\$0.00	2	\$5,000.00
SUBTOTAL STORM SEWER ITEMS					\$100.00		\$19,200.00		\$18,850.00		\$27,500.00
TOTAL					\$100.00		\$28,350.00		\$27,775.00		\$37,500.00

Memo

To: Board of Public Works
From: Brian W. Kober, P. E., Director of Public Works
Subject: Final Pay Request - Stonewall Sidewalk Project
Date: July 21, 2017
CC:

Please find Final Pay Request for the Stonewall Sidewalk Project in the Village of Jackson with contractor Johnson and Sons Paving Co. All work has been completed for the contract, and final payment is recommended.

Work Completed, Final Pay Request	=	\$17,018.04
Retainage, Estimate #1 (5%)	=	\$ 6,688.81
Amount due to Contractor, Final Pay Request	=	\$23,706.85

If you have any questions please let me know.

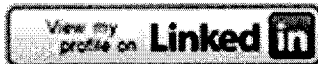
Brian W. Kober, P.E.

Brian

From: Greg Krahn [gregk@johnsonandsonspaving.com]
Sent: Thursday, July 06, 2017 12:05 PM
To: Brian
Subject: RE: Payment

Can we meet in Tuesday next week? Possibly in the afternoon?

Greg Krahn
Johnson & Sons Paving, LLC
Cell: 262-895-9318
Fax: 262-251-3477
Web: www.johnsonandsonspaving.com
FB: <https://www.facebook.com/johnsonandsonspaving>
Our Video: <http://www.johnsonandsonspaving.com/our-story/>



From: Brian [mailto:dirpubwks@villageofjackson.com]
Sent: Friday, June 30, 2017 11:35 AM
To: Greg Krahn <gregk@johnsonandsonspaving.com>
Subject: RE: Payment

Greg,

Please send the Village an invoice for the \$17,018.04. That amount and the retainage will be paid with pay request number two after an onsite inspection. The recommend of pavement will happen on July 25th and final approval will be at the Village Board meeting August 8th. The check cut on Wednesday, August 9th.

I have two other projects that need quotes. If interested call me after July 4th.

Happy 4th!

Brian W. Kober, P.E.
Village of Jackson
Director of Public Works
PO Box 637
N168 W20733 Main Street
Jackson, WI 53037
Phone (262) 677-9001
Fax (262) 677-9710

From: Greg Krahn [mailto:gregk@johnsonandsonspaving.com]
Sent: Thursday, June 29, 2017 12:53 PM

To: Brian
Subject: RE: Payment

Hey Brian,

Kuehne called me and said they were completed with the repair on the wall. Can we get the following amounts cleaned up? We have an open amount of \$6,688.81 from last year (retainage) and a bill from this year \$17,018.04 for landscaping. Just seeing when we can expect payment and get this off my AR. Thanks.

Greg Krahn
Johnson & Sons Paving, LLC
Cell: 262-895-9318
Fax: 262-251-3477
Web: www.johnsonandsonspaving.com
FB: <https://www.facebook.com/johnsonandsonspaving>
Our Video: <http://www.johnsonandsonspaving.com/our-story/>



Bid Evaluation - Unit Price Contract

Stonewall Connector Trail
Ridgeway Rd to Eagle Dr
Village of Jackson, Wisconsin
Bloom Project No. BM1-3372

Bid Opening: July 21, 2015, 10:00 AM Revised 9/16/2016

				Johnson & Sons, LLC.	
				Bidder No. 3	
Item No.	Item	Unit	Estimated Quantity	Unit Price	Total
	Excavation Common	CY	227	\$ 45.00	\$ 10,215.00
	Base Aggregate Dense 1-1/4 Inch	TON	279	\$ 31.00	\$ 8,649.00
	Tack Coat	GAL	59	\$ 9.00	\$ 531.00
	Asphaltic Surface	TON	138	\$ 200.00	\$ 27,600.00
	Concrete Pavement 6 Inch	SY	7	\$ 85.00	\$ 595.00
	Concrete Sidewalk 5 Inch	SF	524	\$ 10.00	\$ 5,240.00
	Curb Ramp Detectable Warning Field Yellow	SF	40	\$ 65.00	\$ 2,600.00
	Mobilization	EACH	1	\$ 4,576.00	\$ 4,576.00
	Salvaged Topsoil	SY	3,367	\$ 2.35	\$ 7,912.45
	Mulching	SY	3,367	\$ 2.35	\$ 7,912.45
	Silt Fence	LF	2,621	\$ 2.60	\$ 6,814.60
	Silt Fence Maintenance	LF	2,621	\$ 0.52	\$ 1,362.92
	Erosion Mat Class I Type B	SY	579	\$ 6.65	\$ 3,850.35
	Inlet Protection Type C	EACH	2	\$ 132.00	\$ 264.00
	Retaining Wall	SF	480	\$ 78.80	\$ 37,824.00
	Retaining Wall Excavation	CY	256	\$ 19.80	\$ 5,068.80
	Geotextile Fabric Type HR	SY	195	\$ 4.00	\$ 780.00
	Tracking Pads	EACH	3	\$ 2,200.00	\$ 6,600.00
	Seeding Mixture No. 20	LB	61	\$ 10.60	\$ 646.60
	Posts Wood 4x4 Inch x 12 Ft	EACH	2	\$ 197.00	\$ 394.00
	Signs Type II Reflective H	SF	8	\$ 204.00	\$ 1,632.00
	Traffic Control	EACH	1	\$ 5,000.83	\$ 5,000.83
	Traffic Control Drums	DAY	1,368	\$ 0.50	\$ 684.00
	Traffic Control Signs	DAY	228	\$ 0.50	\$ 114.00
				Total No. 3	\$ 146,867.00

			Johnson & Sons, LLC.	
			Bidder No. 3	
Actual Quantity	Unit Price	Total		
227	\$ 45.00	\$ 10,215.00		
476.17	\$ 31.00	\$ 14,761.27		
1	\$ 9.00	\$ 9.00		
127	\$ 200.00	\$ 25,400.00		
101.11	\$ 85.00	\$ 8,594.35		
756.75	\$ 10.00	\$ 7,567.50		
32	\$ 65.00	\$ 2,080.00		
1	\$ 4,576.00	\$ 4,576.00		
0	\$ 2.35	\$ -		
0	\$ 2.35	\$ -		
750	\$ 2.60	\$ 1,950.00		
750	\$ 0.52	\$ 390.00		
0	\$ 6.65	\$ -		
2	\$ 132.00	\$ 264.00		
480	\$ 78.80	\$ 37,824.00		
256	\$ 19.80	\$ 5,068.80		
0	\$ 4.00	\$ -		
0	\$ 2,200.00	\$ -		
0	\$ 10.60	\$ -		
0	\$ 197.00	\$ -		
0	\$ 204.00	\$ -		
1	\$ 5,000.83	\$ 5,000.83		
29	\$ 0.50	\$ 14.50		
29	\$ 0.50	\$ 14.50		
			Total No. 3	\$123,729.75

Added Work

Excavation Gas Station	15.5	45.00	\$ 697.50
Stone Gas Station	30	31.00	\$ 930.00
Pave Gas Station	11	200.00	\$ 2,200.00
Curb	94	56.00	\$ 5,264.00
Conc Flume	1	620.00	\$ 620.00
Mill Curb	1	335.00	\$ 335.00

