



**VILLAGE OF JACKSON
PLAN COMMISSION MEETING AGENDA**

Thursday, January 18, 2024 at 7:00 PM

Jackson Municipal Complex
Village Board Room
N168W19851 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of Minutes for the Special Plan Commission Meeting of November 14, 2023
3. Two-Lot Certified Survey Map for Parcels V3_053600F and V3_053600G - Village of Jackson
4. Review of Amended Site Plan and Other Supporting Documents for Parcel V3_053600F - 250 Focus, LLC
5. Ordinance #24-01 - Amending Village Ordinance Section 6-54, Pertaining to the Maximum Number of Dogs Per Residence
6. Review and Consideration of Zoning Audit Report - Tim Schwecke, Planning Consultant
7. Citizens/Village Staff to Address the Plan Commission
8. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Administration Department at the Jackson Municipal Complex at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

MINUTES

PLAN COMMISSION MEETING

Tuesday, November 14, 2023 at 6:30 PM

Plan Commission Meeting

1. Call to Order and Roll Call

The meeting was called to order at 6:47 PM by Pres. Heckendorf.

Members Present: Pres. Heckendorf, Tr. Emmrich, Tr. Kruepke, Ryan Ganshow, Jon Molkentin, and Dan Reik.

Members Excused: None

Members Absent: Doug Wilcox

Staff Present: Administrator Jen Keller, Building Inspector Collin Johnson, Treasurer Darlene Smith, Public Works Director Brian Kober, Parks & Recreation Director Kelly Valentino, Fire Chief Aaron Swaney, Lt. Todd Fristed, and Clerk Anastasia Gonstead.

Trustees Present in Audience: None

2. Approval of Minutes for the Plan Commission Meeting of September 21, 2023

The motion to approve the minutes of the September 21, 2023 Plan Commission meeting was made by Tr. Emmrich and seconded by J. Molkentin.

Vote: 6 ayes, 0 nays. Motion carried.

3. Approval of Minutes for the Plan Commission Meeting of October 19, 2023

The motion to approve the minutes of the October 19, 2023 Plan Commission Meeting was made by Tr. Emmrich and seconded by R. Ganshow.

Vote: 6 ayes, 0 nays. Motion carried.

4. Development Agreement - Laurel Springs Villas Subdivision - Bielinski Homes, Inc.

The background was provided by Director Johnson.

The motion to recommend the Village Board approve the development agreement for Laurel Springs Villas Subdivision by Bielinski Homes, Inc. was made by Pres. Heckendorf and seconded by Tr. Kruepke.

Vote: 6 ayes, 0 nays. Motion carried.

5. Ordinance #23-16 - Establishing Zoning District PUD-06 - Laurel Springs Villas Subdivision - Bielinski Homes, Inc.

The motion to recommend the Village Board approve Ordinance #23-16 Establishing Zoning District PUD-06 for Laurel Springs Villas Subdivision by Bielinski Homes, Inc. was made

by Tr. Emmrich and seconded by Tr. Kruepke.

Vote: 6 ayes, 0 nays. Motion carried.

6. Development Agreement - Cedar Creek Townhomes - James Kupfer

The background was provided by Director Johnson.

The motion to recommend the Village Board approve the development agreement for Cedar Creek Townhomes by James Kupfer was made by Tr. Kruepke and seconded by Pres. Heckendorf.

Vote: 6 ayes, 0 nays. Motion carried.

7. Conditional Use and Site Plan Review - Cedar Creek Townhomes - James Kupfer

The motion to recommend the Village Board approve the conditional use and site plan review for Cedar Creek Homes by James Kupfer, subject to the provided conditions, was made by Tr. Kruepke and seconded by Tr. Emmrich.

Vote: 6 ayes, 0 nays. Motion carried.

8. Ordinance #23-17 - Establishing R-1 Zoning for Parcel V3_052200A - Just Two Neighbors, LLC

The motion to recommend the Village Board approve Ordinance #23-17 - Establishing R-1 Zoning for Parcel V3_052200A for Just Two Neighbors, LLC was made by Tr. Kruepke and seconded by J. Molkentin.

Vote: 6 ayes, 0 nays. Motion carried.

Editor's Note: At the Village Board meeting on November 14, 2023 it was determined the legal name of the owner is Just Neighbors 2 LLC.

9. Conditional Use and Site Plan Review - N173W11843 Northwest Passage - Manzoor Enterprises, LLC - Design 2 Construct

Director Johnson introduced the representative with Design 2 Construct, who answered questions for the body.

The motion to recommend the Village Board approve the conditional use and site plan review for N173W11843 Northwest Passage by Manzoor Enterprises, LLC and applicant Design 2 Construct, subject to the provided conditions, was made by Pres. Heckendorf and seconded by R. Ganshow.

Vote: 6 ayes, 0 nays. Motion carried.

10. Extraterritorial Plat Review for a Two-Lot Certified Survey Map (CSM) - 2028 Hwy 60 - John and Debra Goll

The background was provided by Director Johnson.

The motion to recommend the Village Board approve the extraterritorial plan review for a two-lot certified survey map for the property located at 2028 Hwy 60 for John and Debra Goll was made by Pres. Heckendorf and seconded by J. Molkentin.

Vote: 6 ayes, 0 nays. Motion carried.

11. Citizens/Village Staff to Address the Plan Commission

Director Johnson informed the Commission that the regularly scheduled meeting for Thursday, November 16, 2023 was canceled due to the current Special Plan Commission meeting containing all actionable items needing review.

12. Adjourn

A motion to adjourn the meeting was made by Tr. Kruepke and seconded by Tr. Emmrich.

Vote: 6 ayes, 0 nays. Motion carried. The meeting was adjourned at 7:00 PM.

Respectfully Submitted,
Anastasia Gonstead - Village Clerk



Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: January 18, 2024
Agenda Item: # 3
To: Plan Commission
From: Collin Johnson, Director of Inspections/Zoning
Subject: Two-Lot Certified Survey Map for Parcels V3_053600F and V3_053600G - Village of Jackson

Background and Analysis:

The Village of Jackson is seeking approval for a two-lot Certified Survey Map (CSM) for Parcel V3_053600F and Parcel V3_05600G. An original CSM was reviewed by the Village Plan Commission on April 20, 2023 and the Village Board on May 9, 2023. The proposed revised CSM establishes additional easements on Lots 1 and 2 for the shared driveway area, as well as at two areas for proposed shared signage.

Comprehensive Plan & Zoning Impacts:

Neither the Village Comprehensive Plan nor designated zoning are impacted by the CSM request.

Site Plan:

See attached location map and CSM.

Review Procedures:

The Plan Commission is advisory. The Village Board makes the final decision.

Signage:

See attached CSM.

Additional Staff Comments:

None.

Notice Requirements:

Posting on the agenda.

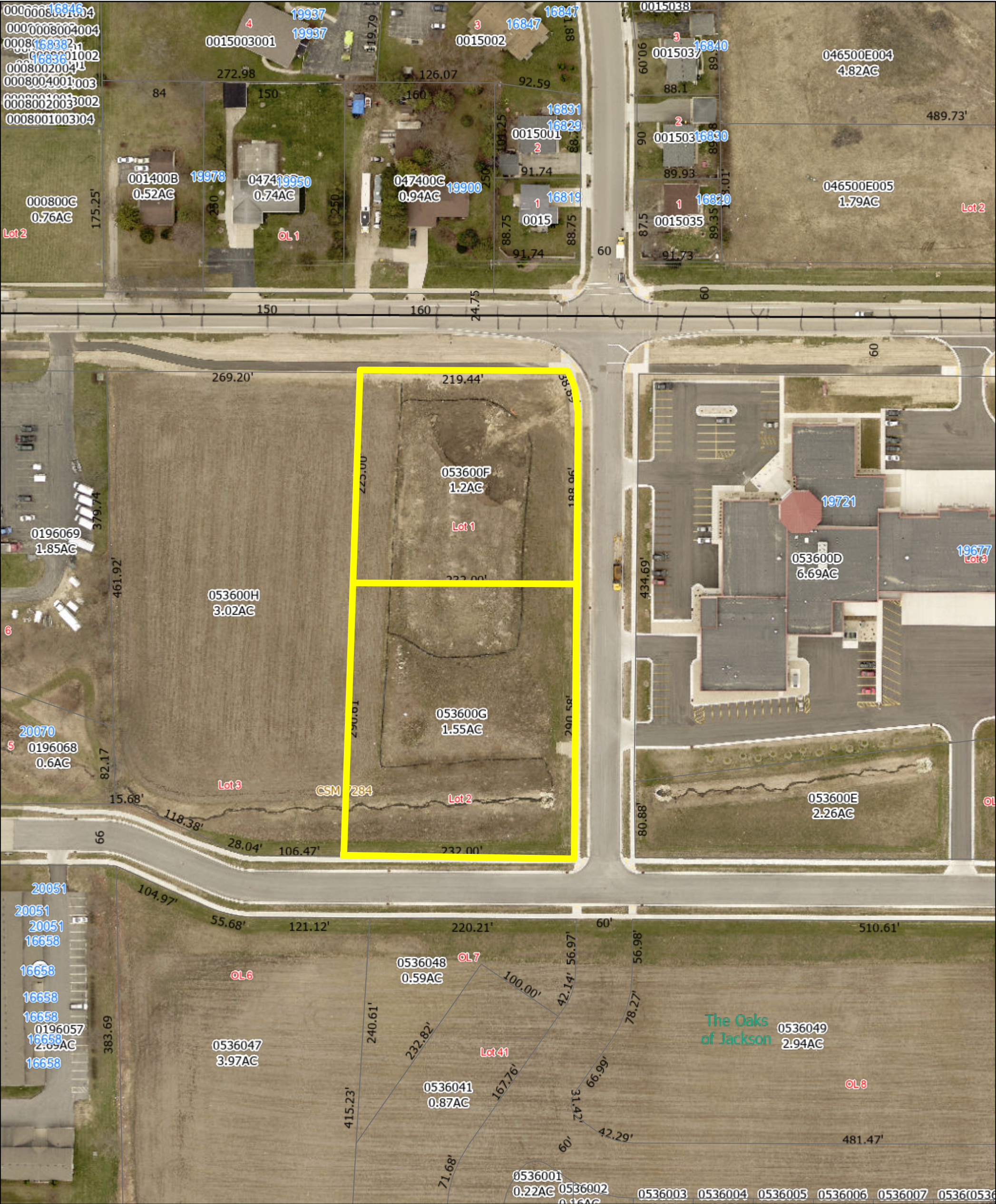
Potential Action:

Recommend the Village Board approve the Two-Lot Certified Survey Map (Revised) for Parcels V3_05600F and V3_05600G.

