

AGENDA

PLAN COMMISSION MEETING

Thursday – April 5, 2018 – 7:00 p.m.

Jackson Village Hall

N168W20733 Main St

Jackson, WI 53037

<u>NOTE DATE CHANGE</u>

1. Call to Order & Roll Call
2. Minutes – February 22, 2018, Plan Commission Meeting
3. Conditional Use – Jackson Self-Storage Buildings – and Sign – Dittmar Realty
4. Planned Unit Development Amendment – Building Addition – Infinity EDM, LLC – Design 2 Construct
5. Concept Plan – Neumann Developments – Maplewood Farms
6. Concept Plan – Center St. Milling Co. – Restoration – Retail/Assembly
7. Planned Unit Development – Kettle Moraine Glass & Shower Door
8. Citizens to Address the Plan Commission
9. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday – February 22, 2018 – 7:00 p.m.
Jackson Village Hall
N168 W20733 Main St
Jackson, WI 53037

1. Call to Order & Roll Call.

Pres. Schwab called the meeting to order at 7:00 p.m.

Members present: Peter Habel, Tr. Kruepke, Steve Schoen, Jeff Dalton, and Tr. Emmrich.

Members absent: Jon Weil (excused).

Staff present: Brian Kober and John Walther.

2. Minutes – January 25, 2018 Plan Commission Meeting.

Motion by Peter Habel, second by Pres. Schwab to approve the minutes of the January 5, 2018 Plan Commission meeting.

Vote: 6 ayes, 0 nays. Motion carried.

3. Concept Plan – Storage Buildings – Dittmar Realty.

Carla Dunn from Dittmar Realty was present for any questions. She addressed the concerns for lighting and the grade (slope) on the east side of the property.

Motion by Pres. Schwab, second by Steve Schoen to recommend to the Village Board the approval of the Concept Plan – Storage Buildings – Dittmar Realty, as presented and per staff comments.

Vote: 6 ayes, 0 nays. Motion carried.

4. Planned Unit Development Amendment – Final Plat – Bielinski Homes Inc. – Laurel Springs Addition #1.

John Donovan of Bielinski Homes was present for any questions.

Motion by Pres. Schwab, second by Peter Habel to recommend to the Village Board the approval of the PUD Amendment – Final Plat – Bielinski Homes Inc – Laurel Springs Addition #1 as presented and per staff comments. Mr. Schoen asked if the path was being extended. Mr. Donovan responded that the path would extend to the north along the east side of the property and to west at the north side of the property. He also explained that the street names were incorrect on the plat but will be changed, and that they are correct on the civil plat.

Vote: 6 ayes, 0 nays. Motion carried.

5. Planned Unit Development Amendment – Final Engineering and Development Agreement – Bielinski Homes Inc– Laurel Springs Addition #1.

John Donovan of Bielinski Homes was present for any questions.

Motion by Peter Habel, second by Jeff Dalton to recommend to the Village Board the approval of the PUD Amendment – Final Engineering and Development Agreement – Bielinski Homes Inc – Laurel Springs Addition #1. Discussion followed regarding the handling of the development agreement. The existing agreement will be amended to

include the addition. Mr. Kober explained the negotiations that will be finalized with the developer regarding pathways, roadways, curbing, and drainage along the perimeter of the property. He also explained how the water and sewer infrastructure installations and improvements will be handled (to be fully discussed in the Board of Public Works meeting.)

Vote: 6 ayes, 0 nays. Motion carried.

6. Concept Plan – Two-Family Condominiums – Bielinski Homes Inc.

John Donovan of Bielinski Homes was present for any questions and for explanation. Motion by Pres. Schwab, second by Peter Habel to recommend to the Village Board the approval of the Concept Plan – Two Family Condominiums – Bielinski Homes Inc per staff comments. Discussion followed regarding this proposed complementary development to the Laurel Springs addition. Wetland delineation has been completed. Proposed are nine ranch-style condos in this private type development. The property will be required to be annexed to the Village and would ultimately be zoned PUD once it is annexed.

Vote: 6 ayes, 0 nays. Motion carried.

7. Planned Unit Development Amendment – U-Haul Co. of Wisconsin

Mike Schulz of U-Haul Co. was present to answer any questions.

Motion by Pres. Schwab, second by Brian Emmrich to recommend to the Village Board the approval of the PUD Amendment – U-Haul Co. of Wisconsin, as presented and per staff comments. Mr. Dalton asked if they had a temporary permit as he had seen the trucks and trailers there for weeks. Mr. Schulz apologized and replied that the owner of the building was not aware that a special use permit was required. He just assumed it was all right just to relocate the business to this location, as it had been in the Village for some time. Tr. Kruepke reiterated the staff comment that the parking lot would be delineated with striping according to the diagram presented. Mr. Schulz said that they would stripe the area to include a maximum of seven vehicles and trailers per the submitted diagram, and that the owner of the building would ensure that the vehicles and trailers were neatly organized within the striped spaces. U-Haul would move any excess vehicles and trailers to the rear of the building until such time of relocation to U-Haul in Saukville or the rerouting of customers to this facility to pick up the rental unit; all of which would happen within a period of twenty-four hours.

Vote: 6 ayes, 0 nays. Motion carried.

8. Citizens to Address the Plan Commission.

None.

9. Adjourn.

Motion by Pres. Schwab, second by Peter Habel to adjourn.

Vote: 6 ayes, 0 nays. Meeting adjourned at 7:23 p.m.

Respectfully submitted by John M. Walther, Administrator.

Dittmar Realty, Inc.
VOFJACK Village Of Jackson

Payment Number
016412

Check Date
03/01/2018

Check Number
017581

Invoice Number	Invoice Date	Description	Net Check Amt
CONDITIONAL USE	03/01/2018	CUP Applicaiton Fee	\$150.00

\$150.00

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\$150.00

THIS CHECK HAS A COLORED BACKGROUND AND CONTAINS MULTIPLE SECURITY FEATURES - SEE BACK FOR DETAILS

Dittmar Realty, Inc.
P.O. Box 99
Menomonee Falls, WI 53052

First Bank Financial Centre
940 Bell Avenue
Hartford, WI 53027

017581
075902421

Pay One Hundred Fifty Dollars and 00 Cents

DATE
Mar 1, 2018

AMOUNT
\$150.00

to the Order of:

Village Of Jackson

P.O. Box 637
Jackson, WI 53037



⑈017581⑈ ⑆075902421⑆ 3758967⑈

Conditional Use Application – Jackson Self-Storage

Contents Enclosed

Numbers Correspond with Application Form

1. Enclosed
2. Enclosed
3. Enclosed
4. Enclosed
5. In application form
6. Enclosed
7. Enclosed
14. Enclosed
15. Enclosed
16. N/A
18. Enclosed
19. Enclosed
20. N/A. No public infrastructure
22. \$150.00 application fee enclosed



VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Jackson Self-Storage
 Contact Kevin S. Dittmar Address/ZIP N81 W15111 Appleton Ave., Menomonee Falls, WI 53051 Phone #262-251-5800
 E-mail Address cdunn@drilots.com Fax # where Agenda/Staff comments are to be faxed 262-251-4401
 Name of Owner J&K Ministorage, LLP Address/ZIP N81 W15111 Appleton Ave., Menomonee Falls, WI 53051 Phone#262-251-5800
 Owner Representative/Developer Dittmar Realty, Inc.
 Proposed Use of Site Self-Storage Present Zoning Industrial

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') * 4) Owner acknowledgement of the request	Labels* 1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat 10) Certified survey Map		XXX XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Skelch Plan 14) Landscape Plan	4 (24x36)	XXX XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans 17) Street / Right of Way cross sections	4 (24x36) 4 (24x36) 4 (24x36)	XXX XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan 19) Proposed colors / materials	4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement 21) Annexation Agreement (includes pre-annex agreements)		XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name 3/2/18 Signature Kevin S. Dittmar Date 3/2/18

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

☐ Special Use ☒ Conditional Use ☐ Planned Unit Development Permit

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☐ Planned Unit Development

Permit to:

Name of Business/Applicant: Jackson Self-Storage

For a property located at (address): W213 N17010 Industrial Drive, Jackson, WI

Phone number of Business/Applicant: 262-251-5800

For (land use, activity, sign, site plan, other): __Four self-storage buildings containing approx 14,400 s.f. of space.
Minimum 4,200 s.f. to be climate controlled space. No outside storage.

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): None _____

Hours of Operation: 24/7 _____

Comprehensive/Master Plan Compatibility: yes. _____

Building Materials (type, color): Masonry, steel, metal roof, vinyl shakes. Color compatible with storage site next door.

Setbacks from rights-of-way and property lines: 30' road frontage; 25' side yards _____

Screening/Buffering: Proposed buildings equal or superior to nearby uses. _____

Landscape Plan (sizes, species, location): See attached plans. _____

Signing (dimensions, colors, lighting, location): 8 x 10 sign face with decorative posts. Angled to face Industrial and Tower Drive. No illumination. _____

Lighting (wattage, style, pole location and height, coverage): Wall - packs (LED) on building exterior. Cut-off style 150w. Decorative goose-lamps on 2nd story. _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): All drive aisles are two-way. Parking along sides of buildings at times of unit access. _____

Storm-water Management: As shown on plans. Proposed project will contain less impervious surface than prior existing facility. _____

Erosion Control: Silt fence as shown on plans. _____

Fire Hydrant Location(s): (3) at site corner (NW), across the street and in parking lot next door to the east. _____

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: Knox box as required. 414-870-5815
Jason Bickert.

Hazardous Material Storage: None. _____

Alarm Systems: None. _____

Site Features/Constraints: Slight incline to the east. Partial retaining wall' partial 3/1 slopes. _____

Parking (no. of spaces, handicapped parking, and dimensions): Handicapped parking per code. _____

Tree and shrub preservation: None on site. _____

Wastewater Usage Projected: None gal/year Water Usage Projected: None gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):
continuous _____

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

_____, Owner
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

Dittmar

REALTY, INC.

March 2, 2018

To: Village of Jackson

From: Dittmar Realty, Inc.

Re: Development Application CUP, # 2 describe what you intend to do

Dittmar Realty, Inc., as agent for owner, proposes to construct four buildings (numbered 1-4 on site plan) containing a total of approximately 14,400 rentable square feet on a 1.12 acre site, as follows:

Building 1: 4,200 s.f. of climate controlled space (Plan A1.1)

Building 2: 4,200 s.f. of cold storage space (Plan A1.2)

Building 3: 3,000 s.f. of space (undetermined) (Plan A1.3)

Building 4: 3,000 s.f. of space (undetermined) (Plan A1.4)

The most "visible" building at the corner of Tower and Industrial Drive (Building 1) will have an enhanced 2-story entry feature with decorative architectural elements, including a masonry belt line, vinyl shakes, rooftop cupola, windows (closed) with metal awnings, roof gables and decorative "goose-neck" lighting. There will be no doors facing Industrial or Tower Drive, except a 3-foot man-door facing Industrial Drive. Building 1 will contain the only climate controlled self-storage space available in the Village, with access by a central corridor and doors facing the interior of the site.

Building 2 and 3 will be similar to each other with doors on both long sides, except the west end of Building 2 facing Industrial Drive will have brick, shakes and a window/awning feature.

Building 4, with the long side facing Tower Drive, will have decorative features similar to Building 1, including a masonry beltline, decorative gables, window/awning features and rooftop cupolas.

Buildings 3 and 4 will be cold storage or climate-controlled depending upon demand for space in Buildings 1 and 2, but the exteriors will remain the same.

The site will have one entrance from Tower Drive at or near its existing location. Self-storage facilities generate extremely low traffic volume as most visits are limited to the time of moving in and out of the facility. We anticipate the assessed fair market value for the project will be in the range of \$425,000 - \$500,000.

Thank you for your consideration.



Cathedral Builders
N169 W21170 Tower Drive
Jackson, WI 53037

February 26, 2018

To: Village of Jackson

From: Giacomini Family Holdings, LLC

Re: Jackson Self-Storage

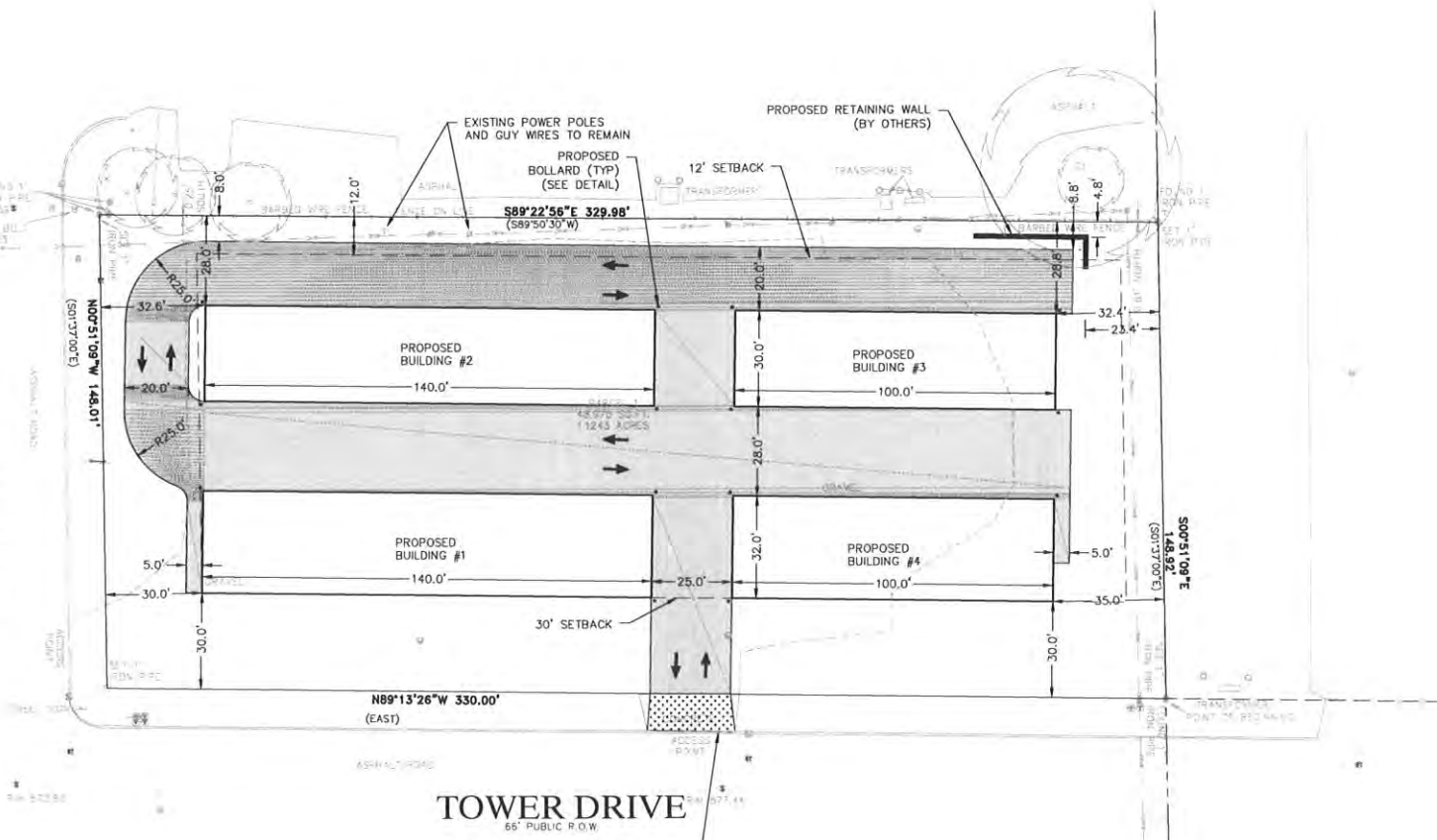
Giacomini Family Holdings, LLC, authorize Dittmar Realty, Inc./Jackson Self-Storage to apply for a conditional use permit for property located at W213 N17010 Industrial Drive, Jackson, WI 53037 to be developed as a self-storage rental units. The conditional use permit will not change the existing zoning of the property.

Giacomini Family Holdings, LLC

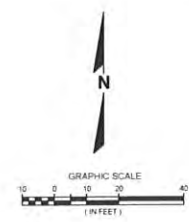
By: J. Giacomini, Member

Jodene L. Giacomini, Member

INDUSTRIAL DRIVE
60' PUBLIC R.O.W.



TOWER DRIVE
66' PUBLIC R.O.W.