\$ 10,046.50

Project 161031
Chateau Drive
Utility Roadway Reconstruction
2017

Pay Request
Buteyn Peterson - Prime Contractor

				Buteyn Peterson		Pay Request #1		Pay Request #2		Pay Request #3		Cumulative Totals		% Complete
Item No.	Description	Units	Total	Unit Price	Bid Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	
ROADWAY ITEMS														
100.01	Removing Concrete	SY	880	\$2.50	\$2,200.00		\$0.00	1036	\$2,589.75			1036	\$2,589.75	118%
100.02	Removing Curb & Gutter	LF	1300	\$2.75	\$3,575.00		\$0.00	1308	\$3,597.00			1308	\$3,597.00	101%
100.03	Excavation Common	CY	1394	\$14.37	\$20,031.78		\$0.00	1394	\$20,031.78			1394	\$20,031.78	100%
100.04	Base Aggregate Dense 3/4-Inch	TON	470	\$13.14	\$6,175.80		\$0.00	470	\$6,175.80			470	\$6,175.80	100%
100.05	Base Aggregate Dense 1 1/4-Inch	TON	1850	\$10.64	\$19,684.00		\$0.00	1626	\$17,296.49			1626	\$17,296.49	88%
100.06	Breaker Run	TON	100	\$14.39	\$1,439.00		\$0.00	0	\$0.00			0	\$0.00	0%
100.07	Concrete Driveway 7-Inch	SY	865	\$40.60	\$35,119.00		\$0.00	1030	\$41,809.88			1030	\$41,809.88	119%
100.08	HMA Pavement LT 58-28 S	TON	750	\$58.61	\$43,957.50		\$0.00	715	\$41,902.63			715	\$41,902.63	95%
100.09	Asphaltic Surface Driveway	TON	9	\$179.11	\$1,611.99		\$0.00	0	\$0.00			0	\$0.00	0%
100.10	Concrete Curb & Gutter 30-Inch Type D	LF	1320	\$11.45	\$15,114.00		\$0.00	1306	\$14,953.70			1306	\$14,953.70	99%
100.11	Concrete Sidewalk 4-Inch	SF	4550	\$3.90	\$17,745.00		\$0.00	4704	\$18,346.38			4704	\$18,346.38	103%
100.12	Lawn Restoration	SY	1950	\$6.25	\$12,187.50		\$0.00	1837	\$11,481.25			1837	\$11,481.25	94%
100.13	Inlet Protection Type C	LS	10	\$50.00	\$500.00	6	\$300.00	4	\$200.00			10	\$500.00	100%
100.14	Traffic Control	LS	1	\$3,000.00	\$3,000.00		\$0.00	1	\$3,000.00			1	\$3,000.00	100%
100.15	Sawing Asphalt	LF	140	\$2.50	\$350.00		\$0.00	171	\$427.50			171	\$427.50	122%
100.16	Sawing Concrete	LF	310	\$3.30	\$1,023.00		\$0.00	274	\$904.20			274	\$904.20	88%
SUBTOTAL ROADWAY ITEMS					\$183,713.57		\$300.00		\$182,716.36				\$183,016.36	100%
STORM SEWER ITEMS														
200.01	Removing Manholes	EACH	2	\$350.00	\$700.00	2	\$700.00		\$0.00			2	\$700.00	100%
200.02	Removing Inlets	EACH	2	\$300.00	\$600.00	2	\$600.00		\$0.00			2	\$600.00	100%
200.03	Removing Storm Sewer	LF	330	\$8.25	\$2,722.50	330	\$2,722.50		\$0.00			330	\$2,722.50	100%
200.04	Storm Sewer Pipe PVC SDR-35 4-Inch	LF	1462	\$25.00	\$36,550.00		\$0.00	1341	\$33,525.00			1341	\$33,525.00	92%
200.05	Storm Sewer Pipe Reinforced Concrete 12-Inch	LF	95	\$53.00	\$5,035.00	95	\$5,035.00	-12	-\$636.00			83	\$4,399.00	87%
200.06	Storm Sewer Pipe Reinforced Concrete 15-Inch	LF	355	\$52.00	\$18,460.00	355	\$18,460.00	20	\$1,040.00			375	\$19,500.00	106%
200.07	Storm Sewer Pipe Reinforced Concrete 18-Inch	LF	215	\$55.00	\$11,825.00	215	\$11,825.00	-1	-\$55.00			214	\$11,770.00	100%
200.08	Catch Basins 2.5x3-FT w/ Casting	EACH	4	\$1,532.00	\$6,128.00	4	\$6,128.00		\$0.00			4	\$6,128.00	100%
200.09	Manholes 4-FT Diameter w/ Casting	EACH	3	\$2,079.00	\$6,237.00	3	\$6,237.00		\$0.00			3	\$6,237.00	100%
200.10	Manholes 5-FT Diameter w/ Casting	EACH	1	\$2,702.00	\$2,702.00	1	\$2,702.00		\$0.00			1	\$2,702.00	100%
200.11	Concrete Collar	EACH	2	\$375.00	\$750.00	0	\$0.00		\$0.00			0	\$0.00	0%
SUBTOTAL STORM SEWER ITEMS					\$91,709.50		\$54,409.50		\$33,874.00				\$88,283.50	96%
SANITARY SEWER ITEMS														
300.01	Adjusting Sanitary Manhole	EACH	3	\$420.00	\$1,260.00		\$0.00	3	\$1,260.00			3	\$1,260.00	100%
300.02	Remove & Replace Sanitary Manhole Bench	EACH	3	\$650.00	\$1,950.00	3	\$1,950.00		\$0.00			3	\$1,950.00	100%
SUBTOTAL SANITARY SEWER ITEMS					\$3,210.00		\$1,950.00		\$1,260.00				\$3,210.00	100%
WATER MAIN ITEMS														
400.01	Removing Hydrant	EACH	2	\$350.00	\$700.00	1	\$350.00	1	\$350.00			2	\$700.00	100%
400.02	Abandoning Water Main	LS	1	\$450.00	\$450.00		\$0.00	1	\$450.00			1	\$450.00	100%
400.03	Water Main Pipe HDPE 1 1/4-Inch	LF	750	\$66.00	\$49,500.00	745	\$49,170.00		\$0.00			745	\$49,170.00	99%
400.04	Water Main Pipe PVC C-900 6-Inch	LF	36	\$48.00	\$1,728.00	31	\$1,488.00		\$0.00			31	\$1,488.00	86%
400.05	Water Main Pipe PVC C-900 8-Inch	LF	625	\$73.50	\$45,937.50	616	\$45,276.00		\$0.00			616	\$45,276.00	99%
400.06	Gate Valve 6-Inch	EACH	2	\$1,300.00	\$2,600.00	2	\$2,600.00		\$0.00			2	\$2,600.00	100%
400.07	Gate Valve 8-Inch	EACH	1	\$1,740.00	\$1,740.00	1	\$1,740.00		\$0.00			1	\$1,740.00	100%
400.08	Reducer 8-Inch x 6-Inch	EACH	1	\$350.00	\$350.00	1	\$350.00		\$0.00			1	\$350.00	100%
400.09	Anchor Tee 8-Inch x 6-Inch	EACH	1	\$422.00	\$422.00	1	\$422.00		\$0.00			1	\$422.00	100%
400.10	Tee 8-Inch x 6-Inch	EACH	1	\$436.00	\$436.00	1	\$436.00		\$0.00			1	\$436.00	100%
400.11	Bend 11.25 Degree 8-Inch	EACH	2	\$324.00	\$648.00	1	\$324.00		\$0.00			1	\$324.00	50%
400.12	Bend 22.5 Degree 8-Inch	EACH	1	\$334.00	\$334.00	1	\$334.00		\$0.00			1	\$334.00	100%
400.13	Bend 45 Degree 8-Inch	EACH	1	\$338.00	\$338.00	1	\$338.00		\$0.00			1	\$338.00	100%
400.14	Bend 90 Degree 6-Inch	EACH	1	\$286.00	\$286.00	1	\$286.00		\$0.00			1	\$286.00	100%
400.15	Plug 6-Inch	EACH	1	\$129.00	\$129.00		\$0.00	1	\$129.00			1	\$129.00	100%
400.16	Connect to Existing Water Main	EACH	2	\$824.00	\$1,648.00	2	\$1,648.00		\$0.00			2	\$1,648.00	100%
400.17	Hydrant	EACH	2	\$3,632.00	\$7,264.00	2	\$7,264.00		\$0.00			2	\$7,264.00	100%
400.18	Polystyrene Insulation 4-Inch	SF	32	\$4.20	\$134.40	32	\$134.40		\$0.00			32	\$134.40	100%
	Change Order #1	LS	1	\$1,598.00				1	\$1,598.00			1	\$1,598.00	
	Change Order #2	LS	1	\$1,572.00						1	\$1,572.00	1	\$1,572.00	
	Liquidated Damages	Days	2	-\$1,000.00				2	-\$2,000.00			2	-\$2,000.00	
SUBTOTAL					\$114,644.90		\$112,160.40		\$527.00		\$1,572.00		\$114,259.40	
TOTAL					\$393,777.97		\$168,819.90		\$218,377.36		\$1,572.00		\$388,769.26	

Work completed, previous estimate	\$0.00	\$168,819.90	\$387,197.26
Work completed, this estimate	\$168,819.90	\$218,377.36	\$1,572.00
Total work completed	\$168,819.90	\$387,197.26	\$388,769.26
Retainage, this estimate	\$8,441.00	\$10,918.87	\$19,359.87
Total retainage, previous estimates	\$0.00	\$8,441.00	
Total retainage	\$8,441.00	\$19,359.87	\$19,359.87
Amount due to contractor, this estimate	\$160,378.90	\$207,458.49	\$1,572.00