Attachments:

1. Aerial Map
2. Certified Survey Map - Draft

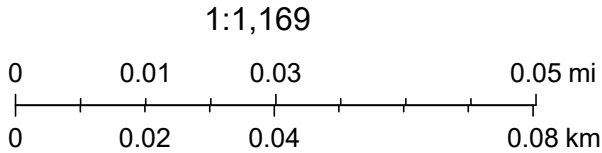
Parcels: V3_053600F and V3_05600G



12/27/2023, 9:12:15 AM

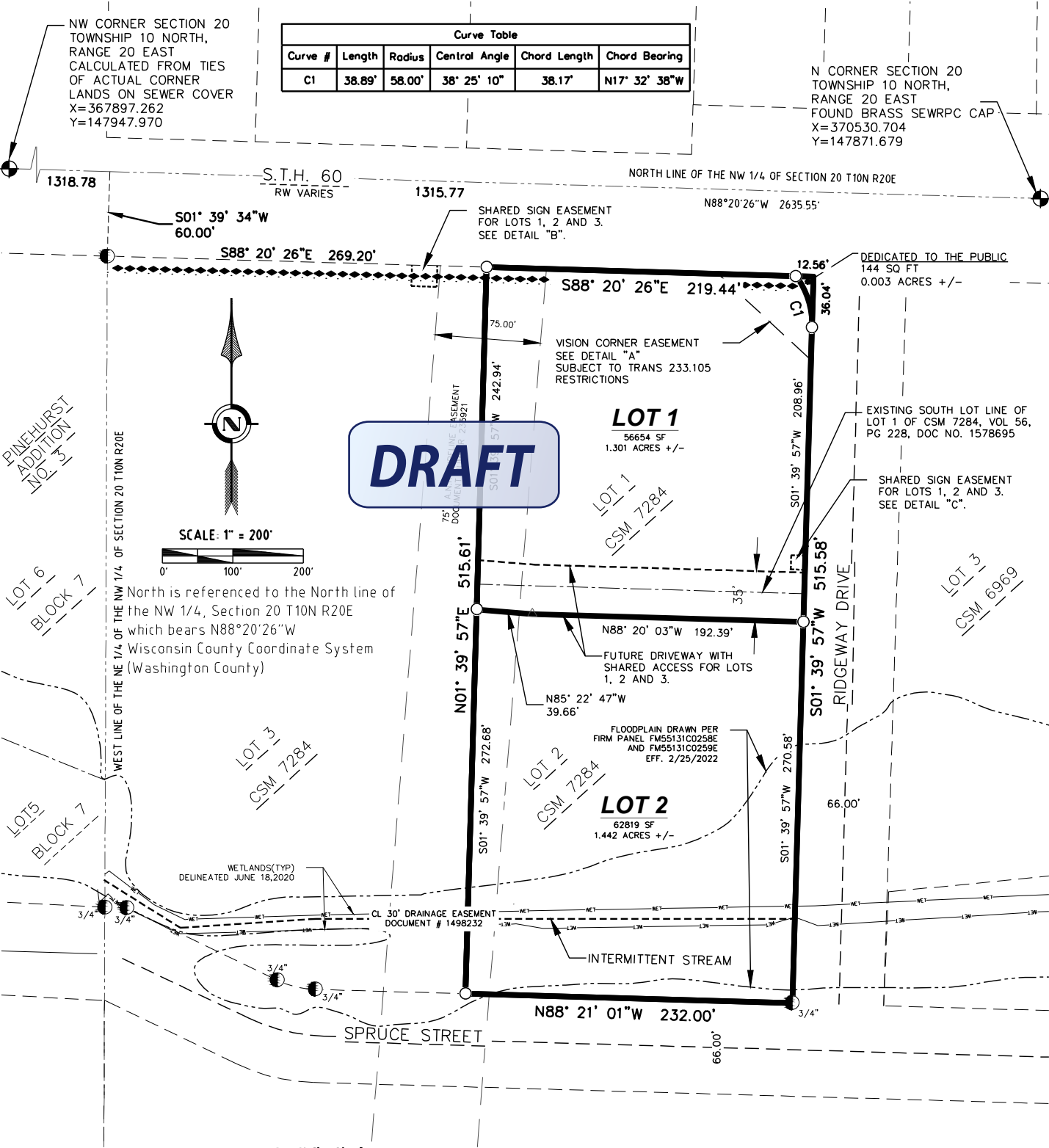
- Override 1
- Current Parcel
- Road Centerline STH, CTH
- State Highway
- Address Point

- Lot Number
- Certified Survey Number
- Condominium Name
- Subdivision Name
- Parcel Taxkey & Acreage

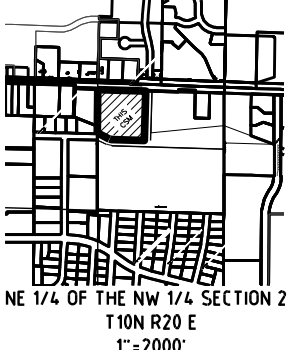


CERTIFIED SURVEY MAP NO. _____
VOLUME _____, PAGE _____.

A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE 1/4 OF
THE NW 1/4 OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN



Curve Table					
Curve #	Length	Radius	Central Angle	Chord Length	Chord Bearing
C1	38.89'	58.00'	38° 25' 10"	38.17'	N17° 32' 38"W



OWNER/PREPARED FOR:
Village of Jackson
N168 W19851 Main Street
Jackson, WI 53037

- LEGEND
- Lands to be Dedicated
 - Government Corner (As Noted)
 - Set 3/4" x 18" Rebar Weighing 1502 Pounds/Lineal Foot
 - △ Set 3" Magspike Post Construction
 - Found Iron 1-1/2" (unless noted)
 - () Recorded As
 - Access restrictions per WisDOT 884.25 Map 2310-07-29, parcel 5

Mitchell J. Reimer
Cedar Corporation
W61 N497 Washington Ave
Cedarburg, Wisconsin 53012
SHEET 1 OF 4 SHEETS

CERTIFIED SURVEY MAP NO. _____
VOLUME _____, PAGE _____.

A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE ¼ OF
THE NW ¼ OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

SURVEYOR’S CERTIFICATE

I, Mitchell J. Reimer, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided, and mapped Lots 1 & 2 of Certified Survey Map recorded as Document Number 1578695, Certified Survey Map 7284, recorded in the Washington County Registry in Volume 56 of Certified Survey Maps on page 228, located in the Northeast Quarter of the Northwest Quarter of Section 20, Township 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin, more particularly described as follows:

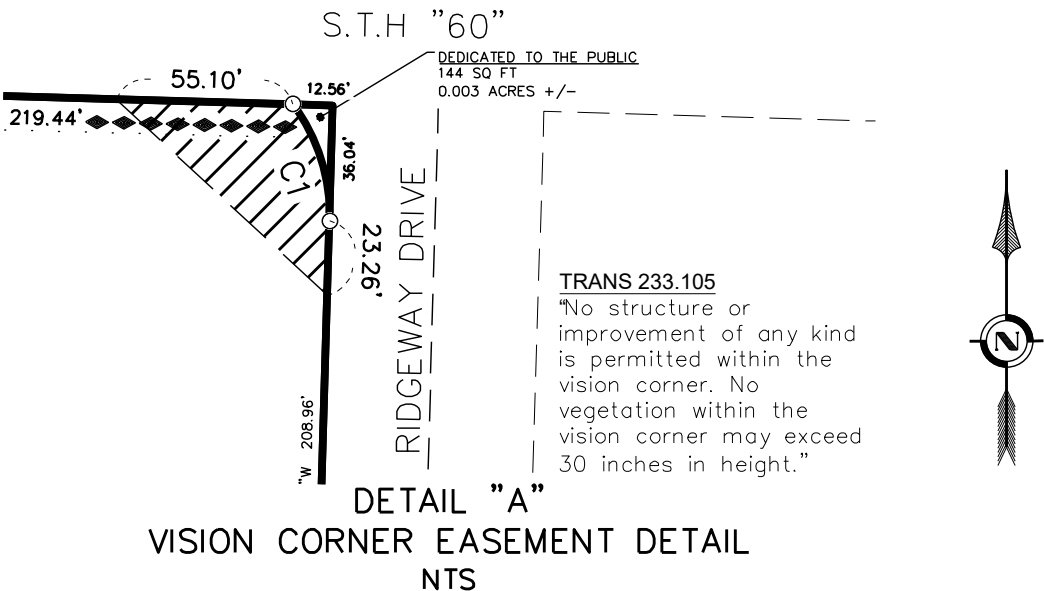
A Re-Division of Lots 1 & 2 of Certified Survey Map recorded as Document Number 1578695, Certified Survey Map 7284, recorded in the Washington County Registry in Volume 56 of Certified Survey Maps on page 228. Said parcel contains 1194.73 square feet or 2.743 +/- Acres. Excepting therefrom Areas of Dedication as shown on Page 1 hereon.



That I have made such survey, land division, and map at the direction of Village of Jackson, Owner, N168 W19851 Village of Jackson , Washington County, Wisconsin, 53037, . That such map is a correct representation of the exterior boundaries of the land surveyed, and the subdivision thereof made. That I fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes, A-E 7 of the Wisconsin Administrative Code, in surveying, dividing and mapping the same, and Chapter 38 of the Village of Jackson Municipal Code. Said survey is subject to easements of record and as shown.

Dated this _____ day of _____, 2023.

Mitchell J Reimer, P.L.S. #3123



Mitchell J. Reimer, PLS
Cedar Corporation
W61 N497 Washington Avenue
Cedarburg, Wisconsin 53012

CERTIFIED SURVEY MAP NO. _____
VOLUME _____, PAGE _____.