SITE DATA TABLE	
PROPOSED DEVELOPMENT	
PROPOSED BUILDING	= 14,883 SF (30.4%)
PROPOSED PAVEMENT	= 17,066 SF (34.8%)
PROPOSED GREEN SPACE	= 17,029 SF (34.8%)
TOTAL SITE AREA	= 48,975 SF (100.0%)
TOTAL DISTURBED AREA	= 41,882 SF (0.96 ACRES)

NOTES:

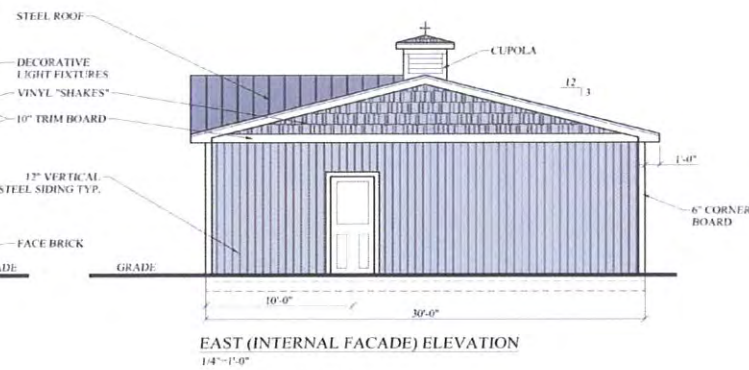
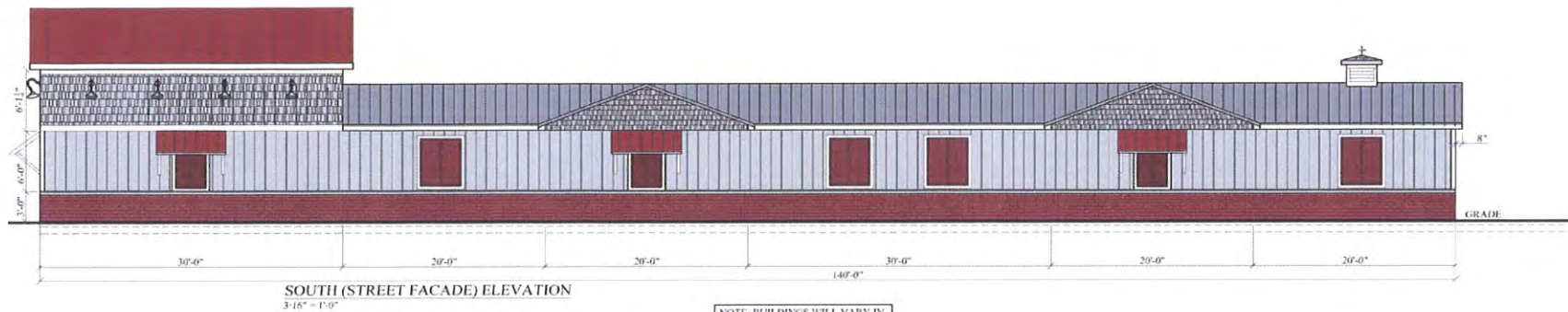
1. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, BUILDING AND/OR PROPERTY LINE.

DIGGERS HOTLINE
Toll Free (800) 242-6011
Missouri Area (202) 432-7910
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
TOWER STORAGE VILLAGE OF JACKSON, WI	SITE PLAN
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 02/27/2018 SCALE: 1" = 20' JOB NO. 3180007 PROJECT MANAGER: DANIEL J. MAZURKIEWICZ, P.E. DESIGNED BY: DJM CHECKED BY: RJH SHEET NUMBER C100	



Koz-i-structure
David J. Kozlowski, AIA, AIA
12350 West Watertown Avenue
Greenfield, Wisconsin 53228
Cell: (414) 303-1889
Email: KozArchitecture.com
www.KozArchitecture.com

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Project: NEW BUILDING FOR
TOWER DRIVE STORAGE
TOWER DRIVE & INDUSTRIAL DRIVE
VILLAGE OF JACKSON, WISCONSIN

Sheet Title
**BUILDING 1
CLIMATE
CONTROLLED
STORAGE UNITS**

Revisions

Date: 02/28/2018
Job NO.: 18-KDC
Sheet No.

A1.1

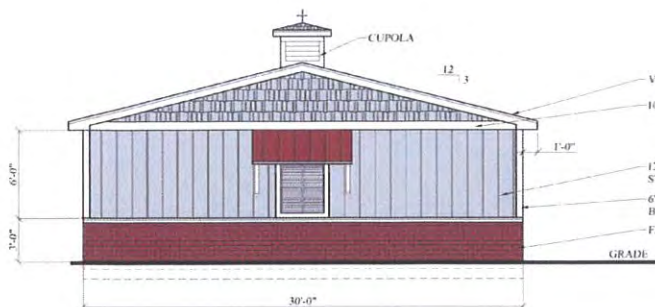


SOUTH (INTERNAL FACADE) ELEVATION
3/16" = 1'-0"

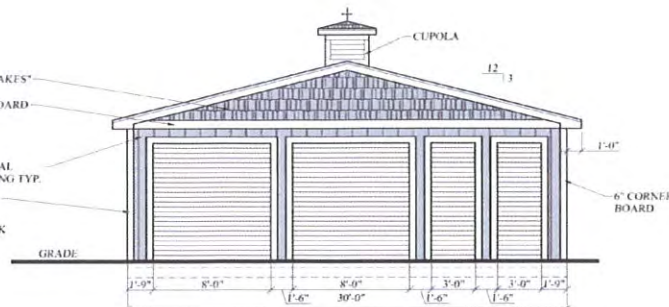
NOTE: BUILDINGS WILL VARY IN LENGTH. SEE SITE PLAN FOR ACTUAL BUILDING LENGTHS.



NORTH ELEVATION
3/16" = 1'-0"



WEST (STREET FACADE) ELEVATION
1/4" = 1'-0"



EAST (INTERNAL FACADE) ELEVATION
1/4" = 1'-0"

Koz-i-tec-ture

David J. Kozlowski, AIA, AIA
32350 West Waterford Avenue
Greenfield, Wisconsin 53228
Call: (414) 303-8484
www.kozitecture.com

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Project: NEW BUILDING FOR

TOWER DRIVE STORAGE
TOWER DRIVE & INDUSTRIAL DRIVE
VILLAGE OF JACKSON, WISCONSIN

Sheet Title
**BUILDING 2
COLD STORAGE
UNITS**

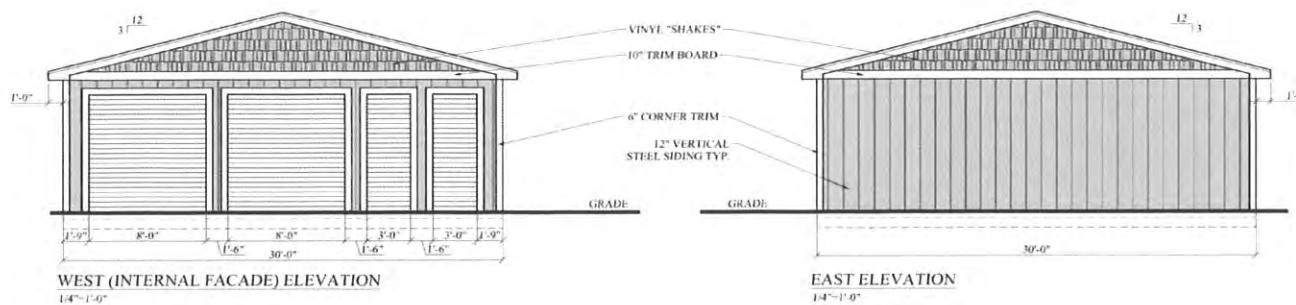
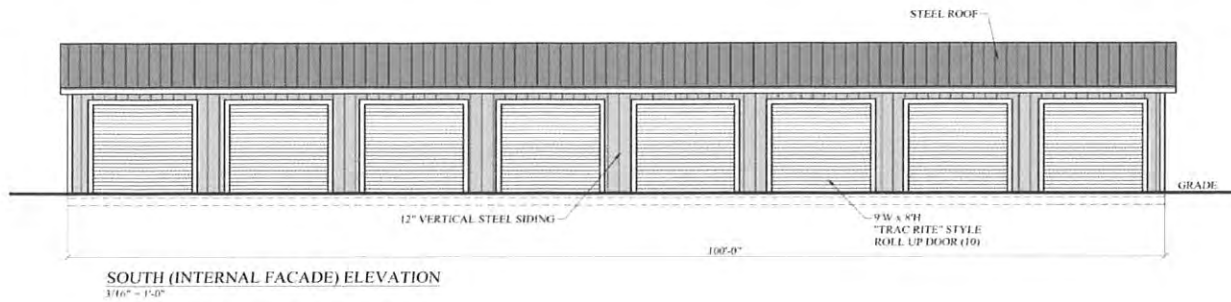
Revisions

Date: 02/28/2018

Job NO.: 18-100

Sheet No.

A1.2



Paul J. Kozlowski, AIA, AIA
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Greenfield, Wisconsin 53221
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www.kozitecture.com

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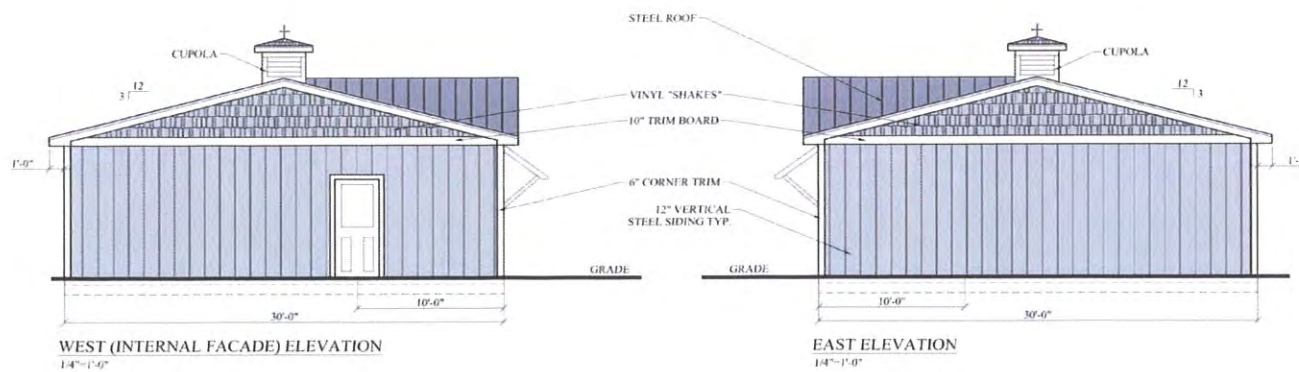
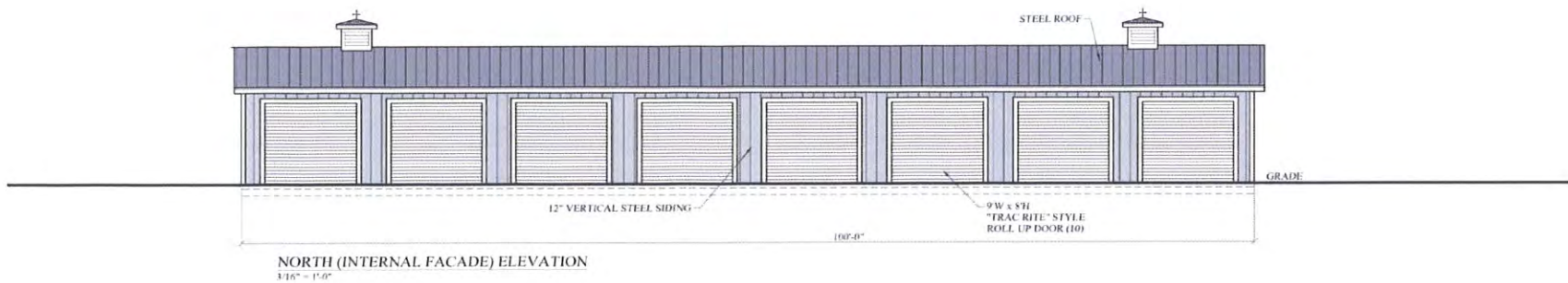
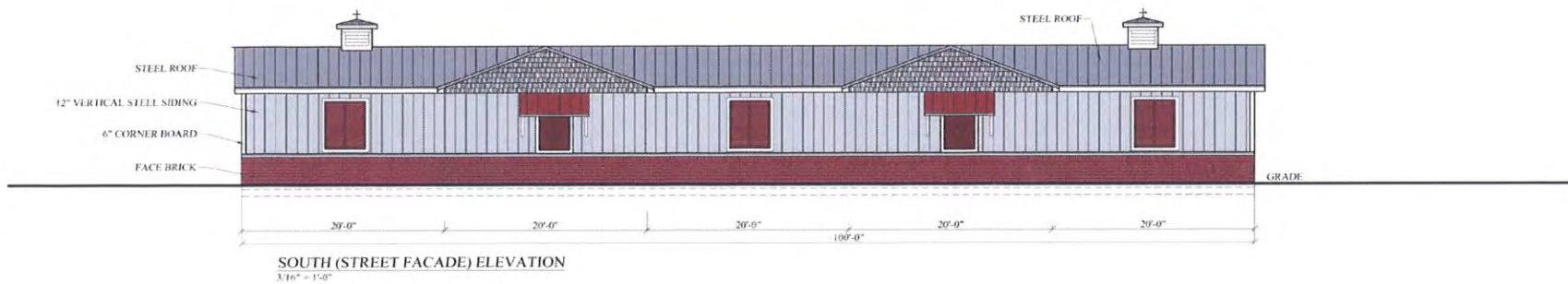
Project
NEW BUILDING FOR
TOWER DRIVE STORAGE
TOWER DRIVE & INDUSTRIAL DRIVE
VILLAGE OF JACKSON, WISCONSIN

Sheet Title
**BUILDING 3
COLD STORAGE
UNITS**

Revisions

Date: 02/28/2018
Job NO.: 13-100
Sheet No.

A1.3



Koz-itecture

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Project

NEW BUILDING FOR
TOWER DRIVE STORAGE
TOWER DRIVE & INDUSTRIAL DRIVE
VILLAGE OF JACKSON, WISCONSIN

Sheet Title
BUILDING 4
CLIMATE
CONTROLLED
STORAGE UNITS

Revis 0113

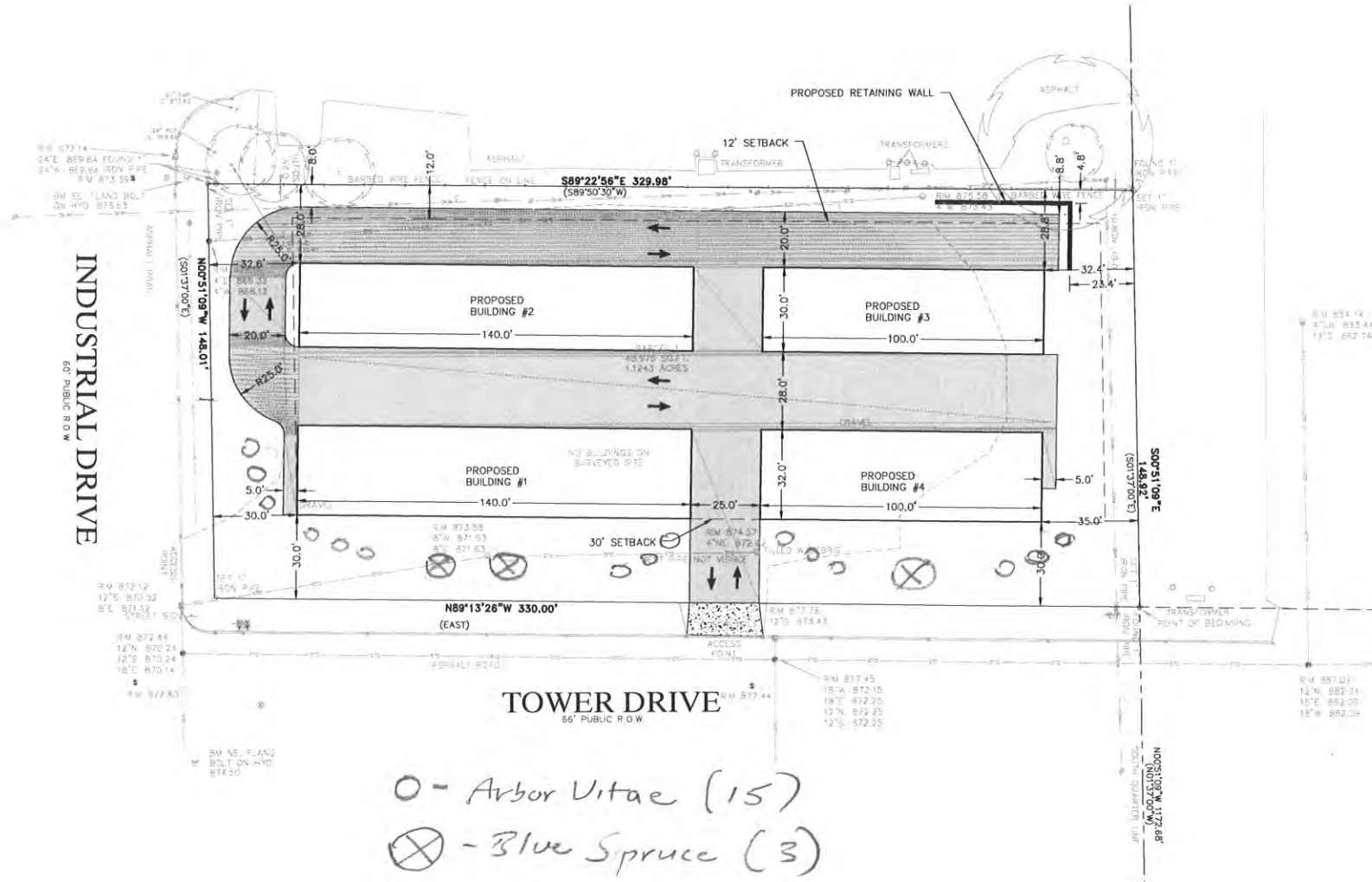
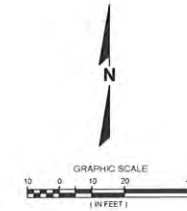
Date: 02/28/2018

Job NO.: 18-100

Sheet No.