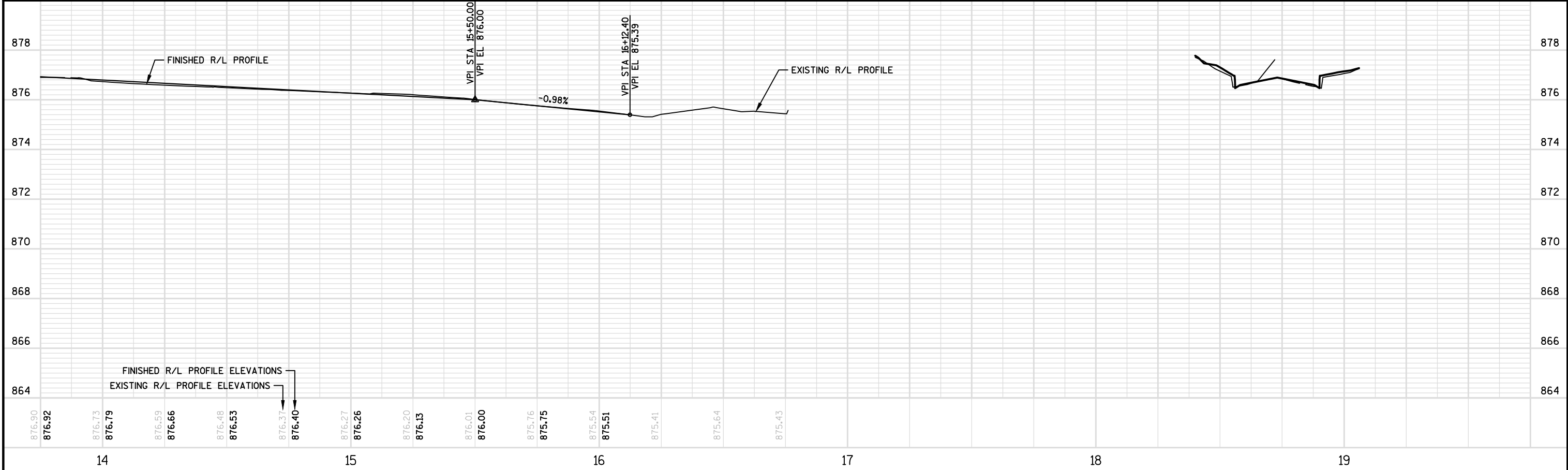
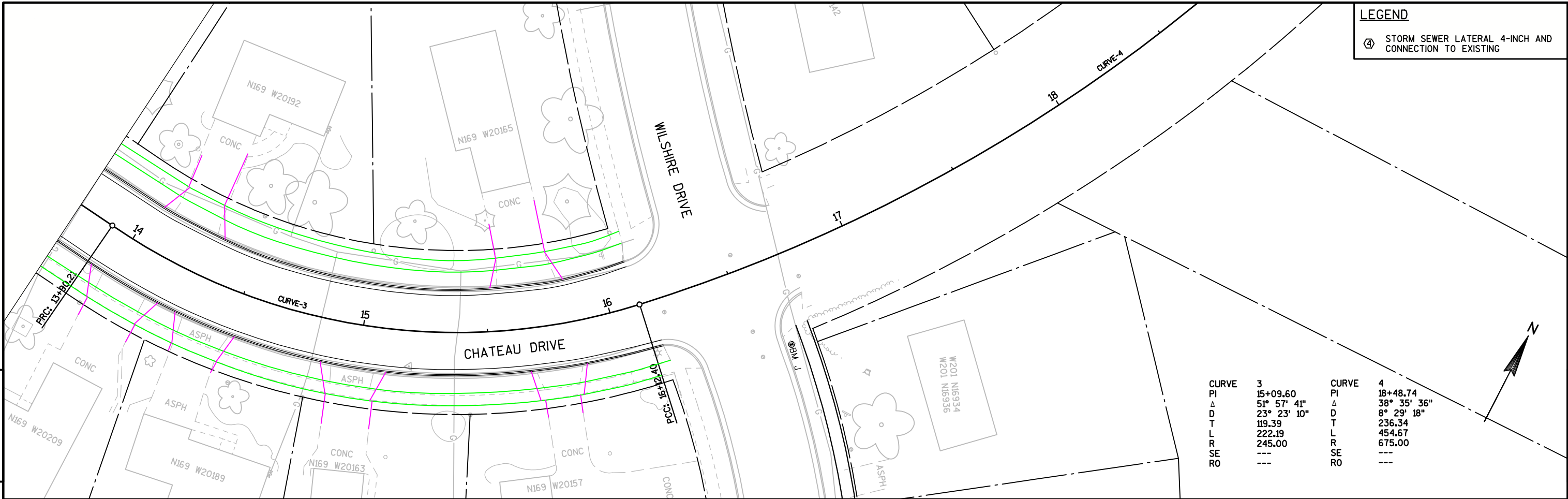
Chateau Drive
Driveway Apron Summary

Property Address	West distance from driveway @ BOW to apron taper	East distance from driveway @ BOW to apron taper	Picture
N169 W20157	+1.78'	+1.40'	N
N169 W20163	+0.09'	-0.98'	
N169 W20189	-0.26'	-0.20'	
N169 W20209	+0.40'	-0.43'	
N169 W20227	+0.33'	+0.17'	
N169W20249	+0.75'	-0.04'	
N169 W20267	+0.32'	-0.00'	
N169 W20289	+1.84'	-0.35'	Y
N169 W20295	+2.16'	-0.84'	Y
N169 W20311	-0.10'	-0.15'	
N169 W20322	+0.16'	-0.45'	
N169 W20314	-0.05'	-1.37'	
N169 W20300	+0.51'	+2.27'	Y
N169 W20282	+0.54'	-1.14'	
N169 W20262	+0.33'	+1.24'	
N169 W20240	-0.07'	+0.42'	
N169 W20218	-0.91'	-0.76'	
N169 W20192	-0.49'	-0.02'	
N169 W20165	-0.23'	-0.14'	

Positive (+) value indicates distance "outside" of the driveway at back of walk.

Negative (-) value indicates distance "inside" of the driveway at back of walk.

Aprons outside of tolerance threshold of +1.50'.

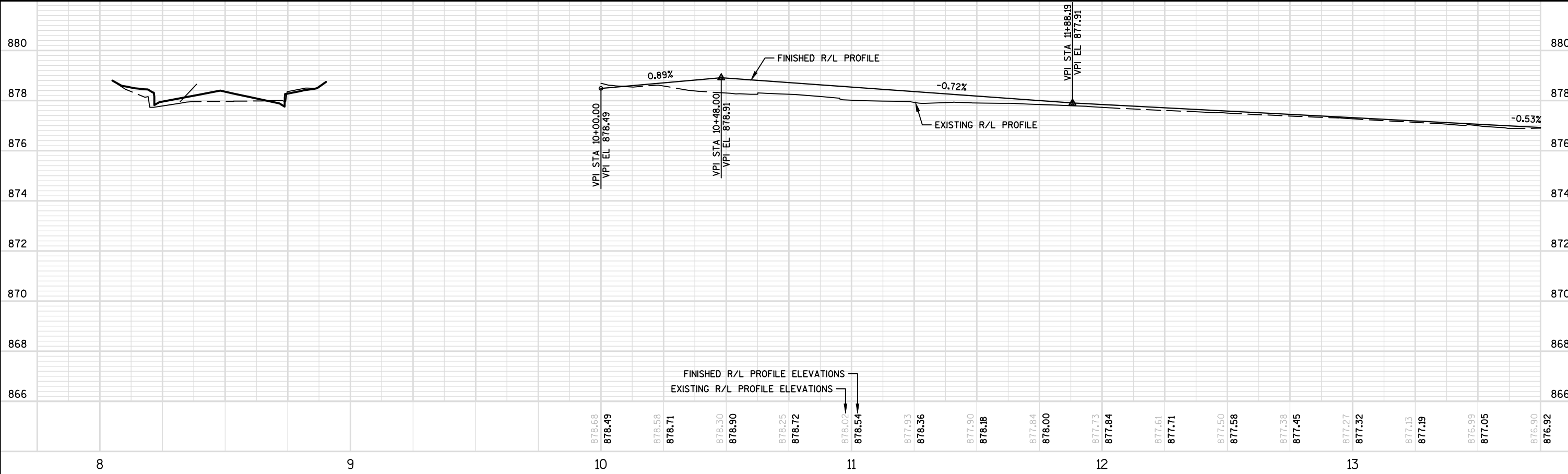
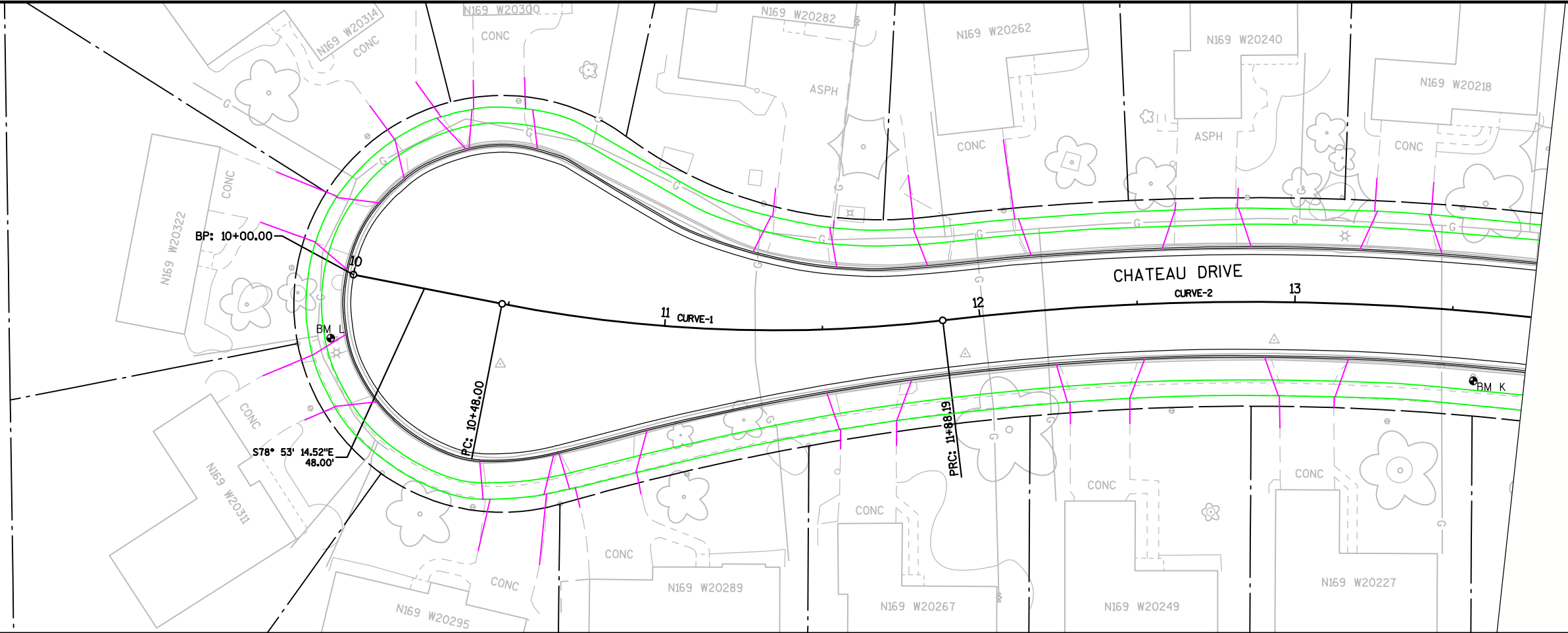


LEGEND

④ STORM SEWER LATERAL 4-INCH AND CONNECTION TO EXISTING



CURVE	1	CURVE	2
PI	11+18.68	PI	12+89.72
Δ	17° 56' 48"	Δ	14° 06' 56"
D	12° 48' 04"	D	6° 59' 14"
T	70.68	T	101.52
L	140.19	L	202.02
R	447.58	R	820.00
SE	---	SE	---
RO	---	RO	---







2017
100TH
100TH



VILLAGE OF JACKSON
Chateau Drive Reconstruction Project 2017
Driveway Apron Correction

Owner _____

Address _____

Purpose **Driveway Apron Correction**

The Village of Jackson, Buteyn Peterson Construction Co. (General Contractor), Zenith-Tech, Inc. (Concrete Installer), and Gremmer & Associates (Design & Inspector) met on Wednesday, July 19, 2017 to discuss the installed driveway aprons for the Chateau Drive Reconstruction Project. All aprons outside of the tolerance threshold of 1.5 ft will be given the following options:

Option #1: The homeowner is satisfied with the current installation and would rather leave the current driveway layout instead of damaging the installed lawn.