A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE ¼ OF
THE NW ¼ OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE

The Village of Jackson, a Corporation duly organized and existing under the virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said Corporation caused the land described on this map to be surveyed, mapped and dedicated as represented on the Certified Survey Map in accordance with the ordinances of the Village of Jackson, Trans 233.105(2), and Chapter 236 of the Wisconsin Statutes.

In witness hereof, the Village of Jackson, has caused these presents to be signed:

By: _____
Jen Keller - Village Administrator

Dated _____, 2023

STATE OF WISCONSIN)
WASHINGTON COUNTY) ss

Personally came before me this _____ day of _____, 2023, the above named Jen Keller, Administrator of the Village of Jackson, Wisconsin Municipal Corporation, to me known to be the same person who executed the foregoing certificate and acknowledged the same.

_____ Notary Public, _____ Wisconsin

My commission expires _____

VILLAGE BOARD APPROVAL:

Resolved that this Certified Survey Map in the Village of Jackson, owner of said lands, being a re-division of Lots 1 & 2 CSM 7284 located in the Northeast Quarter of the Northwest Quarter of Section 20, located in the Town 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin, is hereby approved and dedication accepted by the Village Board trustee to the Village of Jackson.

Approved this _____ day of _____, 2023.

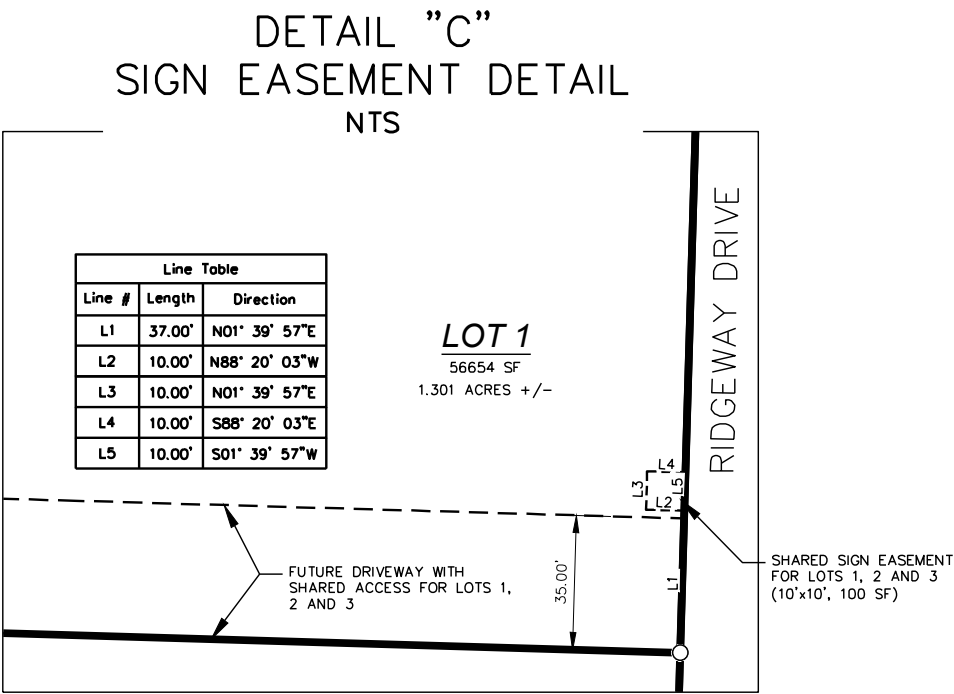
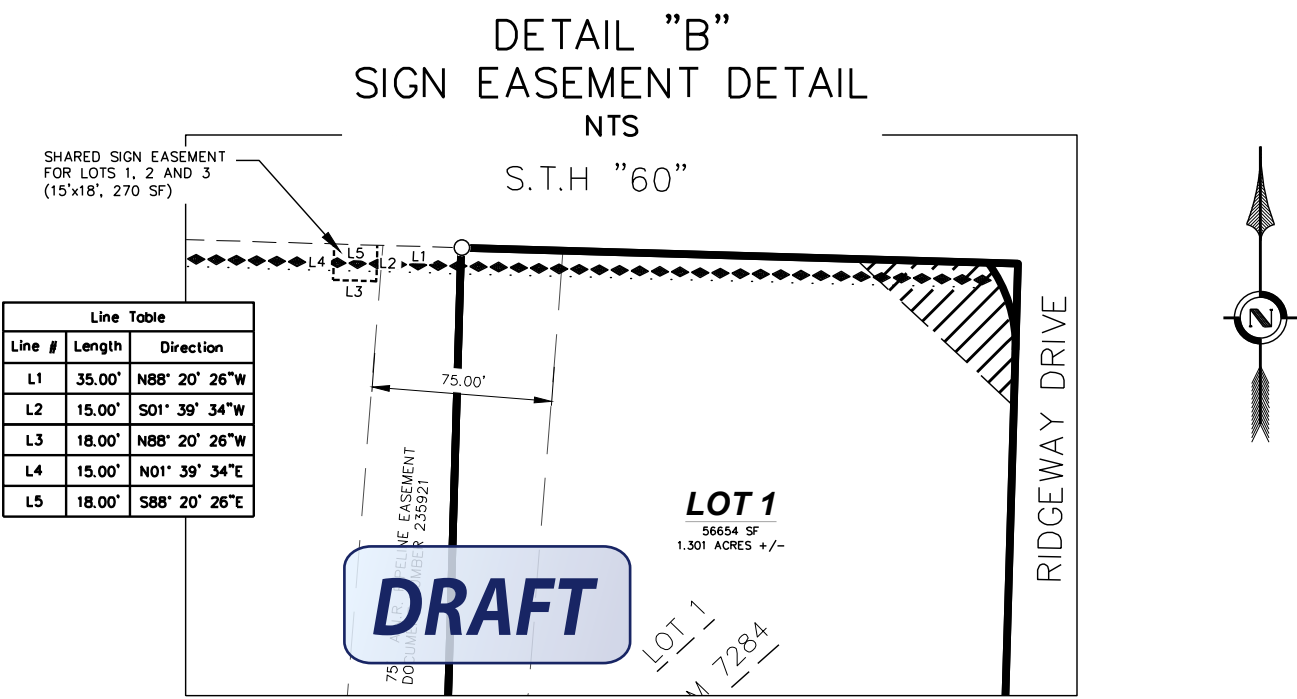
Brian Heckendorf - Village President

Signed this _____ day of _____, 2023.

Jilline Dobratz - Village Clerk

CERTIFIED SURVEY MAP NO. _____
VOLUME _____, PAGE _____.

A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE ¼ OF
THE NW ¼ OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN





Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: January 18, 2024
Agenda Item: # 4
To: Plan Commission
From: Collin Johnson, Director of Inspections/Zoning
Subject: Review of Amended Site Plan and Other Supporting Documents for Parcel V3_053600F - 250 Focus, LLC

Background and Analysis:

The Village previously approved a Conditional Use Permit and Site Plan for property that was 1.2 acres in size with frontage along Hwy 60 to the north and Ridgeway Drive to the east. The approved use proposed construction of a 3,300-square-foot structure for a financial/banking business with four drive-thru lanes and 27 parking stalls, including two ADA stalls.

The amended site plan now takes into account the addition of the shared driveway which is tasked with providing direct access to each of the abutting sites on lots 1-3. Access is provided by way of the easement detailed on the Certified Survey Map. General access to the site will be provided by a 26-foot wide enter/exit access drive along the south side of the parcel. A one-way exit directly onto Ridgeway Drive will be used by vehicles utilizing the drive-thru lanes. A 50-foot-wide vision triangle at the corner of Hwy 60 and Ridgeway Drive is also provided by way of an easement.

Site amenities, including a public sidewalk along Ridgeway Drive, as well as along the shared access drive to the south, the walking/biking path to the north, and direct sidewalk access to the building accessed off the walking/biking path along Hwy 60 will remain the same as previously submitted and approved. The site will also include a variety of landscaping plantings and an enclosure for refuse and recycling containers.

Tenant signage will include building facade(s) and drive-thru area signs. Additional signage for the entire development (Lots 1-3) is also proposed along Hwy 60 and Ridgeway Drive.

Comprehensive Plan & Zoning Impacts:

No impact.

Site Plan:

See the attached revised site plan and supporting documents.

Review Procedures:

The Plan Commission is advisory. The Village Board makes the final decision.

Signage:

See the attached revised site plan and supporting documents.



Taking the lead in Washington County.

Additional Staff Comments:

Fire Department:

An inside turn radius of 25 feet and outside turn radius of 40 feet is required. Tree canopies may also impact turn areas. The islands may need to be adjusted to provide required turn radius along the shared access drives.

Verification is needed prior to finalizing the overall site plan.

Hydrants on multifamily, business, commercial, and industrial zoned streets shall be spaced no more than 250 feet apart.

A 30-degree, five storz connection shall be installed as the fire department connection. The connection point shall be between three feet and four feet above the finished property grade. The fire department connection shall be located within 150 feet of a hydrant.

Notice Requirements:

Posting on the agenda.

Potential Action:

Motion to approve the Conditional Use request and Site Plan for Parcel V3_053600F for 250 Focus, LLC, conditioned upon the following:

1. The property shall be conveyed to the buyer on or before February 23, 2024.
2. The Conditional Use and Site Plan approvals shall become effective upon conveyance of the property to 250 Focus, LLC.
3. Approval by the Village Board of a Development Agreement and Shared Access Agreement with terms acceptable to the Board.
4. Upon receipt of a written complaint and review by the Plan Commission, this Conditional Use Permit may be subject to additional regulation and/or potential revocation by the Village.

Attachments:

1. Application
2. Location Map
3. Certified Survey Map
4. Civil Plans/Stormwater Plans/Elevations & Floor Plans/Signage Plans

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

☒ COMMERCIAL	☐ INDUSTRIAL	☐ RESIDENTIAL	☐ OTHER _____
☒ CONDITIONAL USE	☐ PLANNED UNIT DEVELOPMENT	☐ CERTIFIED SURVEY MAP	
☒ New	☐ New	☐ CONCEPT PLAN	
☐ Amendment	☐ Amendment		
☐ Special Use	☐ Special Use	☐ OTHER _____	
(For existing Cond. Use ONLY)	(For existing PUD ONLY)		

Property Address: _____ Unit: _____ Jackson, WI

Parcel #: V3_053600F Lot Size: 52,056 sq. ft. Building Area: 3,300 sq. ft.