A1.4

Jackson Self-Storage: Landscape Plan



○ - Arbor Vitae (15)
 ⊗ - Blue Spruce (3)

SITE DATA TABLE

PROPOSED DEVELOPMENT	
PROPOSED BUILDING	= 14,680 SF (30.4%)
PROPOSED PAVEMENT	= 17,066 SF (34.8%)
PROPOSED GREEN SPACE	= 17,029 SF (34.8%)
TOTAL SITE AREA	= 48,975 SF (100.0%)

EXISTING TOPOGRAPHY OBTAINED BY R.A. SMITH INC. DATED DECEMBER 13, 2017

DIGGERS HOTLINE
 Toll Free (800) 242-6811
 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

DESCRIPTION

DATE

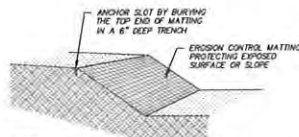
raSmith
 CREATIVITY BEYOND ENGINEERING
 rasmith.com

TOWER STORAGE
 VILLAGE OF JACKSON, WI

SITE PLAN

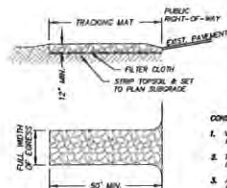
PRELIMINARY
 NOT FOR
 CONSTRUCTION

© COPYRIGHT 2018
 R.A. Smith, Inc.
 DATE: 02/23/2018
 SCALE: 1" = 20'
 JOB NO. 3180007
 PROJECT MANAGER:
 DANIEL J. MAZURKIEWICZ, P.E.
 DESIGNED BY: DJM
 CHECKED BY: RJH
 SHEET NUMBER
 C100



- NOTES:**
1. PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLOS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
 2. EROSION CONTROL MATTING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 638 OF THE WISCONSIN DOT STANDARD SPECIFICATIONS, OUR TECHNICAL STANDARD 1053 (NON CHANNEL APPLICATIONS), OUR TECHNICAL STANDARD 1053 (CHANNEL APPLICATIONS), AND LATEST MANUFACTURER SPECIFICATIONS, ESPECIALLY NOTING REQUIRED STAPLE PATTERNS AND ANCHOR TRENCH REQUIREMENTS.
 3. INSTALLATION PROCEDURES MUST INSURE THAT THE MAT WILL REMAIN IN CONTACT WITH THE SOIL.
 4. THE MATTING SHALL BE ANCHORED PER MANUFACTURER REQUIREMENTS.
 5. THE MATTING SHALL BE ANCHORED TO THE GROUND PER MANUFACTURER REQUIREMENTS.
 6. TEMPORARY EROSION CONTROL MATTING SHALL BE WADOT P-1 CLASS 6, TYPE B AND PERMANENT EROSION CONTROL MATTING SHALL BE WADOT P-1 CLASS B, TYPE A.
 7. MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
 8. FOR CHANNEL APPLICATIONS, EXTEND MAT UP SLOPE ONE-FOOT MINIMUM VERTICALLY FROM DITCH BOTTOM OR SIX-INCHES HIGHER THAN DESIGN FLOW, WHICHEVER IS GREATER.

EROSION CONTROL MATTING DETAIL
NOTE: INSTALL ON ALL SLOPES OF 4:1 OR GREATER

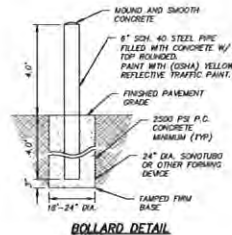


- CONSIDERATIONS:**
1. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
 2. THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
 3. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

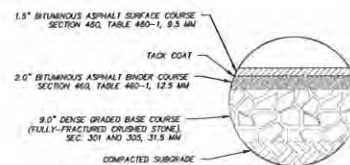
NOTES:

- A. TRACKING PAD:**
1. TRACKING PAD TO CONFORM TO WISCONSIN CONSTRUCTION PRACTICE STANDARD 1057.
 2. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3\"/>
- B. MAINTENANCE:**
1. ROCKS LOGGED BETWEEN THE TIRES OF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
 2. TRACKING PADS AND THE MARKING STATIONS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 3. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 4. A MINIMUM 12-INCH ROCK PAD SHALL BE MAINTAINED.

STONE TRACKING PAD DETAIL
(NOT TO SCALE)

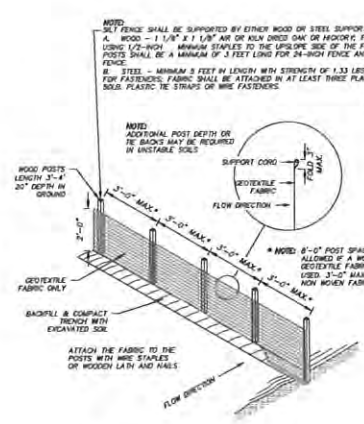


BOLLARD DETAIL

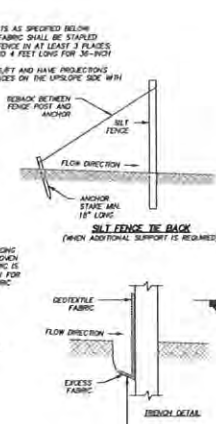


ASPHALT PAVEMENT SECTION

- NOTES:**
1. SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WISCONSIN CONSTRUCTION STANDARD 1056.
 2. SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UP-SLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 3. WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW.
- | SLOPE | FENCE SPACING |
|-----------|---------------|
| < 2% | 100 FEET |
| 2 TO 5% | 75 FEET |
| 5 TO 10% | 50 FEET |
| 10 TO 15% | 25 FEET |
| > 15% | 20 FEET |
4. INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MINIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
 5. A MINIMUM OF 30 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
 6. SILT FENCE SHALL BE ANCHORED BY DRIVING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH MADE BY 6-INCH DEEP TRENCH, OR 8-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 7. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS:
 - A) TWIST METHOD—OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 90 DEGREES.
 - B) HOOK METHOD—HOOK THE END OF EACH SILT FENCE LENGTH.
 8. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD. DAMAGED OR DESTROYED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF DAMBERS SHALL BE REPAIRED OR CORRECTED.
 9. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
 10. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.

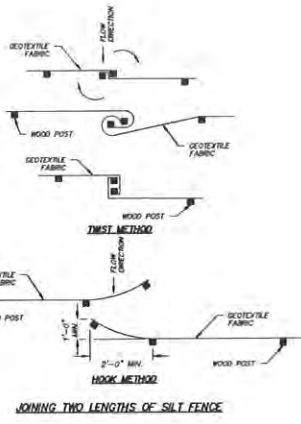


SILT FENCE DETAIL
(NOT TO SCALE)

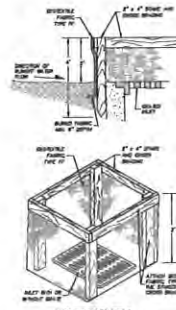


TRENCH DETAIL

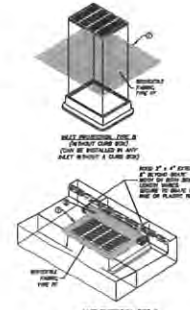
- NOTES:**
1. TRENCH SHALL BE A MINIMUM OF 4\"/>



JOINING TWO LENGTHS OF SILT FENCE



STORM DRAIN INLET PROTECTION DETAILS
(NOT TO SCALE)



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rasmith.com

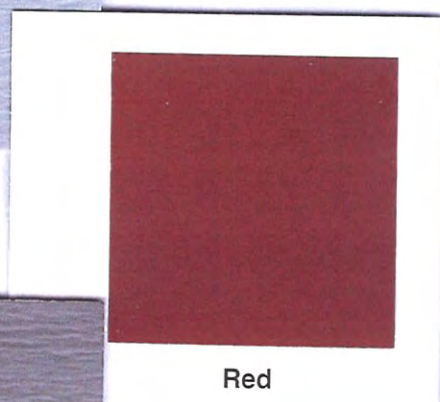
TOWER STORAGE
VILLAGE OF JACKSON, WI

DETAILS

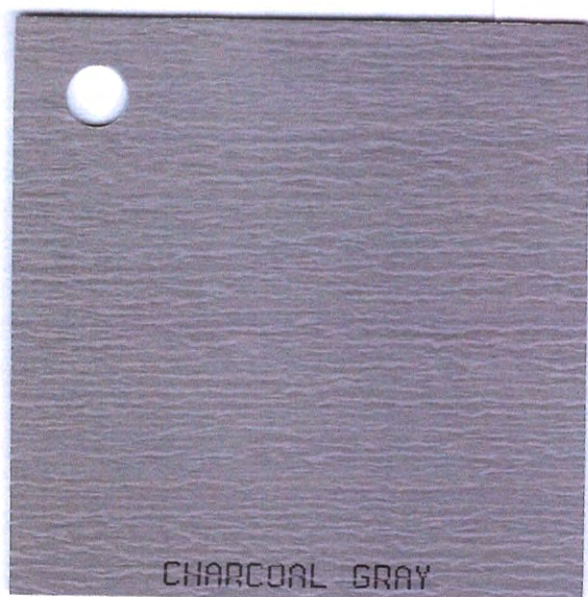
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R.A. Smith, Inc.
DATE: 02/27/2018
SCALE: NTS
JOB NO. 3180097
PROJECT MANAGER:
DANIEL J. MAZURKIEWICZ, P.E.
DESIGNED BY: DJM
CHECKED BY: RJH
SHEET NUMBER
C300

A



B



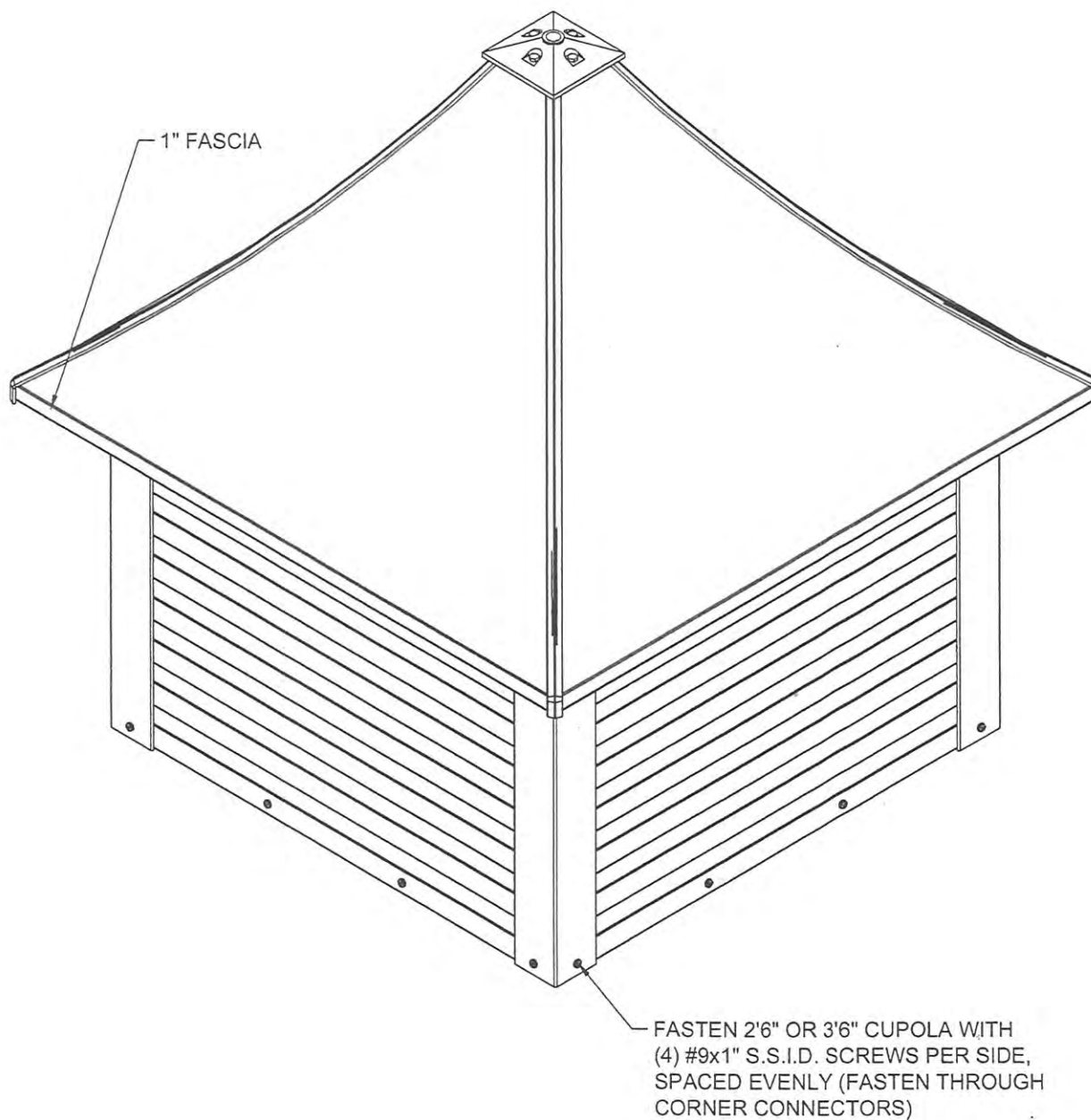


2' x 6' or 3' x 6' Cupola



MORTON BUILDINGS
CONSTRUCTION PROCEDURE MANUAL

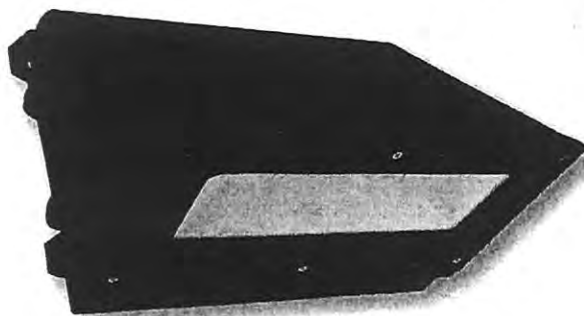
CUPOLA INSTALLATION



E-WP13 Series

LED Full Cutoff Wall Pack

Replaces 175W MH / 150W PSMH



Traditional Style with Increased Performance!

e-conolight's LED Full Cutoff Wall Pack outperforms traditional 150W PSMH versions by:

- Using up to 60% less energy
- Shining up to 6000 lumens
- Reducing light pollution

Efficient

- Reduced power consumption increases energy savings and decreases fixture maintenance

Recommended Use

- Building facades
- Perimeter lighting
- Parking areas & garages

Full Cutoff

- Reduced light pollution and sky glow
- Allows for control of spill light

Input Voltage

- Universal (120V through 277V Operation)

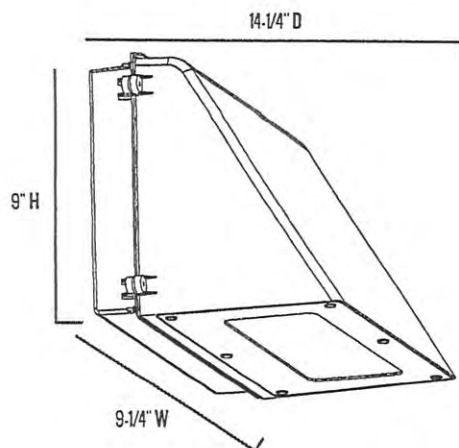
Certifications



e-conolight®

Making LED easy.