Option #2: Zenith-Tech, Inc. will saw cut the apron and remove concrete to match the driveway at the back side of the sidewalk. Buteyn-Peterson Construction Co. will follow-up with the necessary landscaping (topsoil, seeding, and ground cover).

Option #3: Zenith-Tech, Inc. will add concrete to the driveway to match the apron angle. The additional concrete will be placed on 4-inches of compacted gravel base and reinforced to the existing slab. Buteyn-Peterson Construction Co. will follow-up with the necessary landscaping (topsoil, seeding, and ground cover).

The undersigned owner(s) grant to the Village of Jackson, a temporary right to occupy and use the owner's land for the above-stated purpose so long as required for such purpose, and to operate necessary equipment thereon, including the right to preserve, protect, remove or plant any vegetation that the Contractor may deem desirable to prevent erosion of the soil.

The undersigned owner(s) agrees that the option selected will correct the non-aesthetically driveway apron.

This permit shall terminate upon completion of the construction project for which this instrument is given.

(Owner) (Date)

(Owner) (Date)

VILLAGE OF JACKSON

CHATEAU DRIVE

PUNCHLIST

JUNE 23, 2017

Present during onsite walkthrough: Mark Haskins, Buteyn-Peterson (Project Manager); Ted Helleckson, Zenith Tech (concrete); Jeff McBain, Gremmer & Associates (Inspector); and Brian W. Kober, Village of Jackson.

Following are the items to be repaired or addressed during the time of the inspection. The list does not limit future items that possibly will need to be repaired or addressed:

1. Submit 2 year extended warranty on concrete.
2. Remove and take measures necessary to stabilize mailbox at W20262 Chateau.
3. Connect wire to curb box at W20295 Chateau. Village will complete.
4. Rub out excess concrete from all concrete surfaces.
5. Check inlets to see if tuck pointing is needed.
6. Monitor restoration and repair as needed.
7. Pull silt screen after proper grass growth is established.
8. Open manholes and inlets and clean if needed.
9. The Village will contact the Post Office to confirm mail delivery to the individual mail boxes at each property. After confirmation, the temporary bank of mailboxes at the corner of Chateau Drive and Wilshire Drive can be removed by Buteyn-Peterson.

Drafted by: Jeff McBain, Gremmer & Associates, and Brian W. Kober, Village of Jackson.

Memo

To: Board of Public Works
From: Brian W. Kober, P. E., Director of Public Works
Subject: Assessment Final Lift of Asphalt
Date: May 26, 2017
CC:

A quote was received from Payne & Dolan, Inc for the installation of the final lift of asphalt for Stonewall Drive, and Georgetown Drive known as Stonewall Development Phase 2. Payne & Dolan, Inc. gave two options for the final lift of asphalt.

The first option is an overlay of the existing pavement, although, the quote does not include base patching which has a cost of \$3.50 per sq. ft. So, option one would be close to the total cost of option two.

The second option is a total pavement removal and replacement, which will allow for a better product outcome.

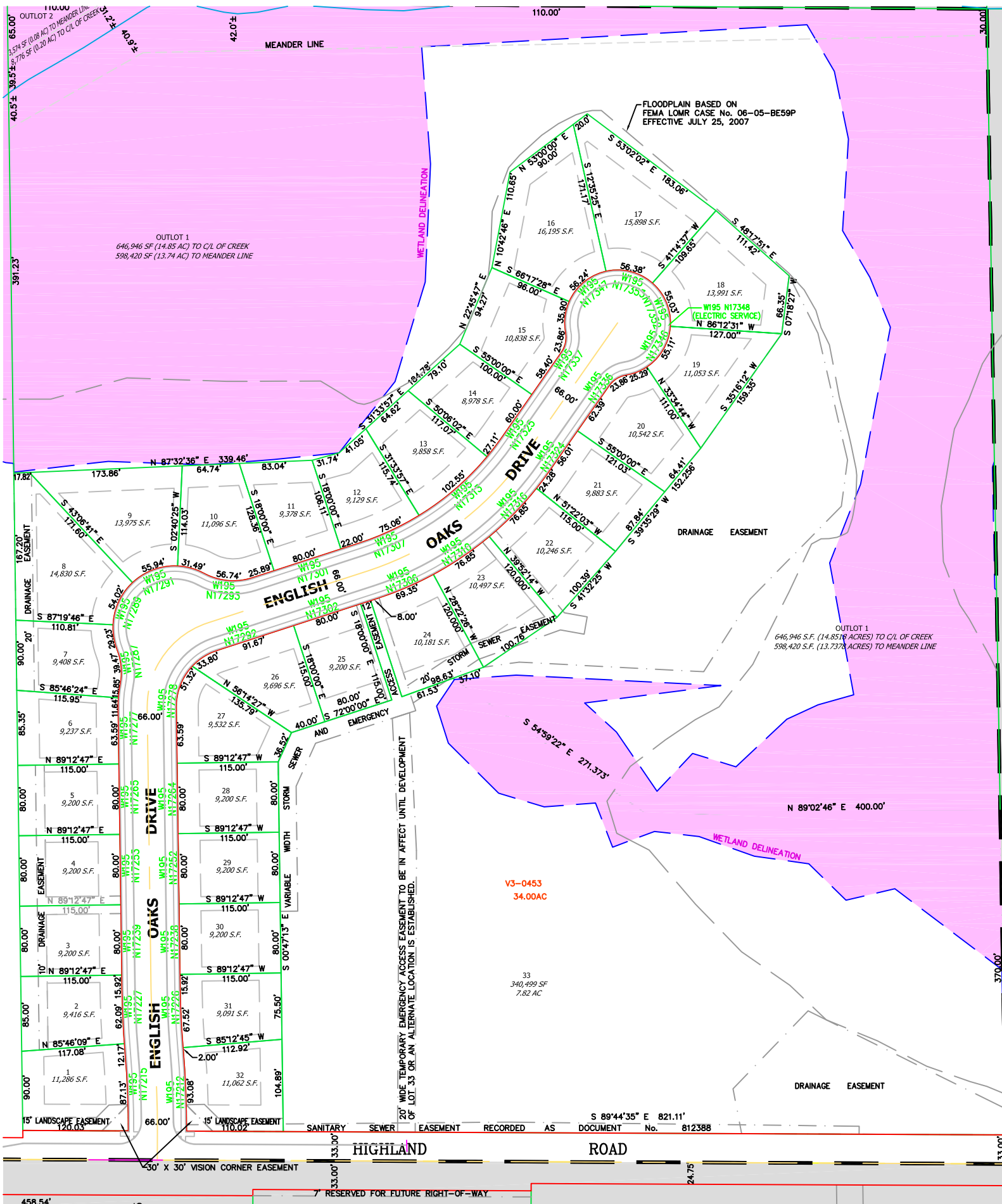
Using option two which has a total cost of \$127,269.00, and having a total number of proposed and built condo units is 180, the estimate per cost of each unit is \$707.05.

When using the same numbers for English Oaks: \$53.00 per foot and 1,274 ft of roadway, the estimated total is \$67,522.00, and 32 lots. The cost per lot is \$2,110.06.

All final lift costs do not include any curb and gutter repair or replacement.

If you have any questions please let me know.

Brian W. Kober, P.E.



Area Office
N173 W21120 Northwest Passage Way
Jackson, WI 53037

Payne & Dolan, Inc.



Michael R. Strobel
Direct: 262-677-5523
Cell: 262-366-5047
Fax: 262-677-5530
mstrobel@payneanddolan.com

PROPOSAL

SUBMITTED TO:

Village of Jackson
N168 W20733 Main St
Jackson WI 53037
Attn: Brian Kober

DATE: May 25, 2017**PHONE:** 262-677-9001**FAX:** 262-677-1710**JOB NAME:** Stonewall Dr & Georgetown Dr**JOB LOCATION:** Jackson**PLAN DATE:**

For furnishing the necessary labor, material and equipment to complete the following:

1- Stonewall Dr**Option 1-**

- Mill and remove from site all ramped asphalt curb and man holes
- Sweep, clean, and apply tack coat
- Furnish and install a 2" asphalt surface using a 12.5mm E-1 surface mix in the indicated area of 6,135 SY

PRICE: \$44,437.00**Option 2-**

- Pulverize all existing asphalt and remove any excess from site
- Fine grade pulverized material
- Furnish and install 4" asphalt pavement consisting of 2 1/4" binder course and 1 3/4" surface course

PRICE: \$96,044.00**2- Georgetown Dr****Option 1-**

- Mill and remove from site all ramped asphalt curb and man holes
- Sweep, clean and apply tack coat
- Furnish and install a 2" asphalt surface using a 12.5mm E-1 surface mix in the indicated area of 2,000 SY

PRICE: \$ 14,398.00**Option 2-**

- Pulverize all existing asphalt and remove any excess from site
- Fine grade pulverized material
- Furnish and install 4" asphalt pavement consisting of 2 1/4" binder course and 1 3/4" surface course

PRICE: \$31,225.00

NOTE: Price does not include and curb repairs, utility adjustments, base patching if needed

If you have any questions on this proposal, please call me at the contact information listed above.