Current Zoning: ☒ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☐ PUD ☐ Other _____ Floodplain: Y / ☒ N

APPLICANT INFORMATION

Name(s): 250 Focus, LLC, its assigns c/o Brad M. Hoeft, Agent/ Attorney

Mailing Address: P.O. Box 366, Port Washington State WI Zip 53074

Office: (262) 284-2664 Cell: (_____) Fax: (_____)

Email: bhoeft@wislawfirm.com

BUSINESS INFORMATION (If New Business)

Legal Business Name: 250 Focus, LLC, its assigns

D/B/A: _____ F I L E #: _____

Mailing Address: P.O. Box 366, Port Washington State WI Zip 53074

Office: (262) 284-2664 Cell: (_____) Fax: (_____)

Email: bhoeft@wislawfirm.com

Website: _____

PROPERTY OWNER INFORMATION

Name(s): Village of Jackson [under contract with applicant]

Address: N168W19851 Main St, Jackson State WI Zip 53037

Office: (262) 677-9001 Cell: (_____) Fax: (_____)

Email: _____

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: Excel Engineering, Inc.

Primary Contact: Ben Warntjes

Address: 100 Camelot Dr, Fond du Lac State WI Zip 54935

Office: (920) 926-9800 Cell: (_____) Fax: (_____)

Email: ben.warntjes@excelengineer.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: A review and approval of conditional use permit application, which includes detailed architectural, civil, and signage plans, for the operation of a financial institution.
Also enclosed is the Applicant's Letter of Intent/Impact Statement for consideration.

Provide a brief overview of proposed use(s) of entire property and/or lease space: The intended use of the entire property will be a full-service financial institution branch. This will include provisions for teller services, private consultation offices, drive-thru and parking lot.

Hours of Operation: Mon-Thur - Lobby: 9AM-5PM, Drive-Thru: 7:30AM-5:30PM
Fri - Lobby: 8:30AM-6PM, Drive-Thru: 7:30AM-6 PM
Sat: 8AM-12PM, Sun: Closed

Provide a brief overview of proposed daily on-site operations: Daily on-site operations will include financial services such as transaction processing, customer consultations, drive-thru banking services, and employee administrative activities.

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: There will be no negative environmental impacts from the proposed use. Drive-thru lanes to have intercom system.

Describe all businesses, properties and other entities located adjacent to the proposed use: North - Residential across STH 60, East - Jackson Fire Department across Ridgeway, South - West - Vacant

Describe any proposed, development, on-site improvements or other construction/remodeling activities: New 3,300 SF building with 27 parking spaces (including 2 handicap accessible), 3 drive-thru lanes (2 future).

Describe any proposed grading, and/or stormwater management plan: Site will be graded to drain to new inlets on the south half of the site which will convey stormwater to the existing Ridgeway ROW, which then drains to the existing regional wet pond.

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.:
Sidewalk is provided to correct the public way on both the north and east side of the site. Landscaping is provided at building foundation and islands.

Describe any proposed on-site security measures including site lighting: Lighting will be provided to keep the parking lot safe for all customers. Building will also be alarmed.

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems):
A fire alarm system is proposed and the project will also include smoke detectors, manual pull stations, horns/strobes. The devices/circuit includes manual stations, photo detectors, duct detectors, heat detectors, water flow switches and supervisory switches.

Describe the projected traffic circulation and impacts: Customers will enter from the southeast corner of the shared access drive and enter either drive-thru or park for in-person banking.

List all setbacks from rights-of-way and property lines and height limitations: See sheet C1.1

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: State of Wisconsin, Department of Financial Institutions, Office of Credit Unions awaiting approval.

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?
☐ No ☒ Yes If yes, explain: DSPS Building & Plumbing Approval, DNR NOI, DOT, TransCanada Energy.

Describe any proposed signage including type, size, and location: See monument sign image included in the submittal.

If construction is proposed, describe proposed exterior building materials (type, color, etc.): Natural thin stone veneer, prefinished engineered wood lap siding, aluminum storefront and glazing window systems, and prefinished aluminum roof coping and trim.

Describe any site-specific features/constraints, etc.: N/A

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: 27 parking spaces (including 2 handicap accessible)

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): Landscape screening is provided to mask view of the transformer and trash receptacles. Other site landscaping is provided to accent the architecture of the building.

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: Waste enclosure is proposed on the southeast end of the site - see above.

Projected Sewer/Wastewater Usage: 18,000 gal/year

Projected Water Usage: 18,000 gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

You MUST sign and date this Application!

Applicant Name (Print): 250 Focus, LLC, its assigns c/o Brad M. Hoeft, Agent/ Attorney

Applicant Signature: 

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: June 29, 2023

SUBMIT TO: **Village of Jackson – Building Inspection Dept.**
W194 N16660 Eagle Drive
Jackson, WI 53037

PAYMENT INFO: **Payment is required at the time of submittal.**

*Cash, Checks, or Credit Card are accepted (if applicable).
(Mail checks payable to Village of Jackson)*

QUESTIONS?

Zoning Director: For all **general questions** concerning application on submittal, zoning, or technical questions.

Phone: (262) 677-9696

Email: collin.johnson@villageofjacksonwi.gov

Village Clerk: For all **general questions** concerning notices, meeting dates and times, etc.

Phone: (262) 677-9001 Ext. 213

Email: jilline.dobratz@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ **TEMPORARY** *Expiration Date:* _____, 20____

Plan Commission Approval: *Meeting Date:* _____, 20____

Village Board Approval: *Meeting Date:* _____, 20____

In-House Approval (O-T-C): *Date:* _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

COPY

APPLICATION DENIED: *Date:* _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: 6/30/23

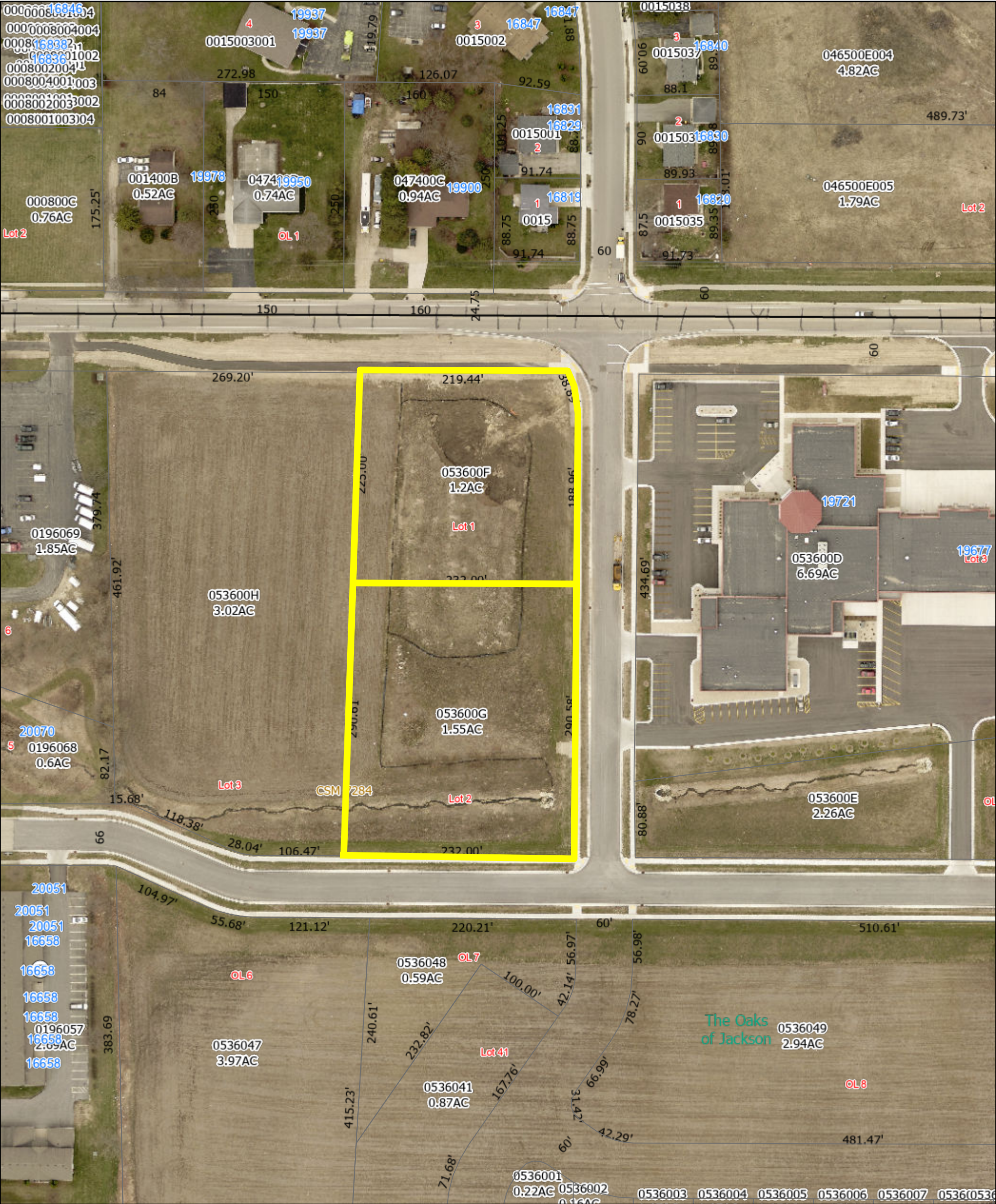
Amount: \$ 175.00

Payment Type: CH / ~~CC / CASH~~

Check/Rcpt. #: 091534

Received By: CMJ

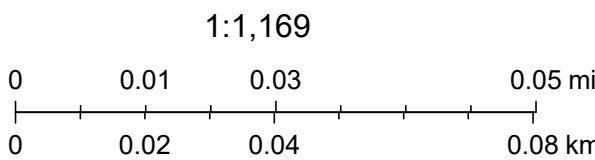
Parcels: V3_053600F and V3_05600G



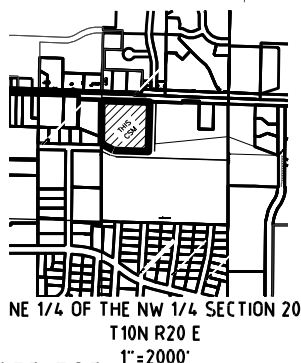
12/27/2023, 9:12:15 AM

- Override 1
- Current Parcel
- Road Centerline STH, CTH
- State Highway
- Address Point

- Lot Number
- Certified Survey Number
- Condominium Name
- Subdivision Name
- Parcel Taxkey & Acreage



A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE $\frac{1}{4}$ OF THE NW $\frac{1}{4}$ OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN



Mitchell J. Reimer
Cedar Corporation
W61N497 Washington Ave
Cedarburg, Wisconsin 53012
SHEET 1 OF 4 SHEETS

CERTIFIED SURVEY MAP NO. _____
VOLUME _____, PAGE _____.