E-WP13 Series



Series Overview

DIMENSIONS	PRODUCT WEIGHT	MOUNTING HEIGHT	SPACING
14-1/4" D x 9-1/4" W x 9" H	9.02 lbs.	10 to 15 feet	1 to 2 times the mounting height

Fixture Specifications

HOUSING	Low copper, die-cast aluminum housing and door frame Dark bronze polyester powder-coat finish
LENS ASSEMBLY	Tempered glass lens is thermal, shock and impact resistant White polycarbonate reflector
MOUNTING	1/2" threaded knockouts provided for conduit entry (one on top, one on each side) or mount over recessed junction box

Electrical Performance

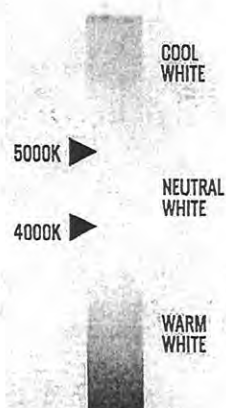
OPERATING MINIMUM	LIFESPAN L ₇₀ AT 25°C (77°F)	POWER FACTOR	TOTAL HARMONIC DISTORTION	DIMMABLE
-40°C (-40°F)	Estimated 172,000 Hours	> 0.9	< 20%	No
INPUT VOLTAGE	120V	208V	240V	277V
Current Draw (Amps)	0.6A	0.4A	0.35A	0.3A

Warranty & Certifications

WARRANTY	UL LISTED	ENERGY STAR
5-Year Limited	Wet Locations	---

Output Specifications

SKU	LIGHT OUTPUT	COLOR TEMP (See chart)	POWER CONSUMPTION	COLOR ACCURACY	REPLACES
E-WP13L07UCZ	6000 Lumens	Cool White (5000K)	70W	≥ 70 CRI	175W MH / 150W PSMH
E-WP13L07UNZ	5400 Lumens	Neutral White (4000K)	70W	≥ 70 CRI	175W MH

CORRELATED
COLOR TEMPERATURE
(CCT)

Due to continuous product improvement, information in this document is subject to change.

Revision Date: 01/16/17

1501 96th Street, Sturtevant, WI 53177 | Phone (888) 243-9445 | Fax (262) 504-5409 | www.e-conolight.com

e-conolight®

E-WP13 Series

Accessories



Photocell - Button, 120V/208V/240V/277V

SKU: **E-ACP1** (120V)

E-ACP2 (208V/240V/277V)

USE: Photocell is field installed.
Drilling of the back box in the field is required.

Photometric Diagrams



All published photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. Fixture photometry was completed on a single representative fixture.

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Design 2 Construct Development Corporation
 Contact Jordan O'Connor Address/ZIP N173W21010 Northwest Passage, 53037 Phone # 262-677-9933
 E-mail Address jocconnor@design2construct.com Fax # where Agenda/Staff comments are to be faxed 262-677-9934
 Name of Owner Infinity EDM, LLC Address/ZIP N173W21255 Northwest Passage, 53037 Phone # 262-677-9473
 Owner Representative/Developer Rich Marx
 Proposed Use of Site Addition to a manufacturing facility. Present Zoning PUD

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph)		XXX
			3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request	1	
			5) Impact Statement		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	6) Location Map		XXX
			7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	8) Preliminary Plat		XXX
			9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map		XXX
			11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	12) Annexation Map	1	XXX
			13) Sketch Plan		XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	14) Landscape Plan	4 (24x36)	XXX
			Engineering Review - Infrastructure		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Jordan O'Connor Signature Jordan O'Connor Date 3/2/18

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

☐ Special Use ☒ Conditional Use ☐ Planned Unit Development

Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☐ Planned Unit Development

Permit to:

Name of Business/Applicant: Infinity EDM, LLC

For a property located at (address): N173 W21255 Northwest Passage, Jackson, WI 53037

Phone number of Business/Applicant: 262-677-9473

For (land use, activity, sign, site plan, other): Addition to an existing building (manufacturing).

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): None

Hours of Operation: Shipping/Receiving - 7:00 AM - 4:00 PM (M-F); Office - 8:00 AM - 5:00 PM (M-F)

Comprehensive/Master Plan Compatibility: -

Building Materials (type, color): CMU painted, aluminum windows and storefront, metal building cladding - all to match existing building.

Setbacks from rights-of-way and property lines: See enclosed drawings.

Screening/Buffering: See enclosed drawings.

Landscape Plan (sizes, species, location): See enclosed drawings.

Signing (dimensions, colors, lighting, location): Not part of this application.

Lighting (wattage, style, pole location and height, coverage): Wall-mounted 250 W, full cut-off LED.

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), sidewalk/pedestrian way width and material): 24' wide drive aisle with sidewalks at building.

Storm-water Management: See enclosed drawings.

Erosion Control: See enclosed drawings

Fire Hydrant Location(s): See enclosed drawings

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: Existing.

Hazardous Material Storage: None

Alarm Systems: _____

Site Features/Constraints: Wetlands to the southeast of existing building.

Parking (no. of spaces, handicapped parking, and dimensions): Existing: 23 Proposed: 39 (16 add'l.)
20' x 10'

Tree and shrub preservation: N/A

Setbacks/height limitations: Building addition to match existing in height - see enclosed drawings.

Wastewater Usage Projected: TBD gal/year Water Usage Projected: TBD gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

Rich Marx, Owner
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.



MEMORANDUM

March 2, 2018

Job Name: Infinity EDM, LLC
Job Number: 17-00123
Re.: Plan Commission Application Package
To: Village of Jackson

LETTER OF INTENT

Dear Plan Commission:

Design 2 Construct Development Corporation would like to submit for your consideration preliminary plans for an addition to an existing building located in the Jackson Northwest Business Park. It is the intent of Infinity EDM, LLC to have Design 2 Construct build an addition to their existing manufacturing facility. The addition will consist of 12,500 square feet of open factory space, new windows, new doors – including (1) 16'x16' overhead door for pick-up/deliveries – and a new entrance on the north facade. The addition will be located to the east of the existing building which is located on Northwest Passage.

IMPACT STATEMENT

The annual water consumption and sewage generation will be slightly impacted as a result of the addition. Estimates for these figures are to be determined.

There are approximately 12 truck deliveries/shipments on an average day. They occur between 7:00 AM and 4:00 PM.

Approximately 20-30 employee vehicles, depending on shifts, plus any customer vehicles.

No additional signage is proposed at this time, and would be handled as part of a separate application by the Owner accordingly.

General hours of operation are as follows:

Shipping and Receiving: 7:00 AM – 4:00 PM, Monday - Friday

Office: 8:00 AM – 5:00 PM, Monday - Friday

Start of construction is anticipated to be Spring of 2018 with the estimated completion in Fall of 2018.

There will be no hazardous materials, unusual conditions, noises or odors.

Thank you for your consideration,
Design 2 Construct Development Corporation

N173 W21010
Northwest Passage

Jackson, WI 53037

Tel: 262.677-9933

Fax: 262.677.9934



March 2, 2018

Planning Commission

Village of Jackson

N168 W20733 Main Street

Jackson, WI 53037

Re: Infinity EDM, LLC – Plan Commission Application Package

Dear Members,

Please accept the attached plans and Village of Jackson Development Application Form for plan commission review under the heading of conditional use. The proposed building addition to Infinity EDM, LLC is an expansion of the manufacturing facility. The existing offices are to remain unaltered.

Building Material & Colors:

- § 12” Split-face CMU: Match existing Gray color.
- § 12” Smooth-face CMU: Match existing Gray color.
- § Metal cladding: Gray color to match existing.
- § Aluminum windows and entrances: Match existing.

You will also find attached the additional information required per the application form.

If you have any questions regarding these materials or require further information please feel free to contact our office.

Sincerely,

Design 2 Construct Development Corp.

Jordan O'Connor

Architect

Design 2 Construct

262-677-9933



DESIGN
•
CONSTRUCTION

PHONE (262) 677-9933
FAX (262) 677-9934

•
N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

BUILDING ADDITION FOR:

INFINITY EDM, LLC
N173W21255 NORTHWEST PASSAGE
JACKSON, WISCONSIN 53037

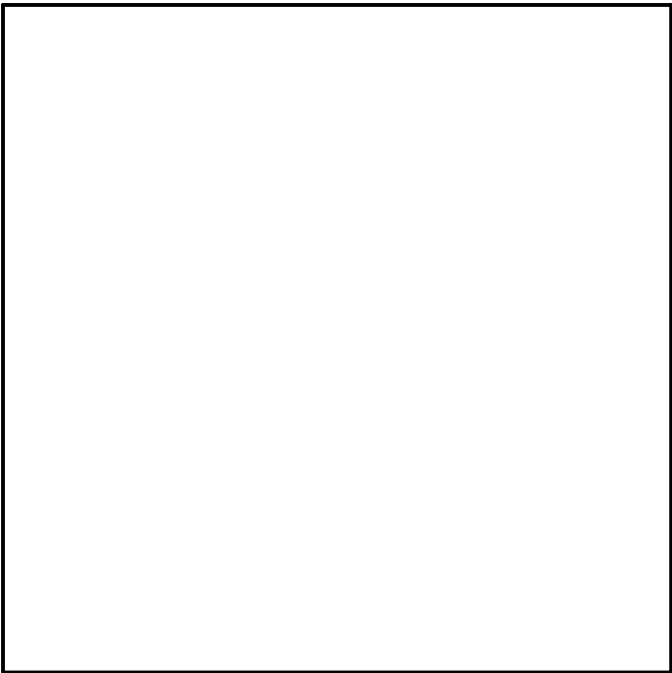
PROJECT DATA: SHEET INDEX:

BUILDING CODE: 2009 INTERNATIONAL BUILDING CODE	
OCCUPANCIES:	FACTORY: F-1 BUSINESS: B
CLASS OF CONSTRUCTION:	TYPE VB
NO. OF STORIES:	ONE
BUILDING IS:	SPRINKLER SYS. (NFPA-13)
BUILDING TYPE:	FACTORY WITH ASSOCIATED BUSINESS AREAS
PROPOSED AREAS (GROSS):	
FACTORY:	12,500 SF
EX. BLDG. (FACTORY/BUS.):	15,000 SF
TOTAL:	27,500 SF
ALLOWABLE AREAS (GROSS):	
FACTORY (WORST CASE):	8,500 SF
SPRINKLER INCREASE:	25,500 SF
TOTAL:	34,000 SF
OCCUPANCY SEPARATIONS:	NONE: NON-SEPARATED USES METHOD USED
OCCUPANT LOAD:	
FACTORY (100 SF/OCC.):	125 OCC
EX. BLDG. (FACTORY/BUS.):	150 OCC
TOTAL:	275 OCC
EXIT WIDTH (20" PER OCCUPANT):	
REQUIRED:	49.5 (72" MINIMUM)
PROVIDED:	180"
EXIT DISTANCES:	
FACTORY (WORST CASE):	250'
SANITARY REQUIREMENTS:	275 OCCUPANTS
REQUIRED (MALE):	2 WC, 2 LAV
PROVIDED (MALE):	2 WC, 2 LAV, 2 UR
REQUIRED (FEMALE):	2 WC, 2 LAV
PROVIDED (FEMALE):	2 WC, 2 LAV
PROVIDED (GENERAL):	1 SERV. SINK
NOTES:	TOILET FIXTURE COUNT REDUCED PER STATE ALLOWANCE

TS	TITLE SHEET
<u>CIVIL DRAWINGS</u>	
C-103	GRADING & EROSION CONTROL PLAN
C-104	UTILITY PLAN
<u>ARCHITECTURAL</u>	
A1.0	SITE / LANDSCAPE PLAN
A2.1	FIRST FLOOR PLAN
A4.1	EXTERIOR ELEVATIONS

PROJECT CONTACTS

CIVIL CONSULTANT	ARCHITECT
QUAM ENGINEERING	JORDAN O'CONNOR
1519 E. WASHINGTON ST, SUITE A	
WEST BEND, WI 53095	
KEVIN PARISH	PROJECT MANAGER
kjparish@sbcglobal.net	TBD
OFF: (262) 338-6641	
FAX: (262) 338-6684	
STRUCTURAL CONSULTANT	PROJECT NO.
TBD	17-00123
	DATE
	03.02.2018
	SEAL



PREV. TRANS. NO.: N/A
NEW TRANS. NO.: N/A
REVIEWER: VILLAGE OF JACKSON

DESIGN

2

CONSTRUCT

DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

•

PHONE 262.677.9933
FAX 262.677.9934

•

info@design2construct.com

BUILDING DESIGN FOR:

INFINITY EDM

*

N173W21255 NORTHWEST PASSAGE

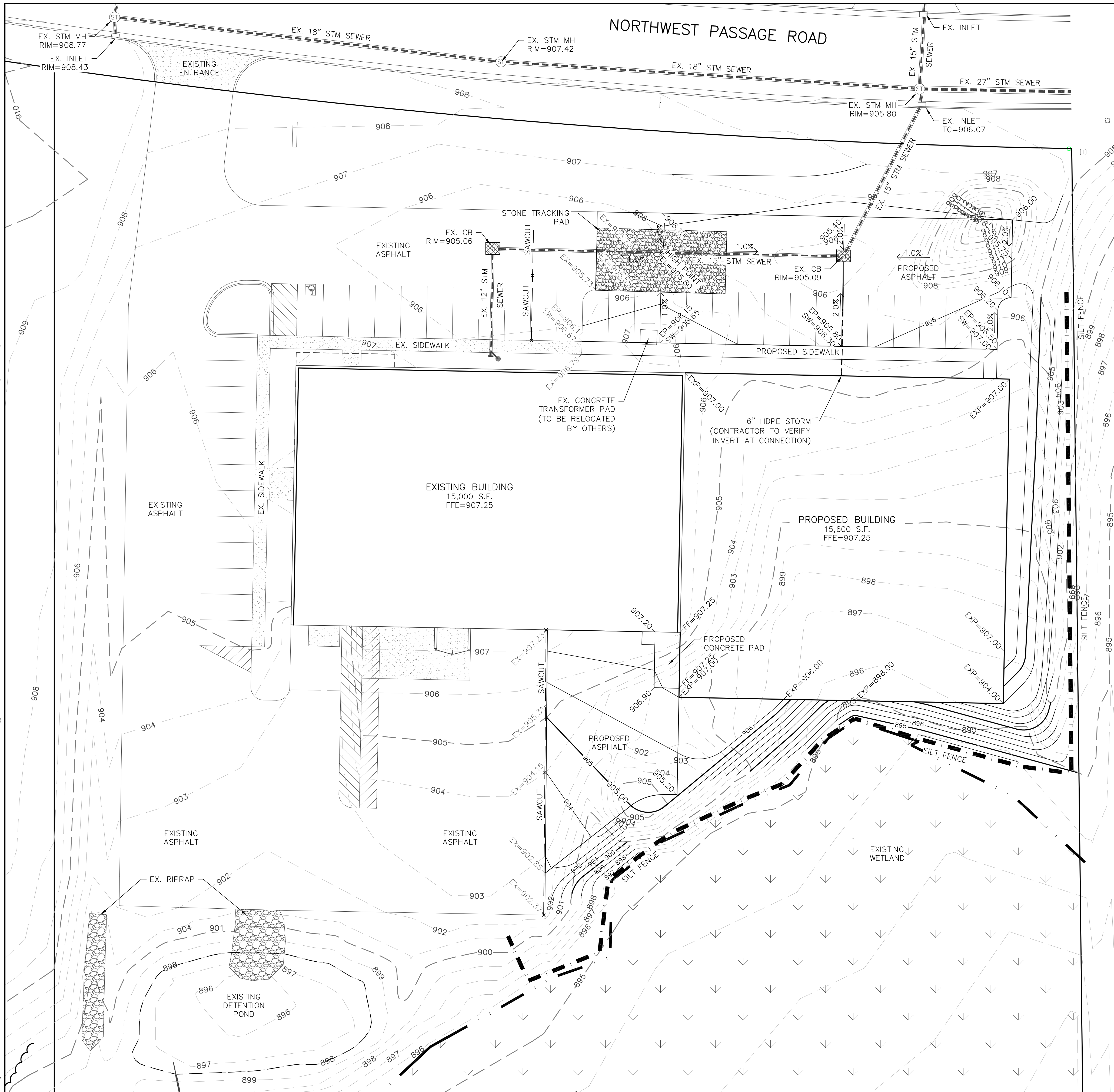
JACKSON, WI 563037

SHEET TITLE
TITLE SHEET

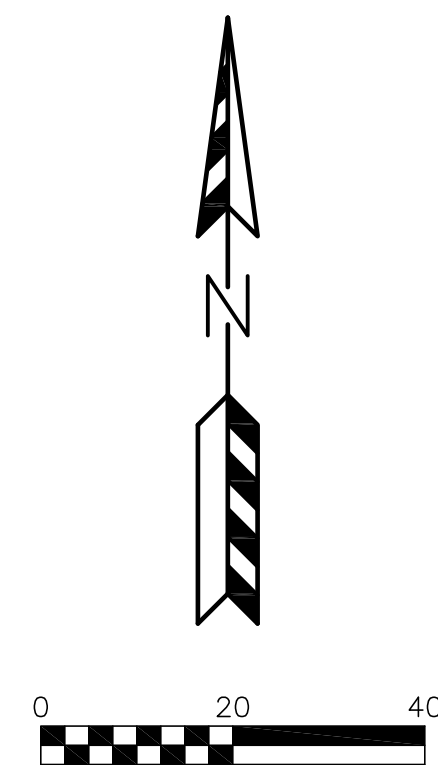
REVISIONS

PROJECT DATA
DATE
03.02.2018
JOB NO.
17-00123
SET USE
PLAN COMMISSION
FILE NAME
A1-TS
DRAWN BY
JRO
SHEET NO.