Thank you,
Mike Strobel

FOR OFFICE USE ONLY

Financial Terms Approved

Date

IF THIS PROPOSAL IS NOT ACCEPTED AND RETURNED WITHIN 10 DAYS FROM THE DATE OF THIS PROPOSAL OR IF THE WORK IS NOT COMPLETED BY September 1, 2017, PAYNE & DOLAN, INC. RESERVES THE RIGHT TO WITHDRAW THE PROPOSAL OR MODIFY THE TERMS OF THE PROPOSAL/CONTRACT.

PRIOR TO PAYNE & DOLAN, INC. BEGINNING WORK UNDER THIS CONTRACT, OWNER/CONTRACTOR SHALL PROVIDE EVIDENCE THAT THE FOLLOWING PAYMENT TERM IS MET OR PAID AND IS ACCEPTABLE TO PAYNE & DOLAN, INC. TO FULFILL THEIR OBLIGATIONS UNDER THIS CONTRACT: CONTRACT PAYMENT SCHEDULE

PLEASE CALL ASHLEY AT 262-677-5520 TO GET APPROVAL ON YOUR PROPOSED PAYMENT SCHEDULE OR TO MAKE PAYMENT ARRANGEMENTS.

FOR OFFICE USE ONLY

Financial Terms Approved

Date

PROPOSAL TERMS AND CONDITIONS

Prior to the commencement of the Work, the work of others shall be completed to such an extent that it will not in any way conflict or interfere with the Work. If Payne & Dolan, Inc. is directed to commence Work prior to the time such other work is completed, Owner/Contractor agrees to pay the costs of any extra mobilizations or reduced productivity attributable to Payne & Dolan, Inc. commencing any of the Work before any others have completed their work.

The total allowable number of working days under normal conditions required to complete the Work is 5 days. In order to meet any agreed upon completion date, Payne & Dolan, Inc. must receive a 10 day advance notice to proceed plus the total allowable number of working days required to complete the Work under normal conditions. Performance of the Work is contingent upon strikes, accidents or delays beyond Payne & Dolan, Inc.'s control.

Any changed condition of the job specifications involving extra costs will be performed only upon submission of a written change order, and Owner/Contractor will be required to pay to Payne & Dolan, Inc. an extra charge over and above the original contract price for performance of the requested change order.

Payne & Dolan, Inc. will not be responsible for damage to any underground utilities or other hidden conditions if the Owner/Contractor fails to give Payne & Dolan, Inc. advance notice of their existence and location. Owner/Contractor agrees to indemnify and hold Payne & Dolan, Inc. harmless for any loss, expense or damage resulting from, arising out of, or in any way related to such condition.

Physical access by heavy equipment and material delivery vehicles to the site that is the subject of this contract may result in physical damage to property including but not limited to existing pavement, landscape or structures. Payne & Dolan, Inc. will cooperate with the Owner/Contractor in finding alternative access solutions, but the Owner/Contractor does hereby release and hold harmless Payne & Dolan, Inc. from any claims for physical damage caused from access to the site. Owner/Contractor agrees that any physical damage to property caused by Payne & Dolan, Inc.'s heavy equipment and material delivery vehicles in the process of gaining access to the site, where no other access options have been made available, shall be the responsibility of the Owner/Contractor.

Payne & Dolan, Inc. will not be responsible for any restoration of adjacent areas disturbed as a result of construction, including, but not limited to, stone shoulder, adjustment of drainage structures or landscaping that may need to be performed to allow for proper drainage of water from the surface of the new pavement unless otherwise agreed to in the scope of work.

Any claim for property damage is conclusively waived unless presented to Payne & Dolan, Inc. in writing within seven (7) calendar days of the occurrence.

All materials and labor are conclusively accepted as satisfactory unless objected to in writing within seven (7) calendar days of performance.

"AS REQUIRED BY THE WISCONSIN CONSTRUCTION LIEN LAW, BUILDER (PAYNE & DOLAN, INC.) HEREBY NOTIFIES OWNER THAT PERSONS OR COMPANIES FURNISHING LABOR OR MATERIALS FOR THE CONSTRUCTION ON OWNER'S LAND MAY HAVE LIEN RIGHTS ON OWNER'S LAND AND BUILDINGS IF NOT PAID. THOSE ENTITLED TO LIEN RIGHTS, IN ADDITION TO THE UNDERSIGNED BUILDER, ARE THOSE WHO CONTRACT DIRECTLY WITH THE OWNER OR THOSE WHO GIVE THE OWNER NOTICE WITHIN 60 DAYS AFTER THEY FIRST FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION. ACCORDINGLY, OWNER PROBABLY WILL RECEIVE NOTICES FROM THOSE WHO FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION, AND SHOULD GIVE A COPY OF EACH NOTICE RECEIVED TO HIS MORTGAGE LENDER, IF ANY, TO SEE THAT ALL POTENTIAL LIEN CLAIMANTS ARE DULY PAID."

Owner/Contractor, at its sole expense, shall comply with and obtain all necessary licenses and permits under present and future laws, statutes, ordinances, rules, orders or regulations of any governmental body having jurisdiction over the site, the Work, or the Owner/Contractor shall bear the sole cost of any fines or penalties for failure to comply with or obtain the same and shall indemnify and hold Payne & Dolan, Inc. harmless for any fine, penalty or expense resulting from, arising out of, or in any way related to Owner/Contractor's violations under this paragraph.

Payne & Dolan, Inc. proposes to furnish material and labor - complete in accordance with above specifications and prices. Payne & Dolan, Inc. is entitled to final payment upon substantial completion of the "Work" required herein. Terms of payment shall be net on receipt of invoice. A 1.5% per month service charge shall be charged on all outstanding balances. Upon receipt of payment in full, Payne & Dolan, Inc. will provide a lien waiver required by Owner/Contractor.

If any amount due under this contract is not paid when due, is referred to any attorney for collection (whether or not litigation is commenced), or if any legal advice, services or action shall be necessary, Owner/Contractor agrees to pay all attorney's fees, costs and expenses incurred by Payne & Dolan, Inc. in connection with collecting that amount.

This proposal is contingent upon the express agreement that indemnification, defense, waiver of subrogation and additional insured status, if required by the Owner/Contractor, shall be provided by Payne & Dolan, Inc. but only to the extent of Payne & Dolan, Inc.'s negligence. Owner/Contractor to carry fire, tornado and other necessary insurance. Payne & Dolan, Inc.'s workers are fully covered by Workers' Compensation insurance.

All material is guaranteed to be as specified. All Work to be completed in a workmanlike manner according to standard practices. Payne & Dolan, Inc.'s warranty excludes remedy for damage or defect caused by abuse, modifications not executed by Payne & Dolan, Inc., its subcontractors or suppliers, improper or insufficient maintenance, improper operation, normal wear and tear under normal usage or excessive manipulation over the original design criteria. Payne & Dolan, Inc.'s warranty for material and workmanship is for the term of one year from Payne & Dolan, Inc.'s last substantial labor date and is in lieu of any other warranty or remedy required by law.

Payne & Dolan, Inc. reserves the right to refuse to construct a pavement unless minimum grades of 1% are attainable for surface drainage. If the Owner/Contractor directs construction with less than a minimum grade of 1% or if the plans do not provide 1% drainage in all

directions, it is understood and agreed that waterponding may occur and that no warranty will attach to the Work. Payne & Dolan, Inc. is not responsible for the redesigning of plan grades in order to establish a minimum of 1% drainage.

Subgrade/Aggregate Base: The Owner/Contractor is responsible to furnish Payne & Dolan, Inc. a suitable subgrade/aggregate base having the ability to support the maximum axle loads transmitted from the heaviest construction and/or vehicle traffic anticipated as not to cause any deformation to the subgrade/aggregate base. All subgrade must be rough graded by Owner/Contractor to within $\pm 0.1'$ of the proposed plan subgrade elevations.

Heaving and Cracking: Heaving of asphalt pavements caused by, but not limited to, wet conditions, expansive soils and freeze-thaw cycles, is not the responsibility of Payne & Dolan, Inc. Cracking of asphalt pavements caused by, but not limited to, freeze-thaw cycles, excessive drying of expansive soils, clay soils and reflective cracking, is not the responsibility of Payne & Dolan, Inc.

Fine Grading of Aggregate Base by Payne & Dolan, Inc.: If Payne & Dolan, Inc. fine grades the surface to be paved, the Owner/Contractor shall furnish a surface rough graded to within $\pm 0.1'$ of the proposed plan aggregate base course elevations.

Fine Grading of Aggregate Base by Others: If Owner/Contractor fine grades the surface to be paved, Payne & Dolan, Inc. may choose to request additional work to correct the surface to be paved for (but not limited to) stability, surface drainage, slope and elevation. Additional corrective work will be done at no cost to Payne & Dolan, Inc.

If Wisconsin DOT Standard Specifications are being used, this proposal excludes the following:

450.3.2.1.1 and 450.3.2.1.2 Preparation and Paving Operations and Cold Weather Paving: Payne & Dolan, Inc. will provide the best quality pavement achievable based on all other required standard specifications.

450.3.2.9 Testing (Ride Quality): Payne & Dolan, Inc. will provide the best quality ride achievable based on all other required standard specifications.

455.2.2 and 455.2.3 Sampling and Testing (Asphaltic Materials): Payne & Dolan, Inc. will provide Owner/Contractor a Wisconsin approved mix design and all other material requirements per section 460. Payne & Dolan, Inc. will perform daily quality control mixture testing at Owner/Contractor's request.