A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE ¼ OF
THE NW ¼ OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

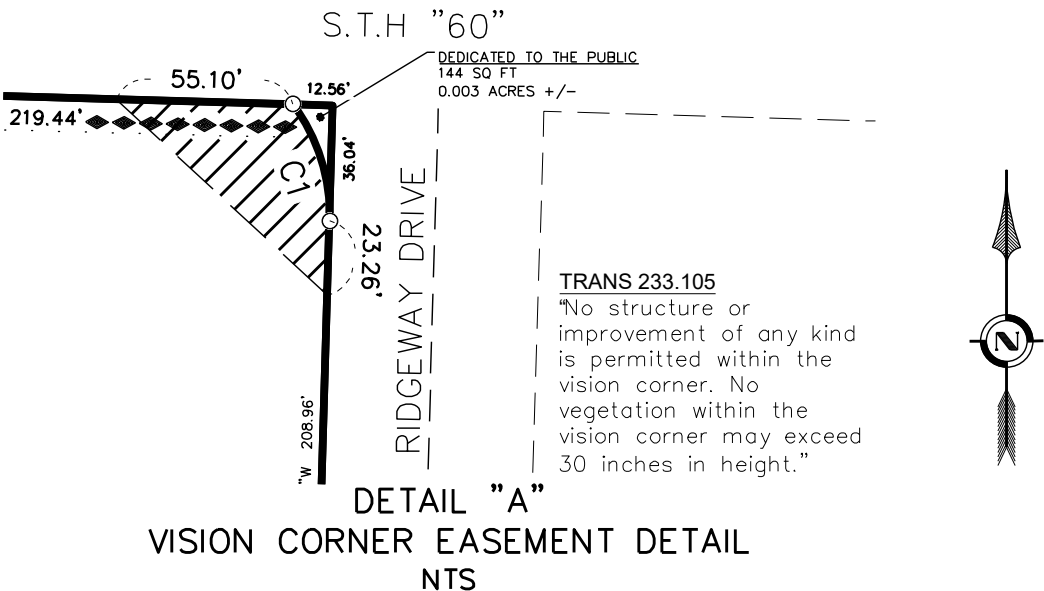
I, Mitchell J. Reimer, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided, and mapped Lots 1 & 2 of Certified Survey Map recorded as Document Number 1578695, Certified Survey Map 7284, recorded in the Washington County Registry in Volume 56 of Certified Survey Maps on page 228, located in the Northeast Quarter of the Northwest Quarter of Section 20, Township 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin, more particularly described as follows:

A Re-Division of Lots 1 & 2 of Certified Survey Map recorded as Document Number 1578695, Certified Survey Map 7284, recorded in the Washington County Registry in Volume 56 of Certified Survey Maps on page 228. Said parcel contains 119473 square feet or 2.743 +/- Acres. Excepting therefrom Areas of Dedication as shown on Page 1 hereon.

That I have made such survey, land division, and map at the direction of Village of Jackson, Owner, N168 W19851 Village of Jackson, Washington County, Wisconsin, 53037, . That such map is a correct representation of the exterior boundaries of the land surveyed, and the subdivision thereof made. That I fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes, A-E 7 of the Wisconsin Administrative Code, in surveying, dividing and mapping the same, and Chapter 38 of the Village of Jackson Municipal Code. Said survey is subject to easements of record and as shown.

Dated this _____ day of _____, 2024.

Mitchell J Reimer, P.L.S. #3123



Mitchell J. Reimer, PLS
Cedar Corporation
W61 N497 Washington Avenue
Cedarburg, Wisconsin 53012

CERTIFIED SURVEY MAP NO. _____
VOLUME _____, PAGE _____.

A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE ¼ OF
THE NW ¼ OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE

The Village of Jackson, a Corporation duly organized and existing under the virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said Corporation caused the land described on this map to be surveyed, mapped and dedicated as represented on the Certified Survey Map in accordance with the ordinances of the Village of Jackson, Trans 233.105(2), and Chapter 236 of the Wisconsin Statutes.

In witness hereof, the Village of Jackson, has caused these presents to be signed:

By: _____
Jen Keller - Village Administrator

Dated _____, 2024

STATE OF WISCONSIN)
WASHINGTON COUNTY) ss

Personally came before me this _____ day of _____, 2024, the above named Jen Keller, Administrator of the Village of Jackson, a Wisconsin Municipal Corporation, to me known to be the same person who executed the foregoing certificate and acknowledged the same.

_____ Notary Public, _____ Wisconsin

My commission expires _____

VILLAGE BOARD APPROVAL:

Resolved that this Certified Survey Map in the Village of Jackson, owner of said lands, being a re-division of Lots 1 & 2 CSM 7284 located in the Northeast Quarter of the Northwest Quarter of Section 20, located in the Town 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin, is hereby approved and dedication accepted by the Village Board trustee to the Village of Jackson.

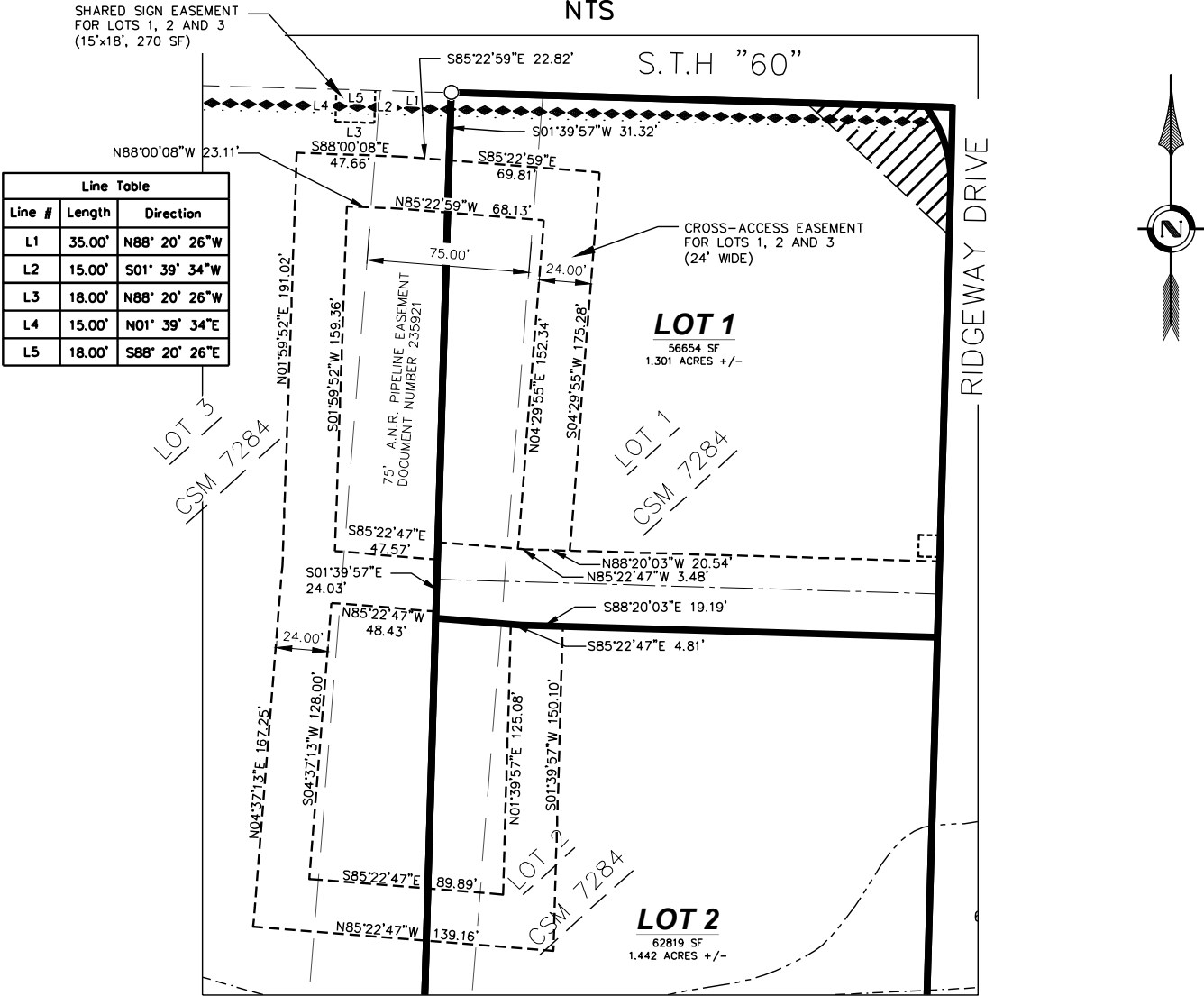
Approved this _____ day of _____, 2024. _____
Brian Heckendorf - Village President

Signed this _____ day of _____, 2024. _____
Anastasia Gonstead - Village Clerk

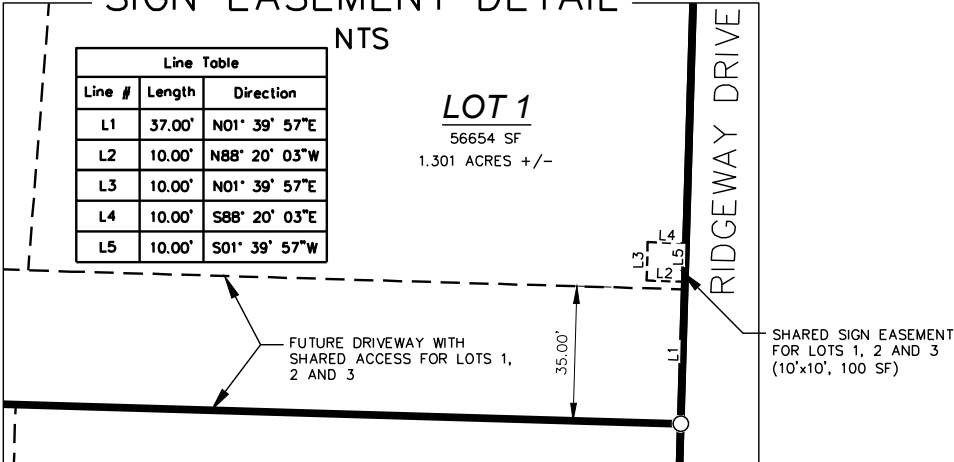
CERTIFIED SURVEY MAP NO. _____
VOLUME _____, PAGE _____.