TS



 896 — EXISTING MINOR CONTOUR.
 895 — EXISTING MAJOR CONTOUR.
 896 — PROPOSED MINOR CONTOUR.
 895 — PROPOSED MAJOR CONTOUR.
 — PROPOSED STORM SEWER.
 — EXISTING STORM SEWER.
 — INSTALL WDOT TYPE D INLET PROTECTION.
 EXP=904.00 — BUILDING EXPOSURE ELEVATION
 SW=907.00 — SIDEWALK ELEVATION
 EP=906.50 — EDGE OF PAVEMENT ELEVATION



THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OF THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

APRIL 15, 2018

APRIL 15, 2018

INSTALL INITIAL EROSION CONTROL DEVICES.

APRIL 16 – MAY 15, 2018

CONSTRUCT PROPOSED BUILDING, PARKING LOT AND UTILITIES.

MAY 16 – 31, 2018

COMPLETE FINAL LANDSCAPING AND RESTORE ALL
PERVIOUS DISTURBED AREAS.

ALL DISTURBED AREAS, EXCEPT S

MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16% PHOSPHORIC ACID, NOT LESS THAN 6% POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH, IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS SEEDING EITHER BE INCORPORATED INTO THE SOIL SURFACE DURING PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

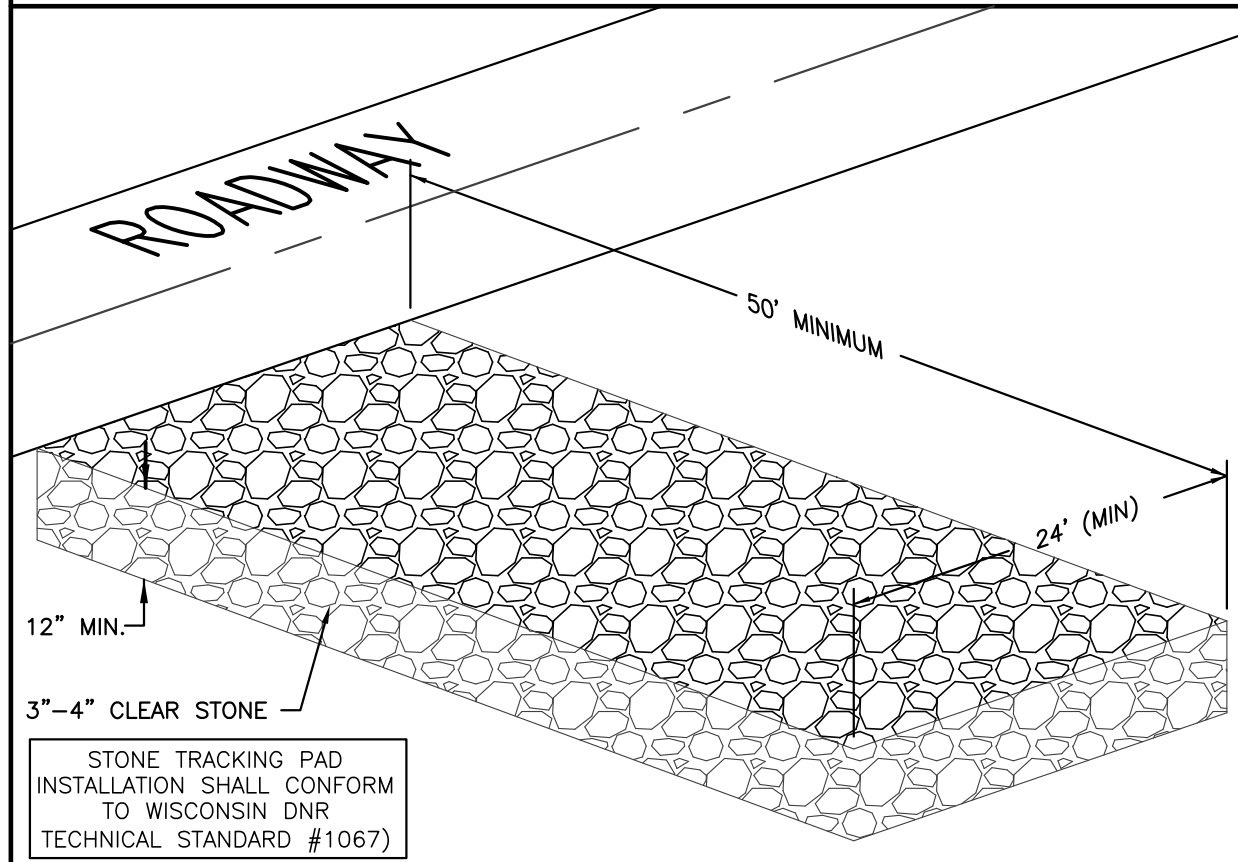
THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

OWNER:

INFINITY EDM, LLC
N173 W21255 NORTHWEST PASSAGE WAY
JACKSON, WI 53037

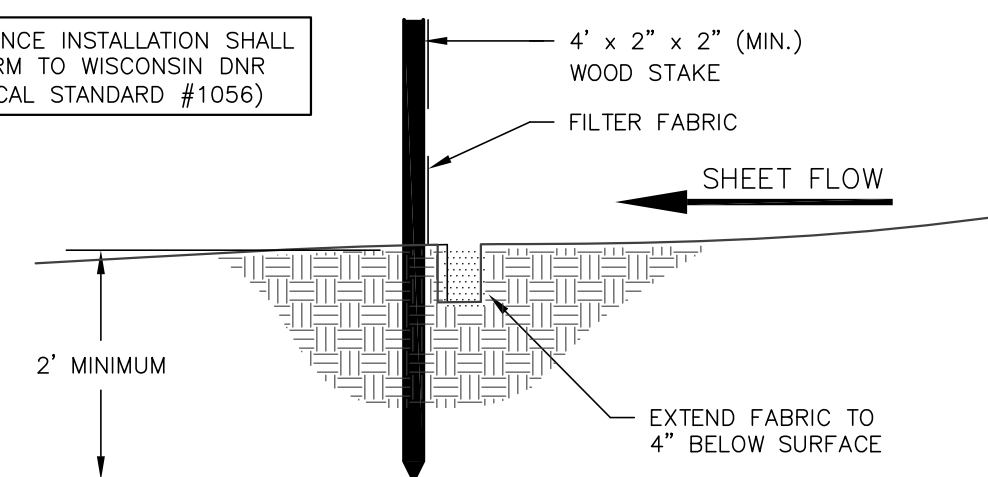
ENGINEER:

QUAM ENGINEERING, LLC
ATTN: KEVIN PARISH
1519 E. WASHINGTON ST, SUITE A
WEST BEND, WI 53095



STONE TRACKING PAD DETAIL

SILT FENCE INSTALLATION SHALL
CONFORM TO WISCONSIN DNR
TECHNICAL STANDARD #1056)



SILT FENCE CONSTRUCTION

GRADING AND EROSION CONTROL PLAN

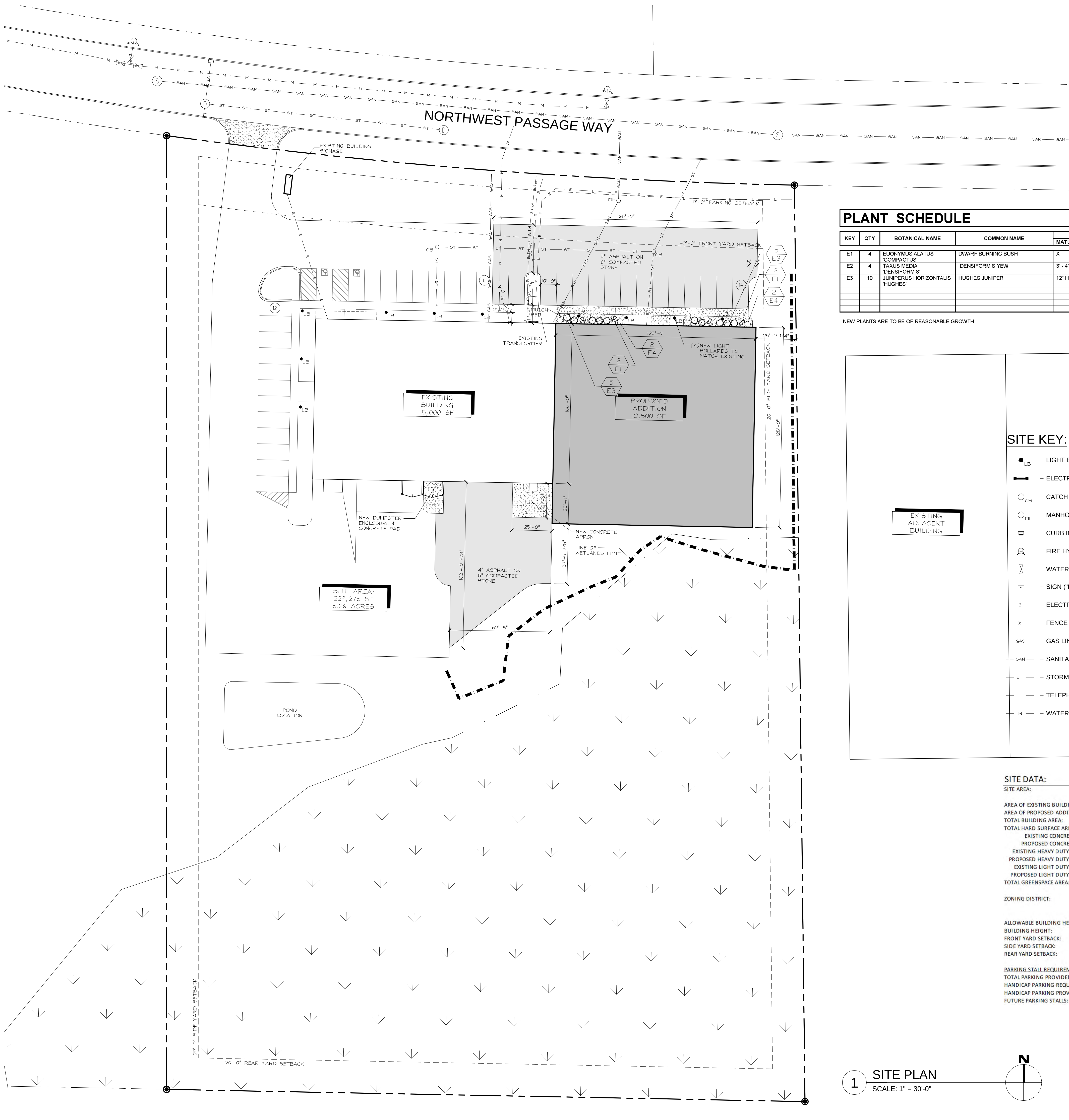
DATED: MARCH 1, 2018

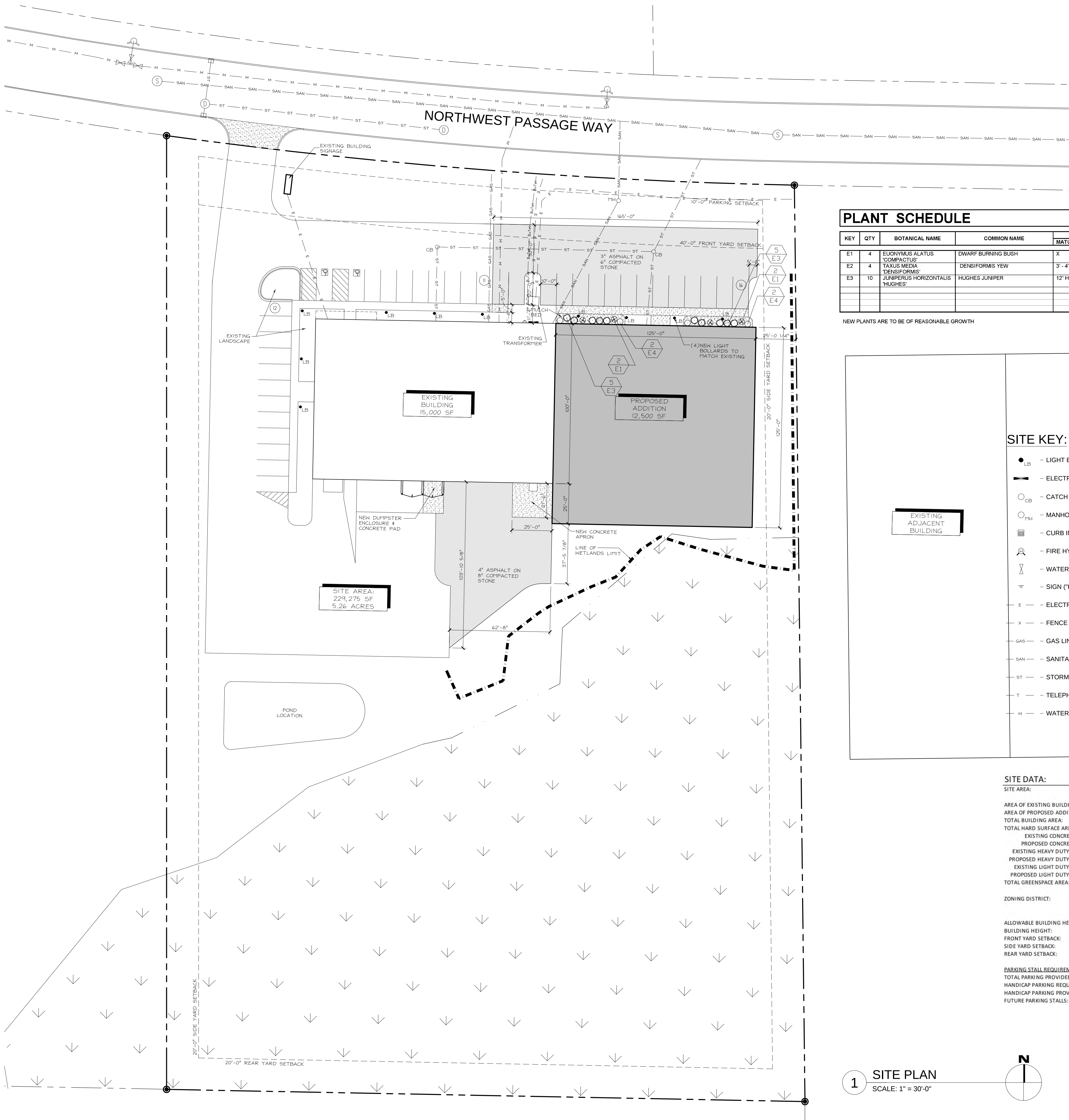
C-103

OUAM ENGINEERING, LLC



1519 E Washington Street, Suite A; West Bend, Wisconsin 53095
Phone (262) 338-6641; www.quamengineering.com





PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
E1	4	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	X	24" HIGH	POT
E2	4	TAXUS MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	3'-4'	24" HIGH	B & B
E3	10	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	12" HIGH	12" HIGH	POT

NEW PLANTS ARE TO BE OF REASONABLE GROWTH

SITE KEY:

- LB - LIGHT BOLLARD
- E - ELECTRIC / TELEPHONE SERVICE
- CB - CATCH BASIN
- MH - MANHOLE
- CI - CURB INLET
- FH - FIRE HYDRANT
- WV - WATER VALVE
- S - SIGN ("HANDICAP PARKING")
- E - ELECTRIC LINE
- X - FENCE LINE
- GAS - GAS LINE
- SAN - SANITARY SEWER
- ST - STORM SEWER
- T - TELEPHONE LINE
- W - WATER LINE

SITE DATA:

SITE AREA:	229,275 S.F. 5.26 ACRES
AREA OF EXISTING BUILDING:	15,000 S.F.
AREA OF PROPOSED ADDITION:	15,625 S.F.
TOTAL BUILDING AREA:	30,625 S.F.
TOTAL HARD SURFACE AREA:	47,251 S.F. (21% OF SITE)
EXISTING CONCRETE AREA:	2,143 S.F.
PROPOSED CONCRETE AREA:	1,641 S.F.
EXISTING HEAVY DUTY PAVING:	23,444 S.F.
PROPOSED HEAVY DUTY PAVING:	4,968 S.F.
EXISTING LIGHT DUTY PAVING:	6,900 S.F.
PROPOSED LIGHT DUTY PAVING:	8,155 S.F.
TOTAL GREENSPACE AREA:	151,399 S.F. (66% OF SITE)
ZONING DISTRICT:	PUD
ALLOWABLE BUILDING HEIGHT:	NO LIMIT
BUILDING HEIGHT:	28'-0"
FRONT YARD SETBACK:	40'-0"
SIDE YARD SETBACK:	20'-0"
REAR YARD SETBACK:	20'-0"
PARKING STALL REQUIREMENTS:	
TOTAL PARKING PROVIDED:	37 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
FUTURE PARKING STALLS:	0

BUILDING DESIGN FOR:
INFINITY EDM
*
N173W21255 NORTHWEST PASSAGE
JACKSON, WI 53037

SHEET TITLE

FLOOR PLAN

REVISIONS

PROJECT DATA

DATE

03.02.2018

JOB NO.