460.2.8.2 Contractor Testing: Payne & Dolan, Inc. will provide Owner/Contractor a Wisconsin approved mix design and all other material requirements per section 460. Payne & Dolan, Inc. will perform daily quality control mixture testing at Owner/Contractor's request.

When resurfacing concrete, brick or asphalt pavements, Payne & Dolan, Inc. is not responsible for the reproduction of cracks or expansion joints which may occur.

If any other agreement is entered into between the parties, the terms of this agreement shall be incorporated into any such agreement and shall supersede any conflicting terms contained therein.

Authorized Signature: _____

Mike Strobel, Project Manager

Acceptance of Proposal - The above prices, specifications and terms and conditions are satisfactory and are hereby accepted. Payne & Dolan, Inc. is authorized by Owner/Contractor to do the Work as specified. Payment will be made to Payne & Dolan, Inc. by Owner/Contractor as outlined above. If separate bids or alternate bids are indicated, acknowledge acceptance by initialing those prices which you hereby accept.

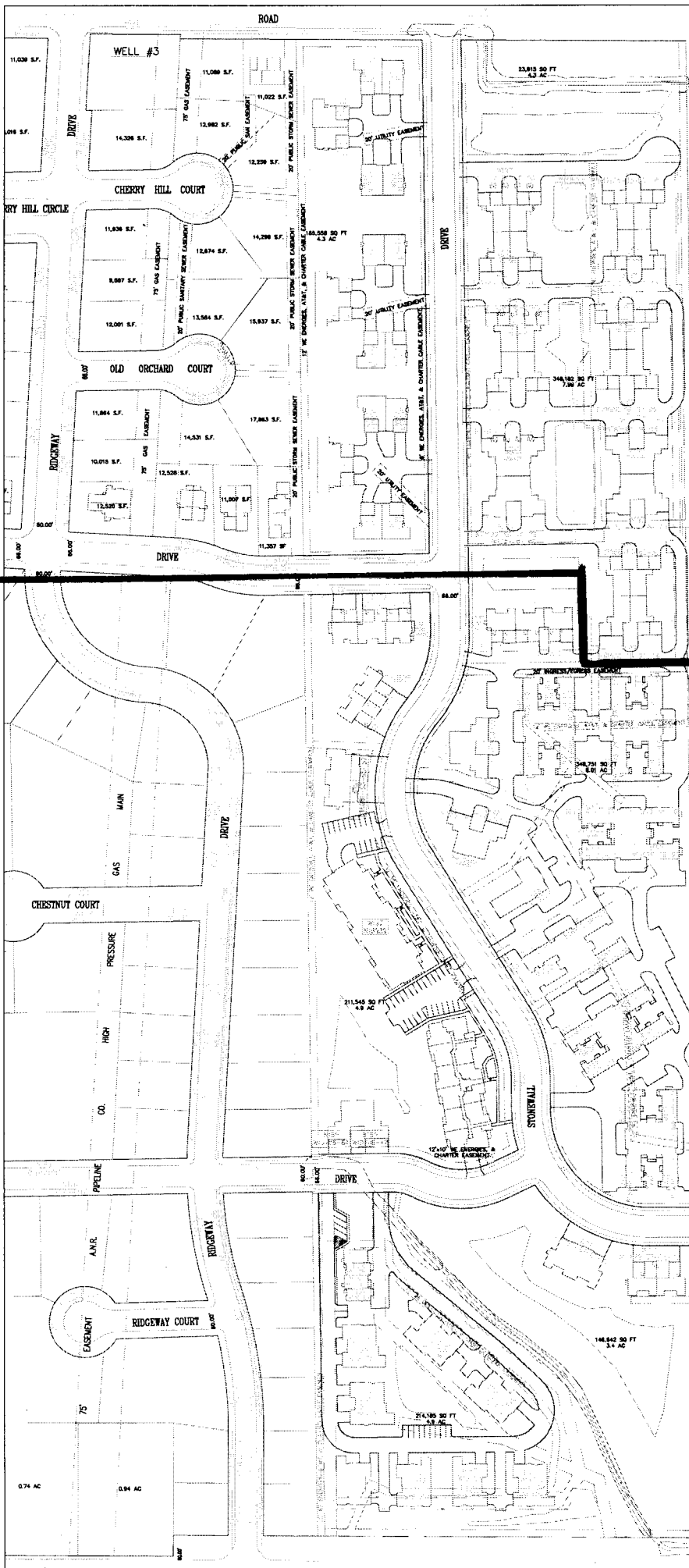
Owner/Contractor: _____

Date: _____

Signature: _____

Job Name: Stonewall Dr & Georgetown Dr

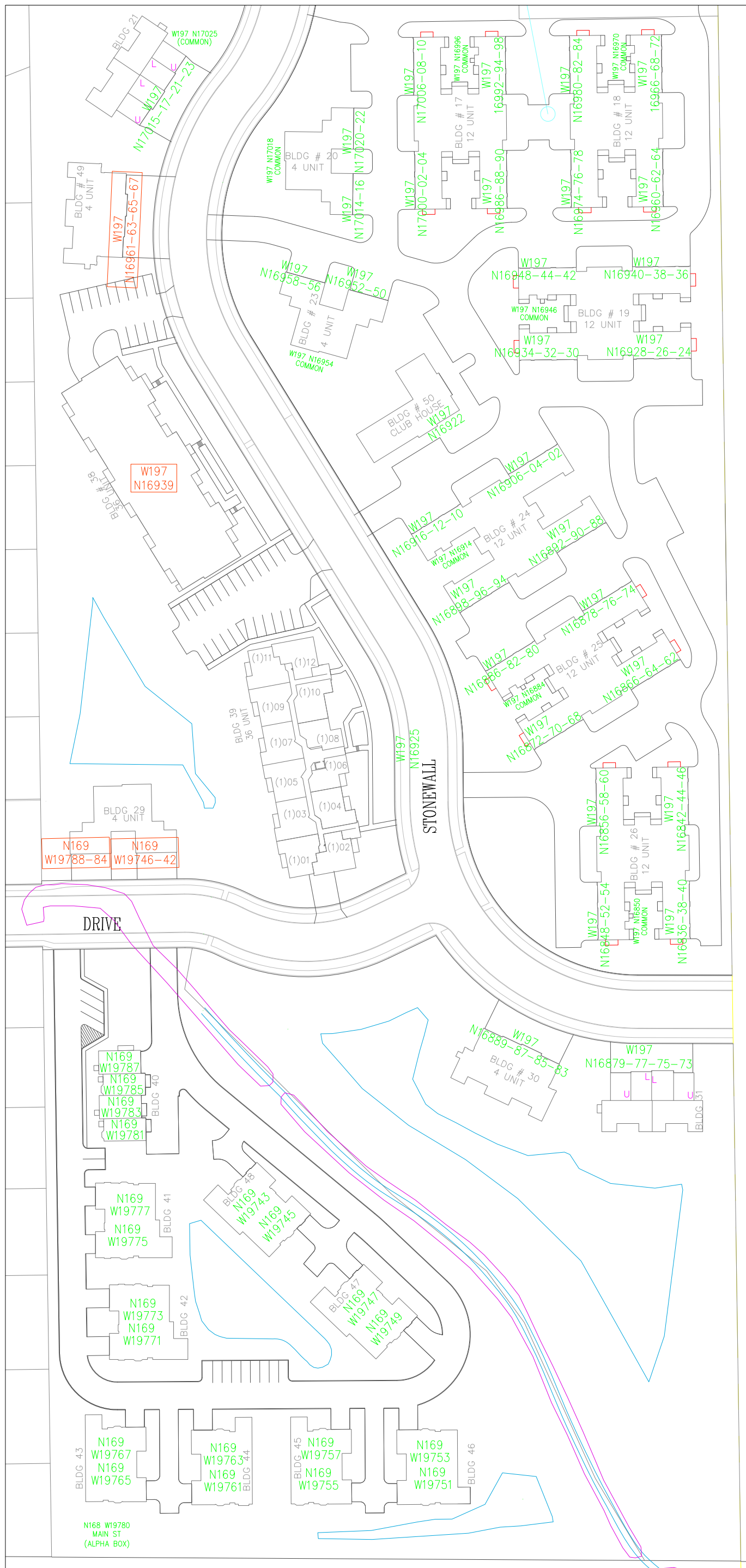
Date of Proposal: May 25, 2017



PHASE 1 ↑

PHASE 2 ↓

Boxed addresses in red have been changed from the previously assigned addresses.



Agenda item documents were not received in time to be part of the packet.

The information will be distributed at the meeting.



November 3, 2016

Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

Attention: Brian Kober, P.E.
Director of Public Works

Subject: Project I.D. 160622
Industrial Drive Sidewalk
STH 60 – Tower Drive
Estimate #1

Dear Mr. Kober:

Enclosed you will find Pay Estimate #1 for the Industrial Drive Sidewalk project in the Village of Jackson. The total amount due to the contractor has been reduced by five percent (5%) for retainage.

Work completed, Estimate #1	= \$45,961.70
Retainage, Estimate #1 (5%)	= \$2,298.09
Amount due to Contractor, Estimate #1	= \$43,663.62

If you have any questions or comments, please contact me at (920) 924-5720.

Sincerely,

Jessica Becker
Gremmer & Associates, Inc.