A RE-DIVISION OF LOTS 1 & 2 CSM 7284 LOCATED IN THE NE ¼ OF
THE NW ¼ OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

DETAIL "B"
SIGN/CROSS-ACCESS EASEMENT DETAIL
NTS



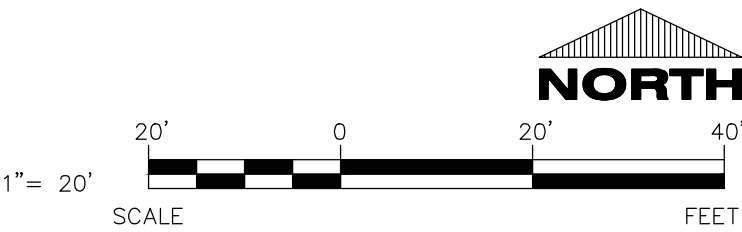
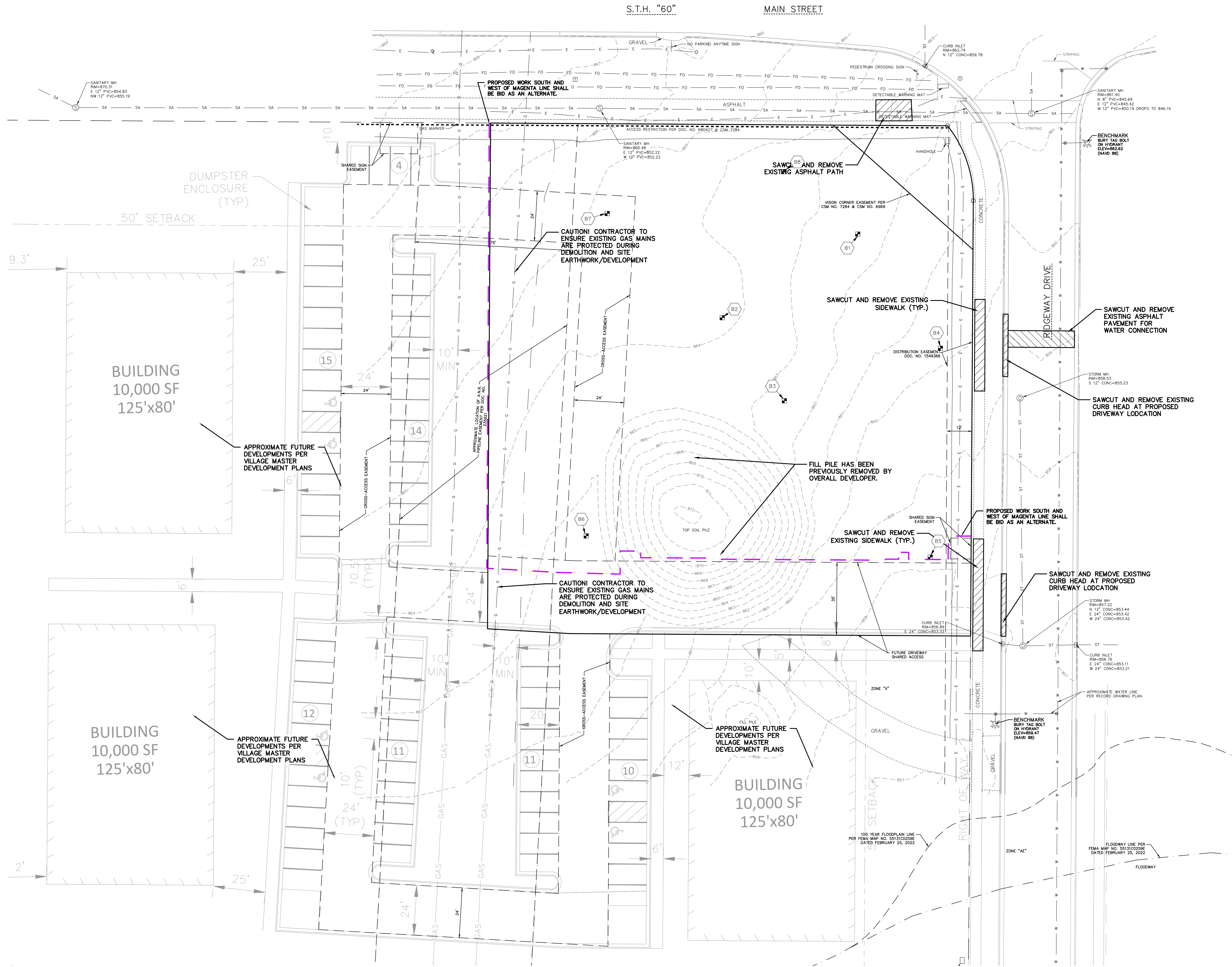
DETAIL "C"
SIGN EASEMENT DETAIL
NTS



Mitchell J. Reimer, PLS
Cedar Corporation
W61 N497 Washington Avenue
Cedarburg, Wisconsin 53012

	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)		EXISTING CONIFEROUS TREES
	EXISTING GRADE SPOT ELEVATIONS		EXISTING SHRUB
	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL)		EXISTING STUMP
	RC-FINISH SURFACE GRADE AT BACK OF WALL		SOIL BORING
	FG-FINISHED SURFACE GRADE AT FRONT OF WALL		EXISTING WELL
	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)		PROPOSED WELL
	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)		PROPOSED LIGHT POLE
	EXISTING WATER VALVE IN BOX		EXISTING LIGHT POLE
	PROPOSED WATER VALVE IN BOX		PROPOSED SIGN
	EXISTING WATER VALVE IN MANHOLE		EXISTING SIGN
	EXISTING WATER SERVICE VALVE		CENTER LINE
	EXISTING TELEPHONE MANHOLE		EXISTING HANDICAP PARKING
	EXISTING STORM CATCH BASIN		PROPOSED HANDICAP PARKING
	PROPOSED STORM CATCH BASIN - ST CB		EXISTING GAS VALVE
	PROPOSED STORM FIELD INLET - ST FI		EXISTING WOODED AREA
	EXISTING SQUARE CATCH BASIN		EXISTING HEDGE
	EXISTING STORM CURB INLET		EXISTING CHAINLINK FENCE
	PROPOSED STORM CURB INLET - ST CI		EXISTING WOOD FENCE
	EXISTING UTILITY POLE		EXISTING BARBED WIRE FENCE
	EXISTING UTILITY POLE WITH GUY WIRE		PROPOSED PROPERTY LINE
	EXISTING STREET LIGHT		EXISTING GUARD RAIL
	EXISTING TELEPHONE PEDESTAL		EXISTING STORM SEWER ANCHOR
	EXISTING ELECTRIC PEDESTAL		PROPOSED STORM SEWER ANCHOR
	EXISTING ELECTRIC BOX		EXISTING SANITARY SEWER ANCHOR
	EXISTING CABLE TV PEDESTAL		PROPOSED SANITARY SEWER ANCHOR
	PROPOSED DRAINAGE FLOW		EXISTING WATER LINE ANCHOR
	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.		PROPOSED WATER LINE ANCHOR
	3/4" REBAR SET WEIGHING 1.50 LB/FT.		EXISTING OVERHEAD UTILITY
	1-1/4" REBAR FOUND		EXISTING UNDERGROUND FIBER OPTIC
	3/4" REBAR FOUND		EXISTING UNDERGROUND ELECTRIC
	2" IRON PIPE FOUND		EXISTING UNDERGROUND GAS
	1" IRON PIPE FOUND		EXISTING CURB AND GUTTER
	EXISTING FLOOD LIGHT		EXISTING CURB AND GUTTER
	SECTION CORNER		EXISTING GRADING/SEEDING LIMITS
	PROPOSED APRON END SECTION		RIGHT-OF-WAY LINE
	EXISTING MARSH AREA		INTERIOR PROPERTY LINE
	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER		RAILROAD TRACKS
	EROSION MATTING		EXISTING GROUND CONTOUR
	PROPOSED INLET PROTECTION		PROPOSED GROUND CONTOUR

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CIVIL EXISTING SITE AND DEMOLITION PLAN

PROJECT INFORMATION

PROPOSED BUILDING FOR:
250 FOCUS, LLC
STH 60 & RIDGEWAY DR. • JACKSON, WI 53037

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 30, 2023
JAN. 10, 2024
JAN. 10, 2024

JOB NUMBER

230096200

SHEET NUMBER

C1.1

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:

PROPERTY AREA: 52,056 S.F. (1.20 ACRES).