17-00123

SET USE

PLAN COMMISSION

FILE NAME

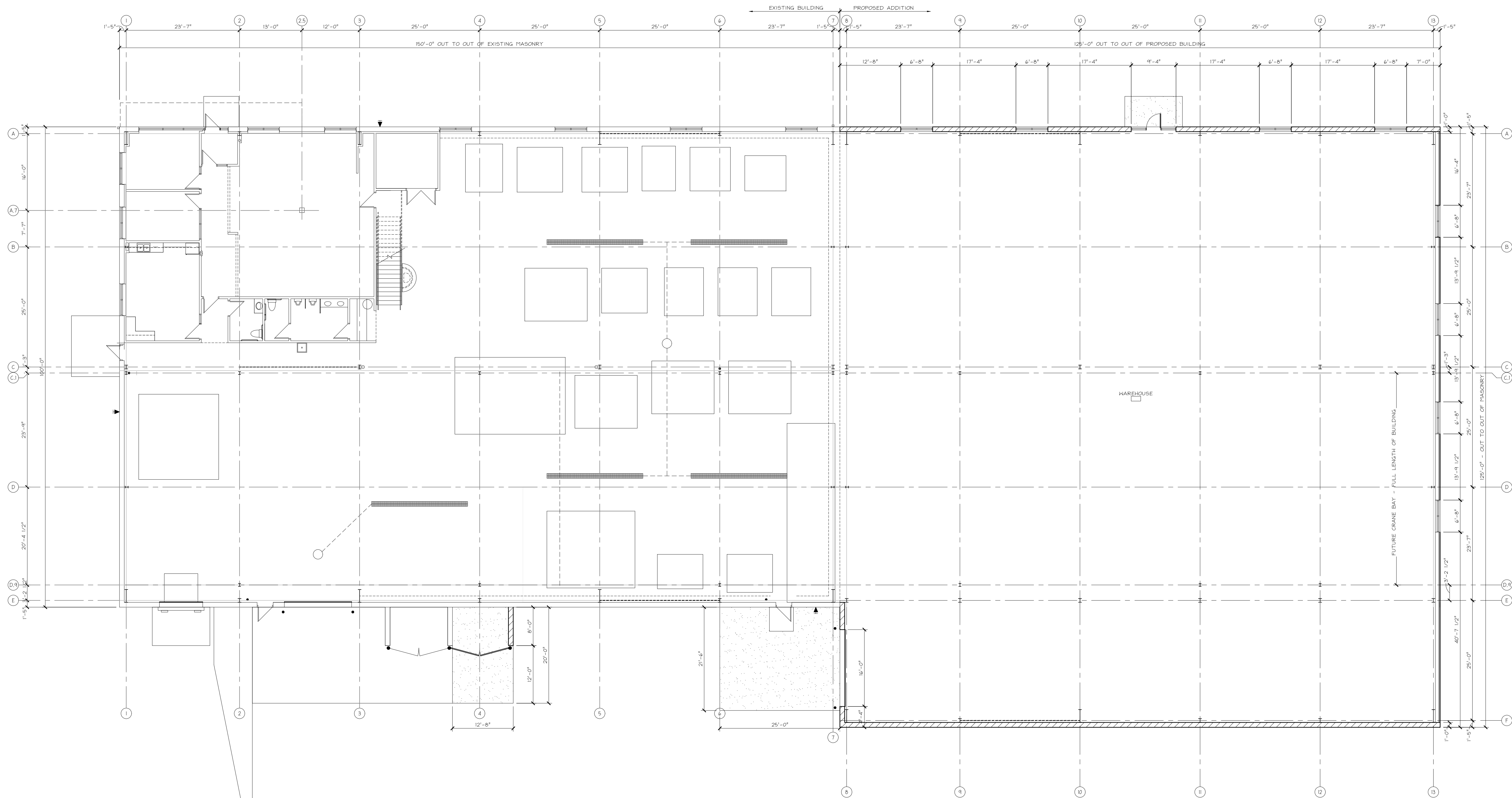
E4-A2.1

DRAWN BY

MVH

SHEET NO.

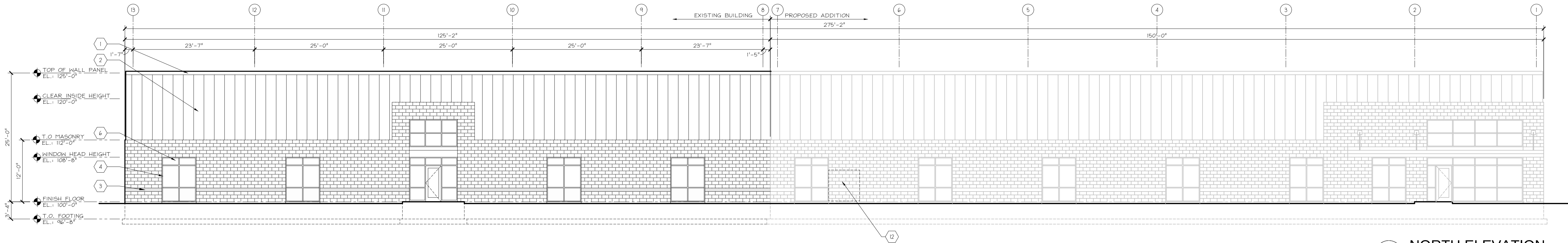
A2.1



1 FLOOR PLAN

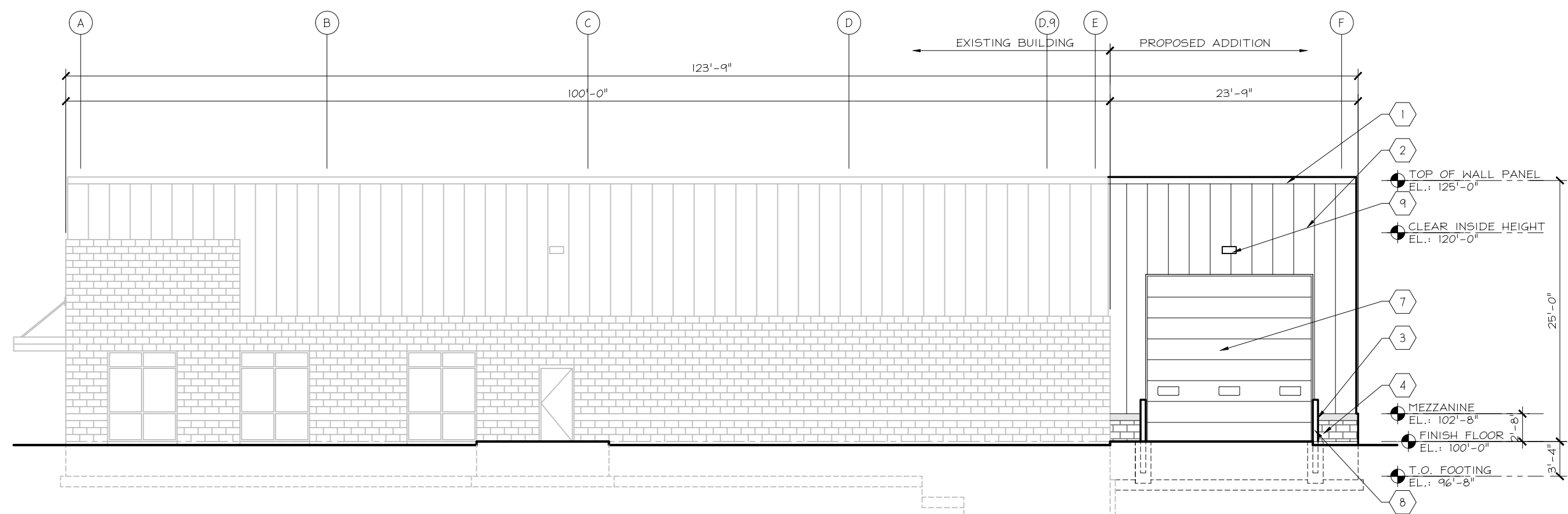
SCALE: 3/32" = 1'-0"

AREAS:
EXISTING: 15,000 SF
OFFICE: 2,447 SF
MEZZANINE: 2,556 SF
SHOP: 12,563 SF
ADDITION: 15,625 SF

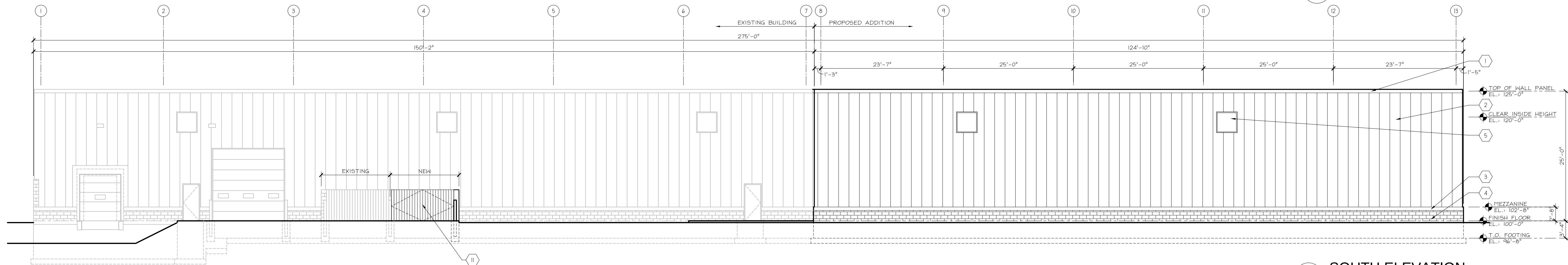


1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

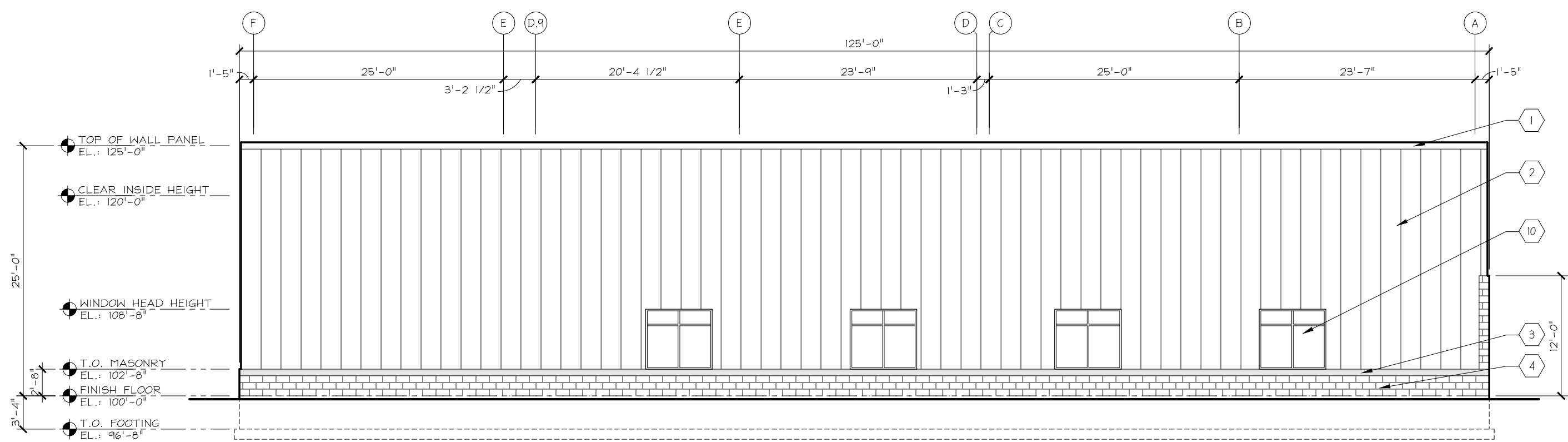
- TYPICAL BUILDING FINISHES
- 1 PREFINISHED SHEET METAL FASCIA TO MATCH EXISTING
 - 2 PREFINISHED METAL WALL PANEL TO MATCH EXISTING
 - 3 12" PAINTED SMOOTH FACE CMU TO MATCH EXISTING
 - 4 12" PAINTED DECORATIVE CMU TO MATCH EXISTING
 - 5 PREFINISHED ALUMINUM FRAMING w/ TINTED INSULATED FRAMING TO MATCH EXISTING
 - 6 PAINTED, INSULATED HOLLOW METAL DOOR & FRAME TO MATCH EXISTING
 - 7 6' x 16' PREFINISHED INSULATED O.H. DOOR TO MATCH EXISTING
 - 8 CONCRETE FILLED 8" PIPE BOLLARD w/ POLYCARBONATE COVER
 - 9 WALL-MOUNTED LIGHT FIXTURE TO MATCH EXISTING
 - 10 RELOCATED EXISTING WINDOWS
 - 11 NEW TRASH/RECYCLE ENCLOSURE TO MATCH EXISTING
 - 12 APPROXIMATE LOCATION OF EXISTING ELECTRICAL SERVICE



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



4 EAST ELEVATION
SCALE: 3/32" = 1'-0"

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:
INFINITY EDM
*
N173W21255 NORTHWEST PASSAGE
JACKSON, WI 53037

SHEET TITLE
EXTERIOR ELEVATIONS

REVISIONS

PROJECT DATA
DATE
03.02.2018
JOB NO.
17-00123
SET USE
PLAN COMMISSION
FILE NAME
G2-A4.1
DRAWN BY
JO, BW
SHEET NO.

A4.1



NORTHWEST CORNER LOOKING SOUTHEAST AT EXISTING MAIN ENTRANCE



NORTHEAST CORNER LOOKING SOUTHWEST TOWARD EXISTING BUILDING



VIEW OF SOUTH SIDE OF EXISTING BUILDING AT LOCATION OF PROPOSED ADDITION



LOOKING EAST TOWARD PROPOSED ADDITION WITH WETLANDS TO THE SOUTH

NAMES & ADDRESSES:

OWNER:

Richard Marx
Infinity EDM, LLC
N173W21255 Northwest Passage
Jackson, WI 53037
Ph. 262-677-9473

APPLICANT:

Jordan O'Connor
Design 2 Construct
N173 W21010 Northwest Passage Way
Jackson, WI 53037
Ph. 262-677-9933
Fax 262-677-9934

The property is currently occupied by Infinity EDM, LLC.

DESIGN 2 CONSTRUCT DEVELOPMENT CORPORATION
JACKSON, WI 53037

86

Village of Jackson

102575

DATE	INVOICE NO.	DESCRIPTION	INVOICE AMOUNT	DEDUCTION	BALANCE
3-01-18	20180301	Infinity EDM	150.00	.00	150.00
CHECK DATE	3-01-18	CHECK NUMBER	102575	TOTALS	150.00
			150.00	.00	150.00



N173 W21010 NORTHWEST PASSAGE WAY
JACKSON, WI 53037 • TEL: 262-677-9933

HORICON STATE BANK
WEST BEND, WISCONSIN 53095

79-562
759

102575

Pay: *****One hundred fifty dollars and no cents

PAY
TO THE
ORDER
OF

Village of Jackson
P.O. Box 637
Jackson, WI 53037

DATE

March 1, 2018

CHECK NO.

102575

AMOUNT

\$*****150.00

⑈102575⑈ ⑆075905622⑆ 1000010015⑈

RJ MARX COMMERCIAL
N173W21255 NORTHWEST PSGE
JACKSON WI 53037-0000

B&G INVESTMENTS OF JACKSON LLC
N171W21048 INDUSTRIAL DR
JACKSON WI 53037-0000

GREEN VALLEY ASSOC
PO BOX 99
MENOMONEE FALLS WI 53052-0099

LLS III LLC
4201 CTY HWY P
JACKSON WI 53037-0000

VILLAGE OF JACKSON
PO BOX 637
JACKSON WI 53037-0000

JACKSON GOLF CLUB LLC
2466 LOUGH LN
HARTFORD WI 53027-0000

JOHN C KUBER, ELLEN M KUBER
W200N14144 ROCKY LN
RICHFIELD WI 53076-0000

CEDAR BAY INVESTMENT
N173W21441 NORTHWEST PASSAGE
JACKSON WI 53037-0000

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant NEUMANN DEVELOPMENTS
 Contact KEVIN ANDERSON Address/ZIP N27W24023 PALL CT; #100 Phone # 262-542-9200
 E-mail Address KEVIN@NEUMANNCOMPANIES.COM Fax # where Agenda/Staff comments are to be faxed _____
 Name of Owner PALOMAR FARMS, LLC Address/ZIP P.O. Box 99, MEN. FARMS, 53052 Phone# 262-251-1715
 Owner Representative/Developer KEVIN DITMAR
 Proposed Use of Site SINGLE FAMILY RESIDENTIAL Present Zoning AG1/RESIDENTIAL

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name KEVIN ANDERSON Signature [Signature] Date 3/1/18

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____



March 01, 2018

Mr. John Walther, Administrator
Village of Jackson
N168W20733 Main Street
Jackson, WI 53037

RE: Maplewood Farms
Concept Plan Letter of Intent

John,

Neumann Developments is submitting this Letter of Intent and supporting documents for Concept Plan review from the Village Plan Commission and staff at the March 29th Plan Commission meeting.