Village of Jackson - Industrial Drive Sidewalk
T.P. Concrete, Inc. - Prime Contractor

Item No.	Description	Units	TOTAL	Unit Price	Bid Total	Estimate #1		Estimate #2		Estimate #3		Estimate #4		Cumulative Totals	
						Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total
1	Clearing and Grubbing	LS	1	\$5,000.00	\$5,000.00	1.00	\$5,000.00		\$0.00		\$0.00		\$0.00	1.0	\$5,000.00
2	Removing Concrete	SY	60	\$12.00	\$720.00	58.00	\$696.00		\$0.00		\$0.00		\$0.00	58.0	\$696.00
3	Excavation Common	CY	129	\$42.00	\$5,418.00	129.00	\$5,418.00		\$0.00		\$0.00		\$0.00	129.0	\$5,418.00
4	Base Aggregate Dense 3/4-Inch	TON	210	\$15.00	\$3,150.00	173.30	\$2,599.50		\$0.00		\$0.00		\$0.00	173.3	\$2,599.50
5	Concrete Driveway 6-Inch	SY	90	\$45.00	\$4,050.00	86.00	\$3,870.00		\$0.00		\$0.00		\$0.00	86.0	\$3,870.00
6	Asphaltic Surface Driveways and Field Entrances	TON	4	\$220.00	\$880.00	5.97	\$1,313.40		\$0.00		\$0.00		\$0.00	6.0	\$1,313.40
7	Concrete Sidewalk 4-Inch	SF	4,650	\$3.45	\$16,042.50	4,654.00	\$16,056.30		\$0.00		\$0.00		\$0.00	4,654.0	\$16,056.30
8	Concrete Sidewalk 6-Inch	SF	50	\$5.00	\$250.00	55.00	\$275.00		\$0.00		\$0.00		\$0.00	55.0	\$275.00
9	Lawn Restoration	SY	1,030	\$7.50	\$7,725.00	1,099.00	\$8,242.50		\$0.00		\$0.00		\$0.00	1,099.0	\$8,242.50
10	Inlet Protection Type C	EACH	4	\$85.00	\$340.00	3.00	\$255.00		\$0.00		\$0.00		\$0.00	3.0	\$255.00
11	Traffic Control	LS	1	\$1,600.00	\$1,600.00	1.00	\$1,600.00		\$0.00		\$0.00		\$0.00	1.0	\$1,600.00
12	Sawing Asphalt	LF	65	\$4.00	\$260.00	34.00	\$136.00		\$0.00		\$0.00		\$0.00	34.0	\$136.00
13	Sawing Curb Head	LF	10	\$50.00	\$500.00	10.00	\$500.00		\$0.00		\$0.00		\$0.00	10.0	\$500.00
14	Adjusting Sanitary Sewer Manhole	EACH	1	\$950.00	\$950.00	0.00	\$0.00		\$0.00		\$0.00		\$0.00	0.0	\$0.00
					SUBTOTAL		\$46,885.50		\$45,961.70		\$0.00		\$0.00		\$45,961.70



Work completed, previous estimates	\$ -
Work completed, this estimate	\$ 45,961.70
Total work completed	\$ 45,961.70
Retainage, this estimate	\$ 2,298.09
Retainage, total all estimates	\$ 2,298.09
Amount due to contractor, this estimate	\$ 43,663.62

Wisconsin Surplus - Simple Multi Item Listing Worksheet

Consigning Agency Information	Location of Surplus Asset
Agency: Village of Jackson	Address: W194N16658 Eagle Drive
Payment Address: P.O. Box 637, Jackson WI 53037	Inspection Times: By appointment
Check Payable to: Village of Jackson	Inspection Dates: By Appointment
Contact Person: Jeff L. Deitsch	Contact Person: Jeff L. Deitsch
Phone: (414)840-0560	Phone: (414)840-0560
Email: utilitystupt@villageofjackson.com	Email: utilitystupt@villageofjackson.com

Pic#	Item#	Main Description	Additional Description	Condition
1 of 4 windows	1	single hung 30"x36 3/8" RO, Vinyl outside, Wood inside,nailer flange, screen		used/good
2 of 4 windows	1	casement 30"x35" RO, Vinyl outside, Wood inside,nailer flange, screen	aprox sizes	used/good
3 of 4 window	1	double hung 30 1/8"x35 5/8" RO,Vinyl, screen		used/good
4 of 4 windows	1	casement 30 1/8"x35 5/8" RO, Vinyl ,screen		used/good
4 Windows	1			
14' Electric Chain Saw	2	14"Remington Chain Saw with extra chains (4 pictures)	As is	works
Air, Gravity sand blaster	3	Sandy Jet Abrasive Blaster Model F-90 with abrasive(3 pictures)	As is	works
Cart, Wooden Bed, Steel Frame	4	Cart, 2 Wheels on one side,2 legs on other side(1 picture)	As is	old/works
Door 32inx90.75in with frame	5	Inside 3 panel door with frame 32'x90 3/4" (2 pictures)	As is	used/good
Door 36inx80in with frame	6	Outside door 36"x80" with frame (4 pictures)	AS is	used/good
Field line chalkier	7	OIP Osborne, All Star Model, field line chalkier (5 pictures)	As is	Condition unknown
Firefighters competition Water Barrel	8	Firefighters competition water 1/2 barrel (2 pictures)	AS is	works
Homemade arrow sign	9	Homemade arrow sign with switches (5 pictures)	As is	worked when last used
John Deere 21in self propelled	10	John Deere 21" self propelled Lawn mower, 5 Hp (5 pictures)	runs but smokes, as is	Fair
Kolbe single hung windows	11	Kolbe single hung windows 31 3/4"x65 3/4" and 23 1/2"x59 1/2" with Nailer	aprox sizes, as is	
Poulan pro 260 chain saw	12	Poulan Pro 260 Chain saw, with extra blades(6 pictures)	Runs	Used/ good
Sliding door with screen	13	Sliding door with screen RO 59 1/8"x79 3/4" with nailer flange(3 Pictures)	Aprox size, as is	used/good
Sliding door without screen	14	Sliding door without screen, RO 59 3/8"x79 3/4" with nailer flange(3 pictures)	Aprox size, As is	used/good
Spill Kit	15	Spill Kit for Acids and bases(3 pictures)	As is	New/good
Sterling Heater	16	Sterling Heater model QVEF-175, 80% eff, Natural gas, output 140000 btu	Ran when removed	used / fair
Small pull behind cart	17	Small pull behind cart,(4 pictures)	tires have slow leaks, as is	used/fair
Used 5.30x12	18	Used 5.30x12 tires with rims(2 pictures)	tires are worn, as is	Used/poor
Used Loader tires 20.5R25	19	Used Loader tires 20.5R25(4 pictures)	Used for back-up, As is	Used fair
Woods Gill Pulverizer	20	Woods Gill Pulverizer, 3 pt Hitch, Model 20A160 (4 pictures)	Works, As is	Used/Good
Yellow and red tool boxes	21	Tool boxes (1 picture)	As is	Used/fair
X-treme Lite	22	X-treme Lite Camping Trailer by Sun Valley, Inspection is highly recommended Bill of Sale only,No title, Water damage, soft floor, mold (26 Pictures)	AS IS	Used/Poor

GMC 2004 1/2 ton Pickup

GMC S-15 1994 Pickup

Public Works Report

July 25, 2017

Treatment Plant - Designed Capacity – 1.67 million gallons per day
 Peak Flow Capacity – 6.0 million gallons per day

Year 2015

January	Avg. Flow 667,774 g.p.d.	Min. Flow 617,000 g.p.d.	Max. 713,000 g.p.d.
February	Avg. Flow 620,893 g.p.d.	Min. Flow 591,000 g.p.d.	Max. 662,000 g.p.d.
March	Avg. Flow 753,484 g.p.d.	Min. Flow 597,000 g.p.d.	Max. 885,000 g.p.d.
April	Avg. Flow 1.203 MGD	Min. Flow 705,000 g.p.d.	Max. 3.759 MGD
May	Avg. Flow 775,323 g.p.d.	Min. Flow 584,000 g.p.d.	Max. 1.317 MGD
June	Avg. Flow 905,633 g.p.d.	Min. Flow 661,000 g.p.d.	Max. 1.409 MGD
July	Avg. Flow 696,290 g.p.d.	Min. Flow 571,000 g.p.d.	Max. 912,000 g.p.d.
August	Avg. Flow 726,935 g.p.d.	Min. Flow 558,000 g.p.d.	Max. 1.254 MGD
September	Avg. Flow 728,240 g.p.d.	Min. Flow 526,000 g.p.d.	Max. 1.364 MGD
October	Avg. Flow 505,516 g.p.d.	Min. Flow 409,000 g.p.d.	Max. 691,000 g.p.d.
November	Avg. Flow 696,800 g.p.d.	Min. Flow 494,000 g.p.d.	Max. 1.583 MGD
December	Avg. Flow 897,258 g.p.d.	Min. Flow 616,000 g.p.d.	Max. 1.799 MGD

Year 2016

January	Avg. Flow 611,323 g.p.d.	Min. Flow 451,000 g.p.d.	Max. 924,000 g.p.d.
February	Avg. Flow 640,793 g.p.d.	Min. Flow 496,000 g.p.d.	Max. 851,000 g.p.d.
March	Avg. Flow 821,839 g.p.d.	Min. Flow 567,000 g.p.d.	Max. 1.463 MGD
April	Avg. Flow 718,000 g.p.d.	Min. Flow 563,000 g.p.d.	Max. 1.079 MGD
May	Avg. Flow 615,000 g.p.d.	Min. Flow 490,000 g.p.d.	Max. 937,000 g.p.d.
June	Avg. Flow 622,700 g.p.d.	Min. Flow 513,000 g.p.d.	Max. 892,000 g.p.d.
July	Avg. Flow 690,935 g.p.d.	Min. Flow 457,000 g.p.d.	Max. 1.074 MGD
August	Avg. Flow 1.039 MGD	Min. Flow 822,000 g.p.d.	Max. 1.338 MGD
September	Avg. Flow 1.333 MGD	Min. Flow 813,000 g.p.d.	Max. 2.166 MGD
October	Avg. Flow 1.319 MGD	Min. Flow 949,000 g.p.d.	Max. 2.572 MGD
November	Avg. Flow 1.111 MGD	Min. Flow 859,000 g.p.d.	Max. 1.818 MGD
December	Avg. Flow 1.211 MGD	Min. Flow 889,000 g.p.d.	Max. 2.063 MGD

Year 2017

January	Avg. Flow 1.230 MGD	Min. Flow 979,000 g.p.d.	Max. 1.606 MGD
February	Avg. Flow 1.204 MGD	Min. Flow 926,000 g.p.d.	Max. 2.141 MGD
March	Avg. Flow 1.559 MGD	Min. Flow 1.09 MGD	Max. 2.398 MGD
April	Avg. Flow 1.552 MGD	Min. Flow 1.049 MGD	Max. 2.446 MGD
May	Avg. Flow 1.392 MGD	Min. Flow 666,000 g.p.d.	Max. 2.588 MGD
June	Avg. Flow 1.283 MGD	Min. Flow 763,000 g.p.d.	Max. 2.429 MGD

Years Summary of Water Consumption

2004 Total Pumpage 216,055,000 gallons	2005 Total Pumpage 223,215,000 gallons
2006 Total Pumpage 207,719,000 gallons	2007 Total Pumpage 217,224,000 gallons
2008 Total Pumpage 229,613,000 gallons	2009 Total Pumpage 231,160,000 gallons
2010 Total Pumpage 239,326,000 gallons	2011 Total Pumpage 240,268,000 gallons
2012 Total Pumpage 253,492,000 gallons	2013 Total Pumpage 228,371,000 gallons
2014 Total Pumpage 230,973,000 gallons	2015 Total Pumpage 222,621,000 gallons
2016 Total Pumpage 254,531,000 gallons	

Year 2015

Jan.	Avg.	599,680 g.p.d.	Highest Day 719,000 gals.	Total	18,590,000 gallons
Feb.	Avg.	587,040 g.p.d.	Highest Day 736,000 gals.	Total	16,437,000 gallons
March	Avg.	582,970 g.p.d.	Highest Day 698,000 gals.	Total	18,072,000 gallons
April	Avg.	601,370 g.p.d.	Highest Day 928,000 gals.	Total	18,041,000 gallons
May	Avg.	585,260 g.p.d.	Highest Day 698,000 gals.	Total	18,143,000 gallons
June	Avg.	640,430 g.p.d.	Highest Day 779,000 gals.	Total	19,213,000 gallons
July	Avg.	722,550 g.p.d.	Highest Day 989,000 gals.	Total	22,399,000 gallons
August	Avg.	733,420 g.p.d.	Highest Day 1.197 MGD	Total	22,736,000 gallons
Sept	Avg.	615,700 g.p.d.	Highest Day 753,000 gals.	Total	18,471,000 gallons
Oct	Avg.	594,840 g.p.d.	Highest Day 945,000 gals	Total	18,440,000 gallons
Nov	Avg.	492,630 g.p.d.	Highest Day 599,000 gals	Total	14,779,000 gallons
Dec	Avg.	555,480 g.p.d.	Highest Day 637,000 gals	Total	17,220,000 gallons

Year 2016

Jan.	Avg.	580,680 g.p.d.	Highest Day 734,000 gals.	Total	18,001,000 gallons
Feb.	Avg.	603,930 g.p.d.	Highest Day 710,000 gals.	Total	17,514,000 gallons
March	Avg.	586,650 g.p.d.	Highest Day 693,000 gals.	Total	18,186,000 gallons
April	Avg.	660,200 g.p.d.	Highest Day 1.021 MGD	Total	19,806,000 gallons
May	Avg.	681,130 g.p.d.	Highest Day 997,000 gals.	Total	21,115,000 gallons
June	Avg.	781,870 g.p.d.	Highest Day 1.113 MGD	Total	23,456,000 gallons
July	Avg.	865,610 g.p.d.	Highest Day 1.046 MGD	Total	26,834,000 gallons
August	Avg.	817,940 g.p.d.	Highest Day 1.084 MGD	Total	25,356,000 gallons
Sept	Avg.	700,630 g.p.d.	Highest Day 835,000 gals	Total	21,019,000 gallons
Oct	Avg.	738,520 g.p.d.	Highest Day 1.235 MGD	Total	22,894,000 gallons
Nov	Avg.	654,530 g.p.d.	Highest Day 829,000 gals	Total	19,636,000 gallons
Dec	Avg.	668,190 g.p.d.	Highest Day 779,000 gals	Total	20,714,000 gallons

Year 2017

Jan.	Avg.	630,710 g.p.d.	Highest Day 771,000 gals.	Total	19,552,000 gallons
Feb.	Avg.	640,790 g.p.d.	Highest Day 885,000 gals	Total	17,942,000 gallons
March	Avg.	611,520 g.p.d.	Highest Day 691,000 gals	Total	18,957,000 gallons
April	Avg.	703,070 g.p.d.	Highest Day 1.173 MGD	Total	21,092,000 gallons
May	Avg.	683,420 g.p.d.	Highest Day 988,000 gals	Total	21,186,000 gallons
June	Avg.	762,230 g.p.d.	Highest Day 1.044 MGD	Total	22,867,000 gallons

Pump Capacity - Well #1- 400 g.p.m. Well #3 -900 g.p.m. Well #4 - 1200 g.p.m. Well #5 – 1,100 g.p.m. Well #6 – 800 g.p.m.

WWTP – Holding & Septage Receiving

2005	\$ 87,562.01	2006	\$101,115.11	2007	\$152,201.07	2008	\$210,441.47
2009	\$183,815.34	2010	\$197,653.66	2011	\$220,576.28	2012	\$236,224.70
2013	\$235,336.46	2014	\$203,938.32	2015	\$210,644.47	2016	\$220,473.17

2015	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,326,850			10,250	52,100	\$11,663.89
Feb	1,191,500			2,500	45,400	\$10,171.26
March	1,507,900			16,150	85,900	\$14,102.76
April	1,668,450			35,250	398,200	\$23,878.38
May	1,190,850			31,100	148,600	\$13,890.38
June	1,407,600			37,750	349,100	\$20,794.50
July	1,485,950			33,830	243,660	\$18,589.33
August	1,255,600			28,050	290,860	\$17,810.50
September	1,459,400			15,500	333,350	\$19,899.26
October	1,273,400	7,200		37,150	369,300	\$20,603.82
November	1,336,300			36,200	343,035	\$20,046.14
December	1,610,500			31,200	234,700	\$19,194.26

2016	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,359,400			3,500	47,700	\$11,528.02
Feb	1,443,000			1,500	31,350	\$11,666.26
March	1,515,950			5,600	102,900	\$14,166.14
April	1,600,500			25,000	284,250	\$20,110.01
May	1,560,350			24,000	246,200	\$18,817.63
June	1,551,600			49,100	257,900	\$20,048.50
July	1,195,900			21,850	278,400	\$16,803.25
August	1,506,850			29,750	276,250	\$19,397.63
September	1,501,850			48,550	373,430	\$22,541.63
October	1,447,150			126,250	389,054	\$25,629.98
November	1,471,800			40,900	343,250	\$21,255.76
December	1,657,250			11,250	225,160	\$18,508.38

2017	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,287,450			10,500	57,100	\$11,503.39
Feb	1,358,400		28,500	1,750	78,550	\$13,361.76
March	1,678,850		22,000	28,100	174,900	\$18,967.89
April	1,581,350			35,600	320,900	\$21,306.63
May	1,745,550			51,150	394,600	\$25,002.63

Final Lift for Developed Subdivisions

The final lift in Laurel Springs Subdivision Phase 1 has been completed. Working on a solution for the final lift of asphalt for English Oaks and Stonewall Development.

Rosewood Drive/TIF #4 Expansion Project

The property still has the potential of being developed. Lawsuit is pending.

GIS Program

Town and Country Engineering continues to work on the maps, and getting the tablets ready for accessing the maps. An instructional meeting for staff is being scheduled to increase map usage. Database and map connection is holding up the project.

Storm Water Management Plan

We will continue to monitor the system per the Storm Water Management Plan. The plan was submitted at the deadline of June 30, 2017. DNR has not responded on the submitted plan.

SCADA Upgrade Project

We are waiting for a updated schedule for the project.

Wilshire Drive Project LRIP

All items have been completed with only the landscaping to be addressed. The Village and the contractor (Buteyn-Peterson) met on Wednesday, July 19, 2017 to discuss the landscaping and sidewalk repair. The contractor stated by next week all will be addressed.

Industrial Drive Sidewalk Project

The Industrial Drive Sidewalk project has been completed and a walkthrough completed. The only item is the landscaping which has been addressed for final payment..

Stonewall Sidewalk Project

The asphalt sidewalk has been installed. The only item is repairing the retaining wall, and landscaping which has been addressed for final payment..

Space Needs Analysis Study

Cedar Corp team continues to meet with staff in developing plans for a new Safety Building.

Chateau Drive Reconstruction Project

A meeting was held with the inspector, contractor, and the Village to discuss the punch list items for Chateau Drive Reconstruction Project. The major punch list items are landscaping and driveway approaches. Landscaping will be enhanced with reseeding and new mulch where necessary. All driveway approaches that were installed outside the 1.5 ft design standard will be repaired by giving the three property owners three options. The options are do nothing, saw cut approach to match driveway, or add concrete to driveway to match approach. Each property owner was visited to discuss the options. At the time of this publication, one property has responded by doing nothing. The two remaining property owner will again be visited for an answer.

CTH P and STH 60 Intersection Project

An email will be created and sent to WisDOT on ownership.

Respectfully submitted, Brian W. Kober, P.E.