The proposed subdivision would be developed as a single-family residential subdivision and, at full build out of the subdivision, would have (3) connections to existing roads; East Gate Drive into Sherman Parc, East Gate Drive into Twin Creeks and the main entrance at Maple Road. To maintain the rural-feel of the community, we are proposing to have a rural-street cross section and have an on-road pedestrian pathway on one side of the road for all thru-streets as represented by the blue line on the concept plan. Lot sizes, setbacks, etc. are shown on the attached concept plan.

The following information is included in this submission:

- Application form
- Letter of Intent
- Location Map
- Sketch Plan (along with proposed road section)

Our team is cognizant that this proposed subdivision is contingent on the State's approval of the attachment of the parcel and the ratification of the same by the Village. If any additional information is required please feel free to contact me. Our team looks forward to discussing this proposed subdivision with the Village staff and Plan Commission.

Sincerely,

Neumann Developments

Kevin Anderson

Maplewood Farms - Jackson



March 1, 2018

- County Boundary
- City, Village or Town Hall
- Libraries
- Washington County Landmarks
- Airports
- Trails

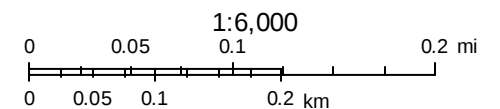
- Public Open Spaces
- Current Parcel

Road Centerline I, USH

Road Centerline STH, CTH

Road Centerline TWN, CVS, PVT

Washington County
Washington County, Wisconsin



Development Summary
- Proposed Zoning: R-1 (PUD)
- 66' wide public streets with rural road section (5' wide paved shoulder for pedestrian lane)
- Abundant open space

Lot Characteristics:
- Lot Area: 12,500 s.f. (minimum)
15,000 s.f. (Northwest perimeter)
20,000 s.f. (West perimeter)
- Minimum Lot Width = 90' (typical)
- Setbacks:
Front = 30'
Side = 10-15' (25' total)
Rear = 25'

- Total Lots = 125 North = 65 lots
Future South = 60 lots
- Total Area = 76 acres (N=38.95 acres)
- Common Open Space = 14.8 acres (19%)
- Density = 1.64 lots/acre
- Minimum Lot Size = 12,500 s.f. min.
- Overall Average Lot Size = 15,779 s.f.
- West Lots = 20,000 s.f. minimum
(Lots 38-41 & 106-108: 21,982 s.f. average)
- Northwest Lots = 15,000 s.f. minimum
(Lots 29-37: 18,603 s.f. average)
- Total Road Length = 8,510 l.f. (68 lf/lot)
North = 4,700 l.f. (72.3 lf/lot)
South = 3,810 l.f. (63.5 lf/lot)

GENERAL DEVELOPMENT PLAN

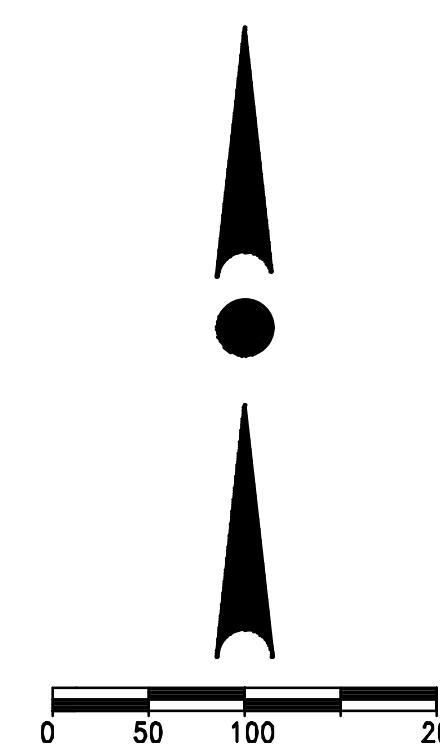
Maplewood Farms

Village of Jackson, WI

West Shore
0.40 acres
(110'x158')



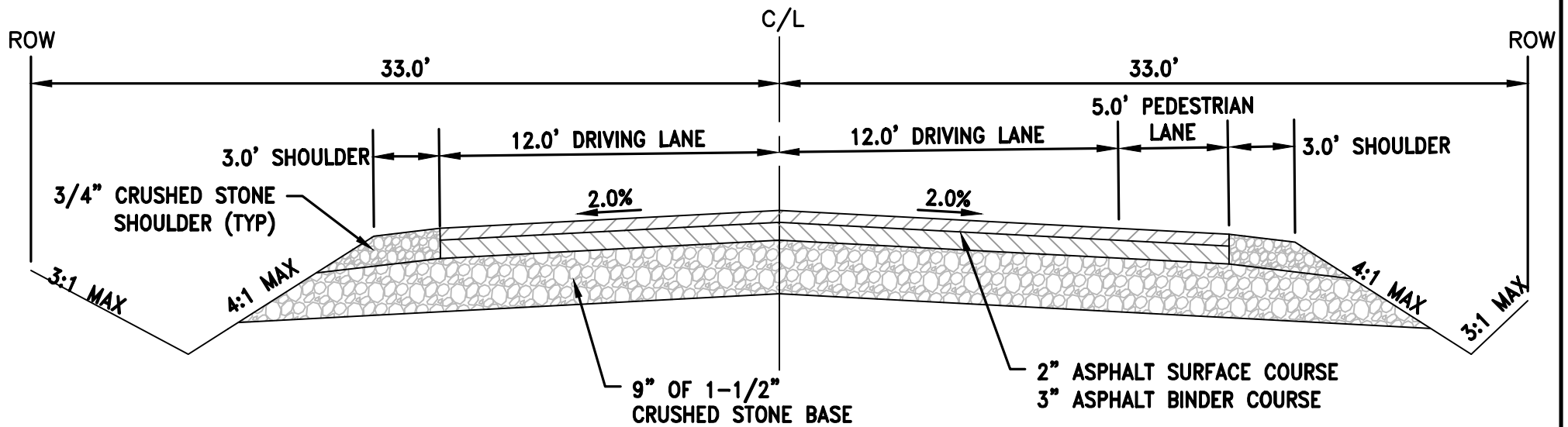
12660 W. NORTH AVE., BLDG D
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudelko@trioeng.com



Scale: 1" = 100' (22"x34")

Scale: 1" = 200' (11"x17")

DATE: 3/01/2018



TYPICAL MAPLEWOOD FARMS ROAD SECTION

NOT TO SCALE



VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant(s) Shelly Bennett, Janelle Lietzau, Kristine Jacklin
 Contact Kristine Jacklin Address/ZIP 5049 Pleasant Hill Rd Richfield Phone # 262-224-6153
 E-mail Address rjacklin@charter.net Fax # where Agenda/Staff comments are to be faxed _____
 Name of Owner _____ Address/ZIP _____ Phone# _____
 Owner Representative/Developer _____
 Proposed Use of Site Restoration-Retail / Assembly Present Zoning Retail

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph)		XXX
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	4) Owner acknowledgement of the request	1	
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	5) Impact Statement		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	6) Location Map		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	7) Development Plan / Site Plan		XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	8) Preliminary Plat		XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	9) Final Plat		XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	10) Certified survey Map		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	11) Annexation Petition		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	12) Annexation Map	1	XXX
VARIANCE	\$150	1,2,3,4,6,7	13) Sketch Plan		XXX
* Labels	\$25		14) Landscape Plan	4 (24x36)	XXX
			Engineering Review - Infrastructure		
			15) Grading/Drainage Plan	4 (24x36)	XXX
			16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
			18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
			20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
			22) other -		XXX
			If not included with submittal		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Kristine Jacklin Signature Kristine Jacklin Date 3/1/2018
 Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

☐ Special Use ☐ Conditional Use ☒ Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☒ Planned Unit Development

Permit to:

Name of Business/Applicant: CENTER STREET MILLING CO.

For a property located at (address): W208N16730 Center St, JACKSON

Phone number of Business/Applicant: Kristine Jacklin 262 224 6153

For (land use, activity, sign, site plan, other): approval of business use for event venue / retail space / wine bar

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): n/a

Hours of Operation: Sunday-Thursday 9AM-10PM Friday / SAT 9AM-12PM

Comprehensive/Master Plan Compatibility: YES

Building Materials (type, color): SIMILAR TO EXISTING MATERIALS, METAL, STEEL, WOOD

Setbacks from rights-of-way and property lines: EXISTING

Screening/Buffering: N/A

Landscape Plan (sizes, species, location): TO BE SUBMITTED

Signing (dimensions, colors, lighting, location): TO BE SUBMITTED

Lighting (wattage, style, pole location and height, coverage): TO BE SUBMITTED

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): ON SITE & STREET PARKING, PUBLIC PARKING LOT NEARBY, ADDING ADDITIONAL ON SITE PARKING

Storm-water Management: N/A

Erosion Control: N/A

Fire Hydrant Location(s): EXISTING

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: KNOX BOX TO BE INSTALLED

Hazardous Material Storage: N/A

Alarm Systems: EXISTING

Site Features/Constraints: N/A

Parking (no. of spaces, handicapped parking, and dimensions): 40 (2 HANDICAP INCLUDED)

Tree and shrub preservation: N/A

Setbacks/height limitations: N/A

Wastewater Usage Projected: ^{LESS THAN} 30,000 gal/year

Water Usage Projected: ^{LESS THAN} 100,000 gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):
CONTINUOUS & REVIEWED UPON COMPLAINTS

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

_____, Owner
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The *Planning Commission* meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

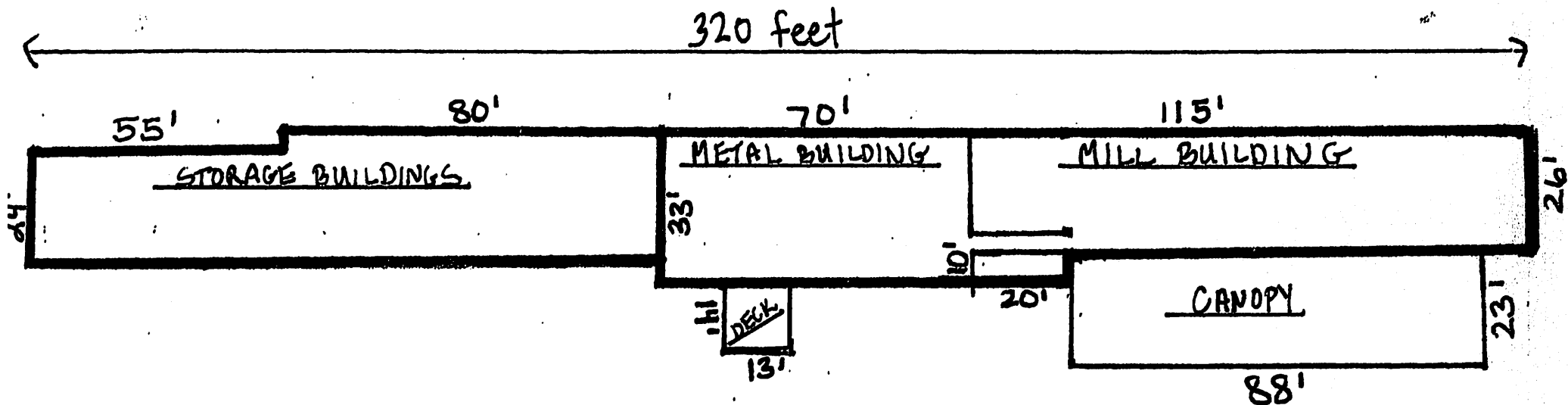
1. *Application Form: Must be submitted on CD.*
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.



Center Street Mill

Preliminary Sketch Plan



- Renovate 70' x 33' Metal Bld for Main Event Space
- Add Separate Mens/Womens Bathrooms on Main Level
- Renovate 115' x 26' Mill Bld for Bar Area & Additional Gathering Space
- Renovate 80' x 33' Storage Bld for Retail Space
- Remove 55' x 24' Storage Bld for Parking & Greenspace
- Renovate 88' x 23' Overhang Canopy for Outdoor Space & Greenspace
- Lower Level: Utilize for Storage & Caterer Prep Area



Restoring the natural beauty of the historic Mill in Jackson
with a vision to add modern conveniences -
warmth of color and inviting décor.

The need for a gathering space with these unique qualities is in high demand. The Village of Jackson will benefit from the flow of traffic and growth that the Center Street Milling Co. has to offer.



The Metal Building and Mill Building will be renovated keeping the vintage character but with adding modern comforts. A full bar will be added to the main area. Chandeliers and artisan lighting will hang throughout the entire inside space to add a touch of class to this simple and clean slate. The open floor plan allows any host to transform our beautiful raw space into their own vision. The Metal Building and Mill Building will serve as the main gathering space for

- *classes

- *reunions

- *birthday parties

- *weddings

- *showers

- *business meetings

- *book clubs

- *community events

- *family reunions

- *fundraisers

- *ladies' nights

- *celebrations of life

- *fitness classes

- *pop-up boutiques

~ *The possibilities are truly endless* ~

Our current vision utilizes part of the storage building as a market-like retail space for unique gifts, one of a kind jewelry and clothing.

The current condition of the North part of the storage building puts it's best option to a possible tear down and used for additional parking and greenspace.

The entire lower level with be used for storage and catering. We have no intentions of making food at this facility. Washington County has a wonderful selection of caterers we intend to work with, as well as bringing in local food trucks.





The exterior authenticity of the building and surrounding area will be kept as close to the original colors while adding to the existing original overhangs and patio. Fresh landscaping, bistro & string lighting with uniquely built outdoor furnishings will added to spaces to provide relaxing areas where guests can sit, have a glass of wine and listen to music.

We hope to bring in weekly farmers markets during the week in seasonal months, as well as an outdoor beer garden. A spot for community and families to come together and enjoy the simple life.





We truly value faith, celebration, unique experience
and the opportunity to share this with others.
The Center Street Milling Co. is excited about
bringing life back to the Jackson Mill.



Additional Project Information

Designers/Owners

Shelly Bennett – Richfield Wi

Janelle Lietzau – Slinger, Wi

Kristine Jacklin – Richfield, Wi

Recent restoration projects completed by our Designers:

Holy Hill Art Farm - Richfield, Terrace 167 – Richfield, Silver Spring County Club- Menomonee Falls,
Craig Berns Salon and Spa, Delafield

Websites of other event venue's comparable to our proposed project/business plans:

<https://www.greyhousecreativemarket.com/>

<http://www.washingtoncountymillingcompany.com/>

<https://themillwinery.com/>

<https://www.themillevents.com/>

<http://carstensmill.com/>

We currently have an offer with the current property owner Richard Buser. This offer is contingent on:

- 1) Village Approval of Business Plan/Permits Issued
- 2) Obtaining a Class B, full liquor license on the property
- 3) Structural Engineer Report that confirms building is sound for proposed Usage
- 4) Financing

VILLAGE OF JACKSON

N168W20733 MAIN ST.

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 200696**Date:** 3/06/2018**Check****RECEIVED**
FROM PLAN & DESIGN TEAM LLC

\$50.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	50.00
	CONCEPT PLAN	

TOTAL RECEIVED	50.00
----------------	-------

Receipt Memo: CONCEPT PLAN/CK#2012

SCHEUNEMANN APPLIANCE & TV INC

N168 W20069 MAIN ST
JACKSON, WI 53037
Phone (262) 677-3691
Fax (262) 677-3809

February 28, 2018

**KETTLE MORaine GLASS & SHOWER DOOR
N168 W20069 MAIN ST
JACKSON, WI 53037**

KETTLE MORaine GLASS & SHOWER DOOR,

**SCHEUNEMANN APPLIANCE & TV INC. IS ALLOWING KETTLE MORaine GALSS & SHOWER DOOR TO RUN
THEIR BUSINESS OUT OF OUR BUILDING.**

**AS LANDLORD OF THE PROPERTY, I EUGENE SCHEUNEMANN, GIVE MY PERSISSION FOR SIGNAGE IN FRONT
OF THE BUILDING. THE SIGN MAY CONSIST OF A MOVABLE SIGN AND/OR A WINDOW SIGN. I ALSO CONSENT
TO A VNYL BUILDING SIGN .**

**Sincerely,
EUGNE SCHEUNEMANN**

VILLAGE OF JACKSON

N168W20733 MAIN ST.

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 200611**Date:** 3/01/2018**Check**

RECEIVED FROM	KETTLE MORaine GLASS & SHOWER	\$175.00
--------------------------	-------------------------------	----------

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	175.00
	PUD / KETTLE MORaine GLASS & SHOWER	

TOTAL RECEIVED	175.00
-----------------------	---------------

Receipt Memo: PUD / CK #2020

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Kettle moraine Glass + Showee Door
 Contact Gloria Bennett Address/ZIP 7460 Glacier Dr. Westland Phone # 262-339-8926
 E-mail Address _____ Fax # where Agenda/Staff comments are to be faxed 262-674-1900
 Name of Owner Gene Scheuermann Address/ZIP N168 W 20069 main St. Phone# 677-3691
 Owner Representative/Developer Gloria Bennett
 Proposed Use of Site Commercial Present Zoning PUD

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
			4) Owner acknowledgement of the request	1	
* PLANNED UNIT DEVELOPMENT	\$150	(1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20)	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Gloria Bennett Signature Gloria Bennett Date 7-27-18

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

☐ Special Use ☐ Conditional Use ☒ Planned Unit Development

Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☒ Planned Unit Development

Permit to:

Name of Business/Applicant: Kettle moraine Glass + Shower Door

For a property located at (address): 1169 W 200th main St. Jackson, MT 53037 ^{Gloria Bennett}

Phone number of Business/Applicant: 262-674-1900

For (land use, activity, sign, site plan, other): Approval of Business Use + Approval of wall mounted business sign.

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): N/A

Hours of Operation: m-f 9-7pm Sat 9-12

Comprehensive/Master Plan Compatibility: N/A

Building Materials (type, color): Existing

Setbacks from rights-of-way and property lines: Existing

Screening/Buffering: N/A

Landscape Plan (sizes, species, location): Existing

Signing (dimensions, colors, lighting, location): wide 12' x 2' 6" Height Green with Black letter North East front wall. NO lighting on sign

Lighting (wattage, style, pole location and height, coverage): N/A

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): Existing

Storm-water Management: N/A

Erosion Control: N/A

Fire Hydrant Location(s): Existing

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: 262-339-8926

Hazardous Material Storage: N/A

Alarm Systems: Existing

Site Features/Constraints: N/A

Parking (no. of spaces, handicapped parking, and dimensions): Existing

Tree and shrub preservation: Existing

Setbacks/height limitations: Existing

Wastewater Usage Projected: MIN. gal/year

Water Usage Projected: MIN. gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):
Continuous + Reviewed upon complaint.

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

Gloria Bennett

John Walther, Administrator

Gloria Bennett, ~~owner~~ agent
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

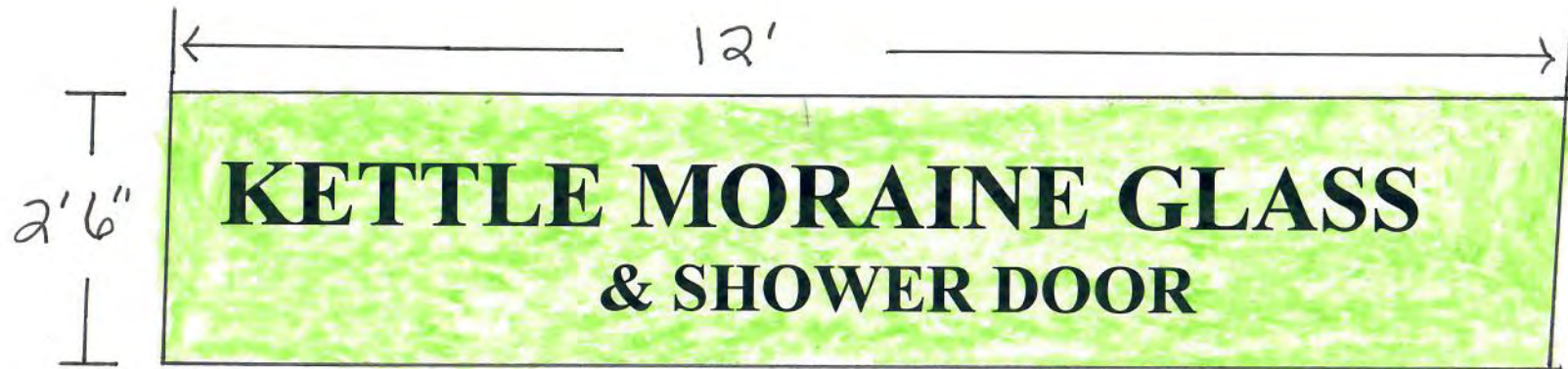
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 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

Google Maps n168w20069 Main St



n168w20069 Main St
Jackson, WI 53037



KETTLE MORaine GLASS & SHOWER DOOR LLC

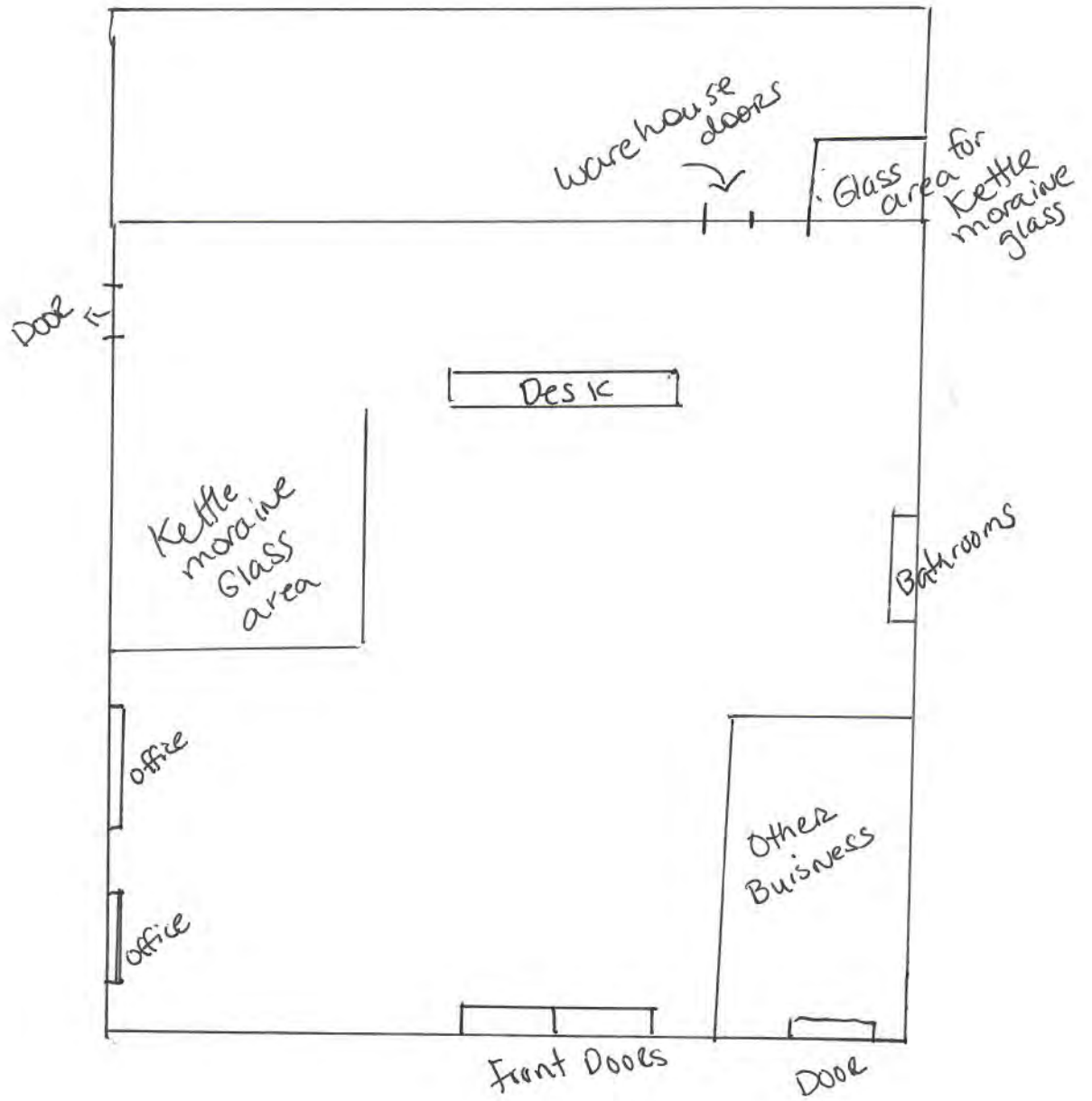


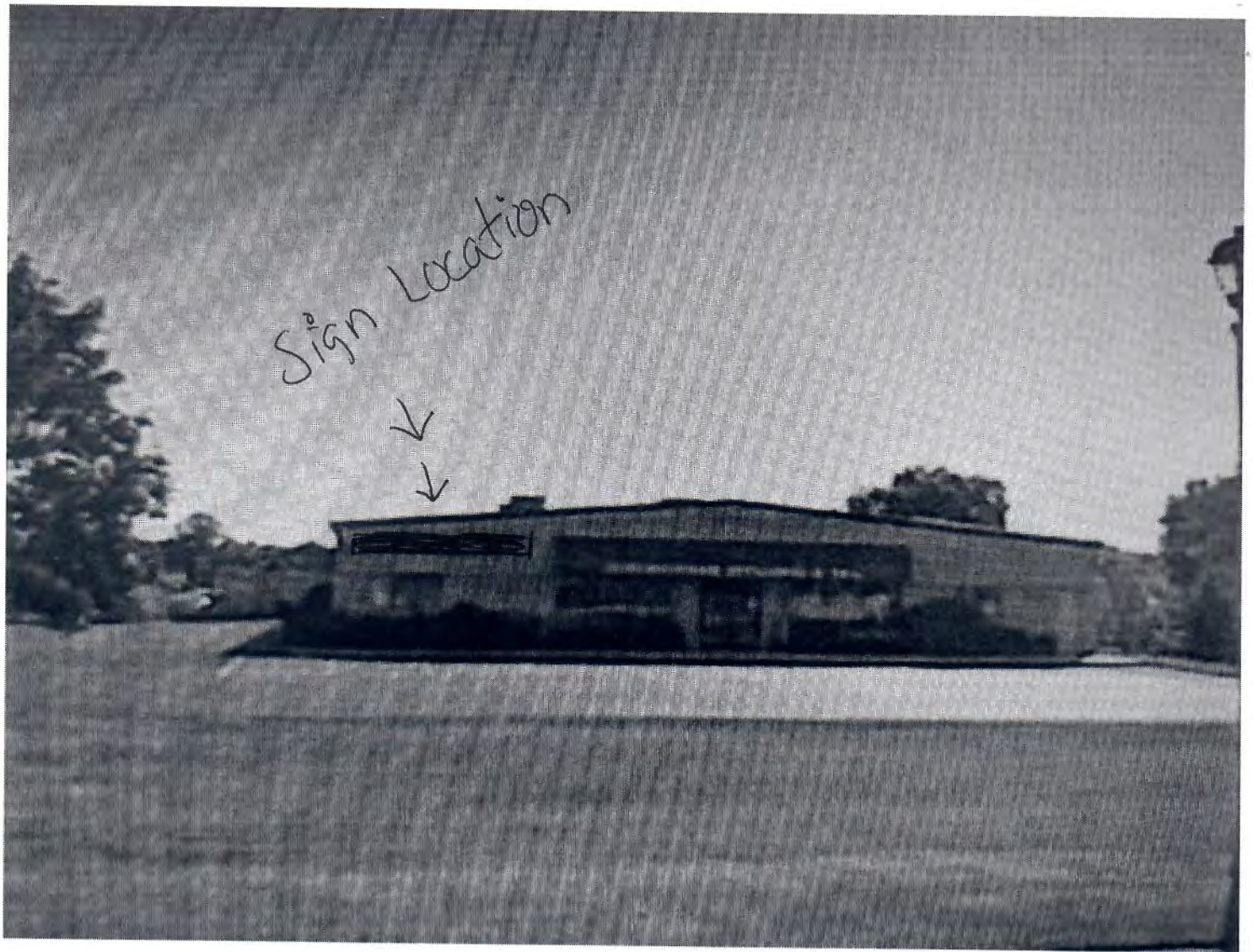
Letter of Intent

Kettle Moraine Glass & Shower Door would like approval to be located inside Scheunemann Appliance building and would like an exterior wall mounted sign to reflect our business for advertising.

Impact Statement

- A. minimal
- B. minimal
- C. 50
- D. 1 work van to be parked after hrs. out side
- E. 2'6" x 12" sign green background with black lettering
 - F. 9am-7pm M-F and Sat. 9am -12pm
 - G. N/A
- H. Construction will start upon village approval
 - I. N/A





STAFF REVIEW COMMENTS
(March) Plan Commission Meeting – April 5, 2018

1. Conditional Use – Jackson Self-Storage Buildings – Dittmar Realty

Building Inspection

- No outside storage shall be permitted in this development.
- Adequate exterior lighting on all of the exterior surfaces of the buildings shall be installed.
- Three (3) total handicapped storage units shall be installed with designated handicapped parking and access to the units.
- There is no picture of the sign nor specific location that is proposed; it will need a separate review and approval.

Public Works/Engineering

- If the plan is not to use the existing sewer and water laterals onsite, then the laterals shall be disconnected at the mains in the street.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- No additional comments.

2. Planned Unit Development Amendment – Building Addition – Infinity EDM, LLC – Design 2 Construct

Building Inspection

- State of Wisconsin Plan Review will be required.
- The addition will be fully sprinklered per code requirements.
- An additional handicap parking stall will be required with the parking lot expansion.
- One (1) additional REU for sewer and water will be charged with the building permit. A three (3) year consumption analysis was conducted and an average of 147,763 gallons of water was consumed per year.

Public Works/Engineering

- The current three year average water usage has been calculated by the Building Inspection Department to be over the 109,500 gallons per year for a REU (Residential Equivalent Unit). An additional REU shall be charged for sewer and water at the time of application for the building permit.

STAFF REVIEW COMMENTS
(March) Plan Commission Meeting – April 5, 2018

- The additional parking lot storm water runoff will be allowed to direct discharge into the storm sewer of Northwest Passage. Northwest Passage storm sewer system discharges to a regional detention pond.
- The wetland area shall be protected during and after the construction period.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- No comments.

3. Concept Plan – Neumann Developments – Maplewood Farms

Building Inspection

- Recommend a public storm sewer system with laterals to each house. If there is no public storm sewer, then at a minimum, each house shall have the sump discharge into a private underground piping system that will flow to the ditch line and drain to daylight.
- Not fond of the pedestrian lane shown on this concept plan, but it does address an alternate to sidewalks.
- Recommend approval.

Public Works/Engineering

- The proposed 125 lot subdivision is trying to maintain the “rural-feel” of the adjoining subdivisions. The current Village standard road cross section for a subdivision is to have 5 ft sidewalk on each side of the roadway along with vertical face curbing. The road width varies from 32 ft to 36 ft depending on the traffic load. The proposal of a 24 ft road width and a dedicated 5 ft wide pedestrian lane is an alternative to the Village standard. Having a dedicated pedestrian lane on both sides of the roadway with a one foot shoulder or less would be another alternative.
- Another Village standard is providing a storm water lateral for each single family structure. The storm sewer lateral discharges to the street storm sewer system. A rural road cross section has no storm sewer system. If the rural road cross section is approved, then the utility plans shall show a dedicated discharge line for the sump pump to the roadway ditch.

Police Department

- No comments.

STAFF REVIEW COMMENTS
(March) Plan Commission Meeting – April 5, 2018

Fire Department

- Hydrants must be within 500 ft. of a residence. Setbacks should be close enough that we can reach the roof with our ladder truck. Exits look good with having multiple ways in and out.

Administrative/Planning

- This is an alternative to the Village standard; it is consistent with the subdivisions on either side. Considered a rural cross-section, the subdivision will be the distant (southeast) corner of the Village for some time to come. A pedestrian walkway has been allowed for in the design on one side of the roadway.
- Recommend approval.

4. Concept Plan – Center St Milling Co. – Restoration – Retail/Assembly

Building Inspection

- This would be an excellent addition to the village and will greatly improve the appearance and condition of the building.
- Adequate parking shall be provided for the events that will be hosted.
- State of Wisconsin Plan Review will be required for the future alterations/construction work.
- All future signage on the building or ground signs will require Plan Commission and Village Board approvals. These can be included with the PUD Amendment submittal at a future date.
- Recommend approval.

Public Works/Engineering

- The proposed development could and would be a catalyst for the surrounding area for other potential developments.

Police Department

- No comments.

Fire Department

- A maximum occupancy will need to be determined, and proper exiting for the potential number of people in the building at one time.
- Would be great for the community

Administrative/Planning

- This can serve as a catalyst for the redevelopment of the trackside area.

STAFF REVIEW COMMENTS
(March) Plan Commission Meeting – April 5, 2018

5. Planned Unit Development – Kettle Moraine Glass & Shower Door

Building Inspection

- This applicant is proposing to open up their business and occupy a portion of Scheunemann Appliance & TV building and requires approval per the Zoning Code.
- The Inspection Department was notified from the sign company that a change had occurred. Proof #2 will be used for the actual sign.
- The wall sign requires a separate Sign Permit for the installation of the sign.

Public Works/Engineering

- No additional comments.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- No additional comments.