EXISTING ZONING: B-1 (COMMUNITY BUSINESS DISTRICT)

PROPOSED ZONING: B-1 (COMMUNITY BUSINESS DISTRICT)

PROPOSED USE: FINANCIAL INSTITUTION

AREA OF SITE DISTURBANCE: 1.22 ACRES

SETBACKS: BUILDING: FRONT (N) = 50'
SIDE (S) = 50'
REAR(W) = 25'
STREET (E) = 50'

PAVEMENT: FRONT (N) = 25'
SIDE (S) = 3'
REAR (W) = 3'
STREET (E) = 3'

PROPOSED BUILDING HEIGHT: 14' (MAX. HEIGHT ALLOWED: 35')

PARKING REQUIRED: 1 SPACE PER 200 S.F. OF GROSS FLOOR AREA PLUS ONE SPACE FOR EACH TWO EMPLOYEES (20 SPACES REQ.)

PARKING PROVIDED: 27 SPACES (2 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.30	56,654	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	1.30	56,654	100.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.30	56,654	
BUILDING FLOOR AREA	0.08	3,300	5.8%
PAVEMENT (ASP. & CONC.)	0.75	32,788	57.9%
TOTAL IMPERVIOUS	0.83	36,088	63.7%
LANDSCAPE/ OPEN SPACE	0.47	20,566	36.3%

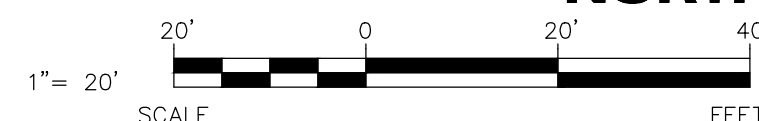
SITE PLAN KEYNOTES

- 1 STANDARD ASPHALT SECTION (TYP.)
- 2 HEAVY DUTY ASPHALT SECTION (TYP.)
- 3 CONCRETE SIDEWALK (TYP.)
- 5 HEAVY DUTY CONCRETE DRIVEWAY. INSTALL PER CITY STANDARDS AND SPECIFICATIONS.
- 7 CONCRETE TRASH RECEPTACLE PAD WITH SCREENING
- 8 CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
- 9 RAISED WALK (TYP.)
- 11 RAMP WITH RAILING. SEE STRUCTURAL PLANS FOR DETAILS.
- 12 CURB RAMP (TYP.)
- 13 ADA CURB RAMP (TYP.)
- 14 18" CURB & GUTTER (TYP.)
- 16 CURB TAPER (TYP.)
- 17 CURB CUT (TYP.)
- 18 CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
- 19 HANDICAP SIGN (TYP.)
- 20 HANDICAP STALL & STRIPING PER STATE CODES.
- 21 PRECAST CONCRETE WHEEL STOP (TYP.)
- 22 MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
- 23 LANDSCAPE BLOCK RETAINING WALL. SEE C1.2 FOR WALL ELEVATIONS.
- 24 6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
- 25 STOP SIGN (TYP.)
- 26 FLAGPOLE (TYP.)
- 27 BIKE RACK (TYPE & COLOR BY OWNER)
- 28 DETECTABLE WARNING PLATE
- 29 TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.
- 30 PAINT STRIPING (TYP.). COLOR TO MATCH PARKING STALL STRIPING.
- 31 CANOPIED ITM STATION WITH CONCRETE BASE. SEE ARCH PLANS FOR DETAILS.
- 32 EXIT ONLY SIGN
- 33 CANOPY. (SEE ARCH PLANS)
- 34 COLUMN (TYP.) (SEE ARCH/STRUCT PLANS)

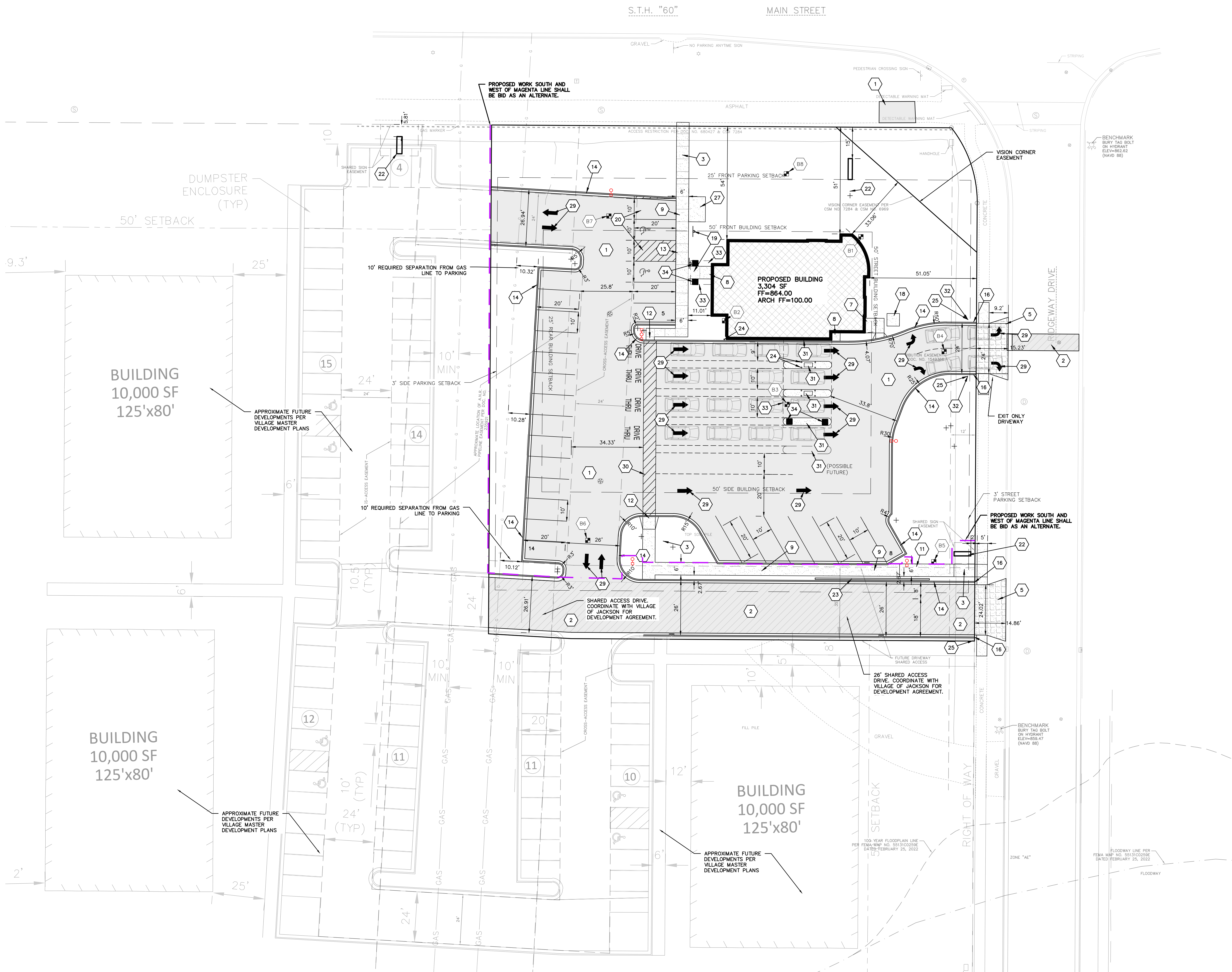
(X(X)) IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

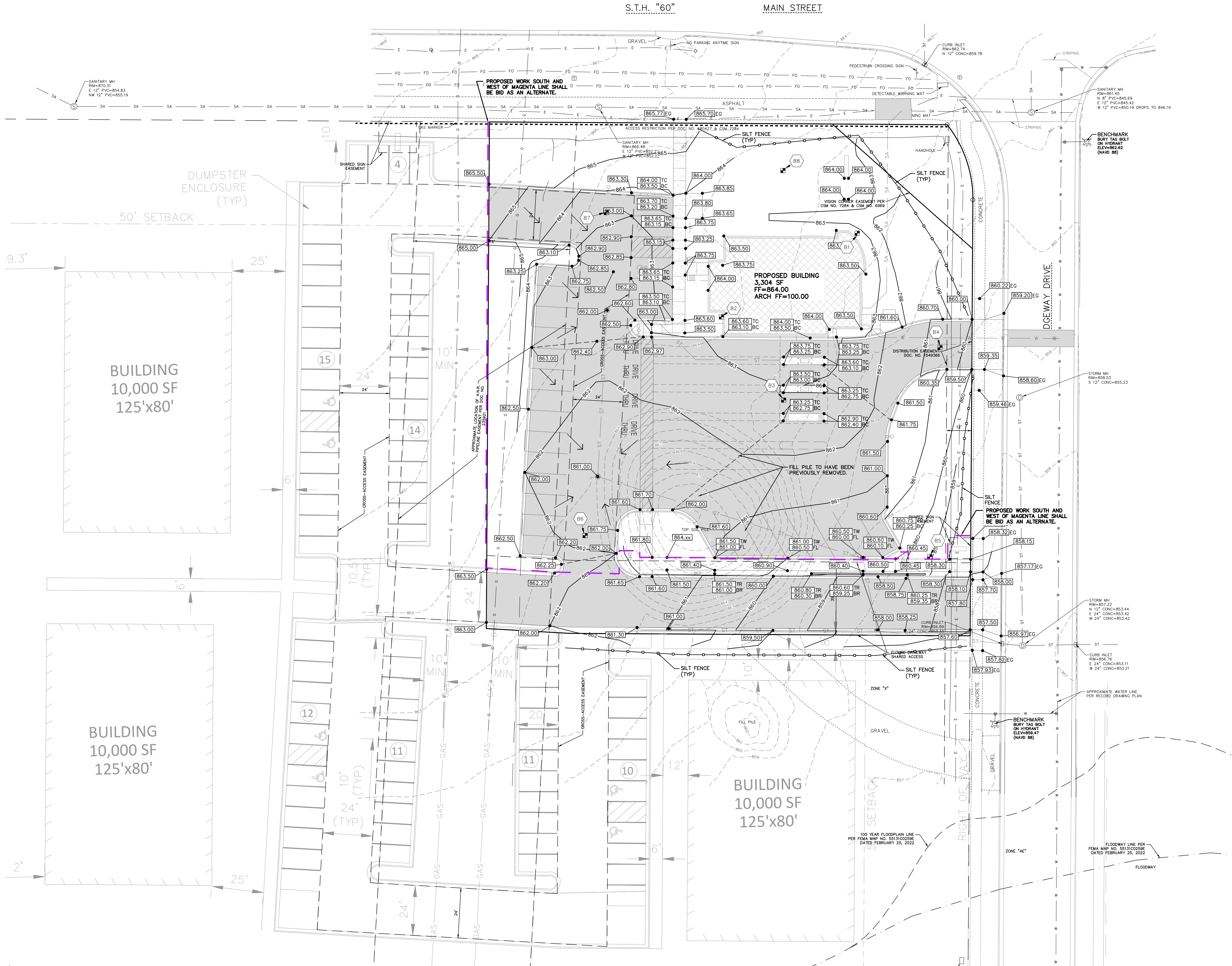
PAVEMENT HATCH KEY:

	STANDARD ASPHALT
	HEAVY DUTY ASPHALT
	SIDEWALK CONCRETE
	HEAVY DUTY CONCRETE



CIVIL SITE PLAN





SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

- NOTES:
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:
CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ON-SITE & OFF-SITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:
CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

PROJECT INFORMATION

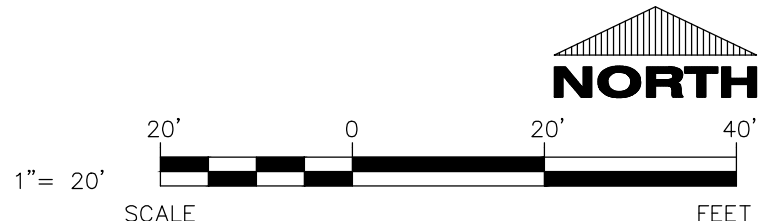
PROPOSED BUILDING FOR:
250 FOCUS, LLC
STH 60 & RIDGEWAY DR. • JACKSON, WI 53037

PROFESSIONAL SEAL

PRELIMINARY DATES
JUNE 30, 2023
JAN. 10, 2024

JOB NUMBER
230096200

SHEET NUMBER
C1.2



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:

[DS] = DENOTES DOWNSPOUT TO
GRADE. LOCATIONS. PROVIDE SPLASH BLOCKS AT
ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS
FOR FINAL LOCATIONS.

CLEANOUT NOTE:

[CO] = DENOTES LOCATIONS WHERE
CONTRACTOR SHALL INSTALL CLEANOUTS, SEE
C0.1 FOR SPECIFICATION.



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING FOR:
250 FOCUS, LLC
STH 60 & RIDGEWAY DR. • JACKSON, WI 53037

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 30, 2023
JAN. 10, 2024

JOB NUMBER

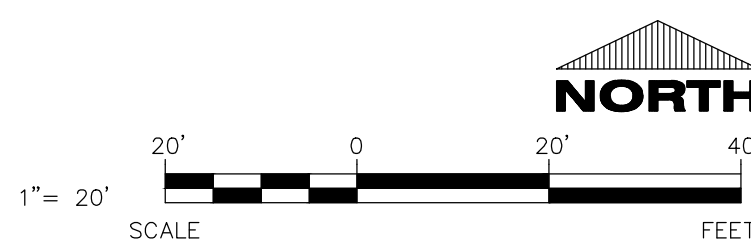
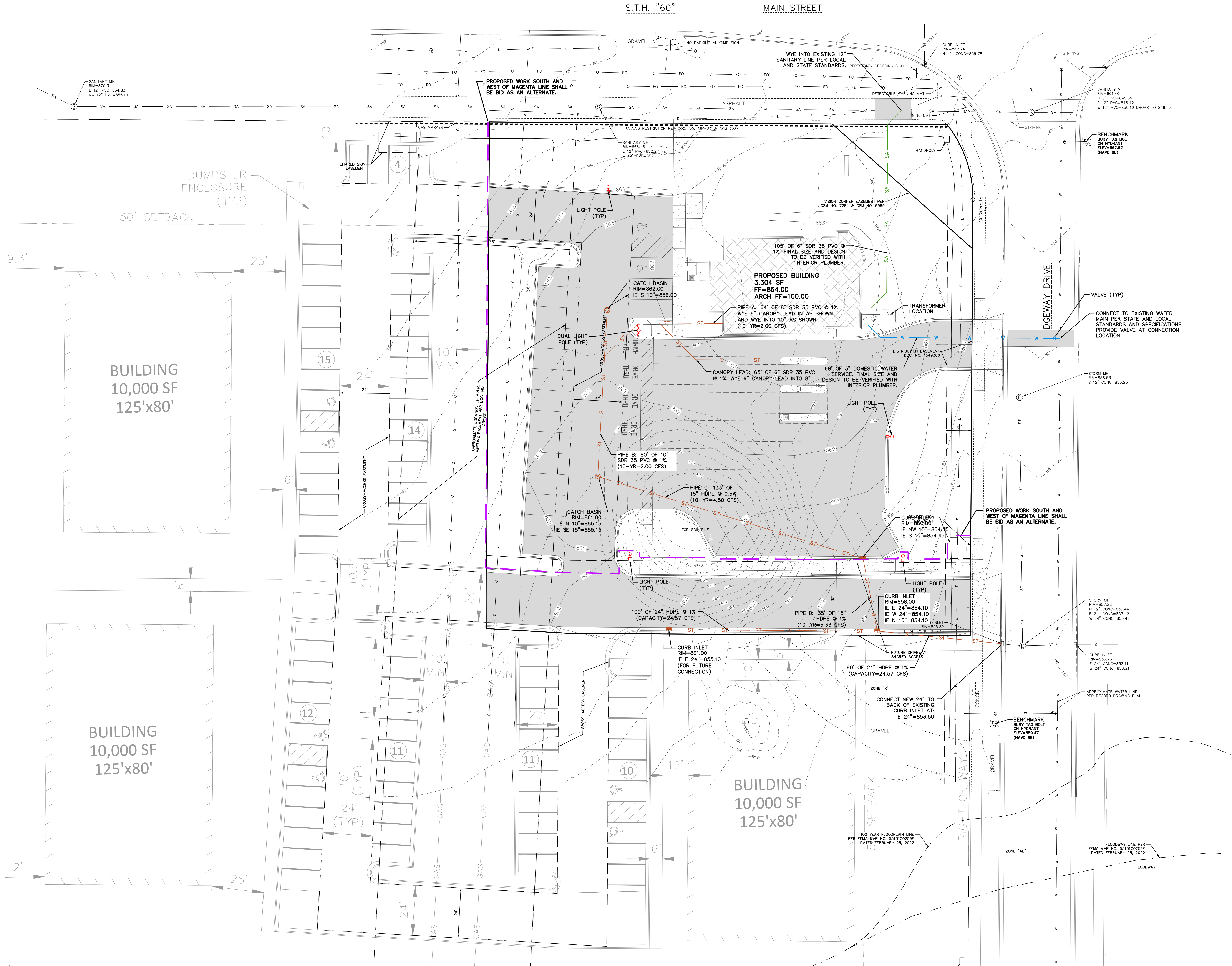
230096200

SHEET NUMBER

C1.3

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Page 27 of 57

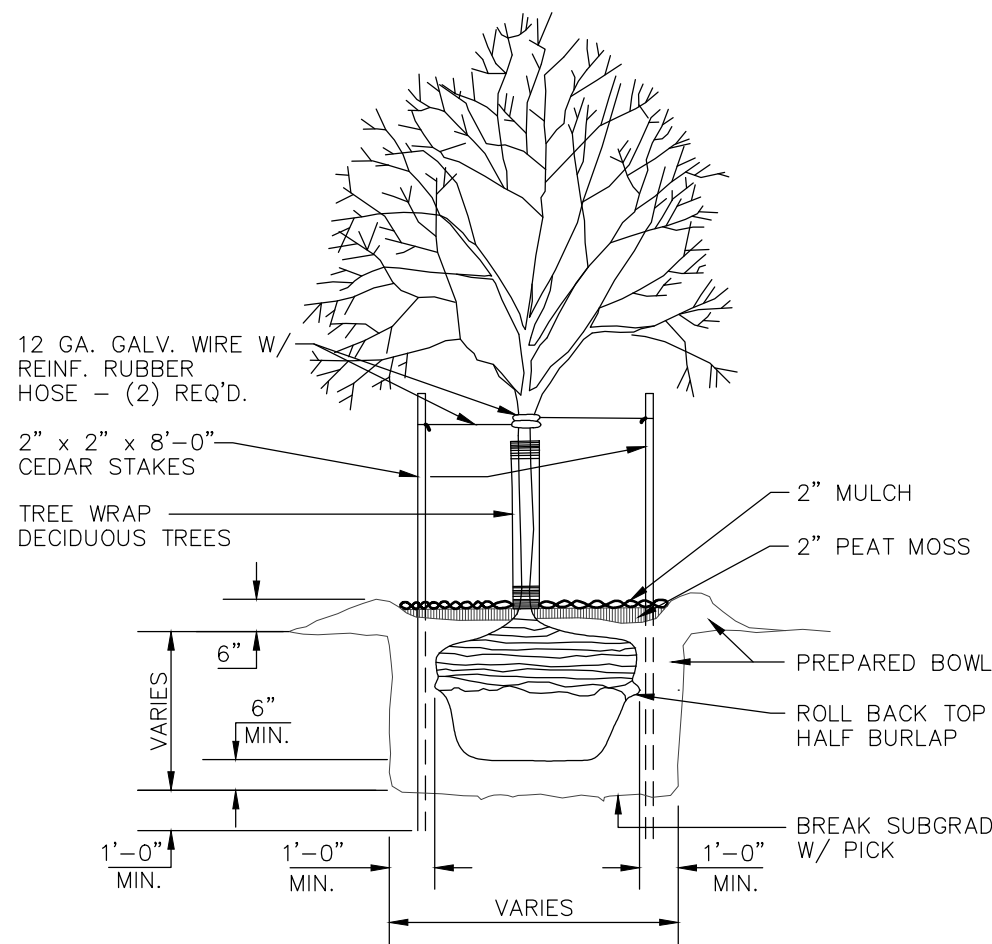


CIVIL UTILITY PLAN

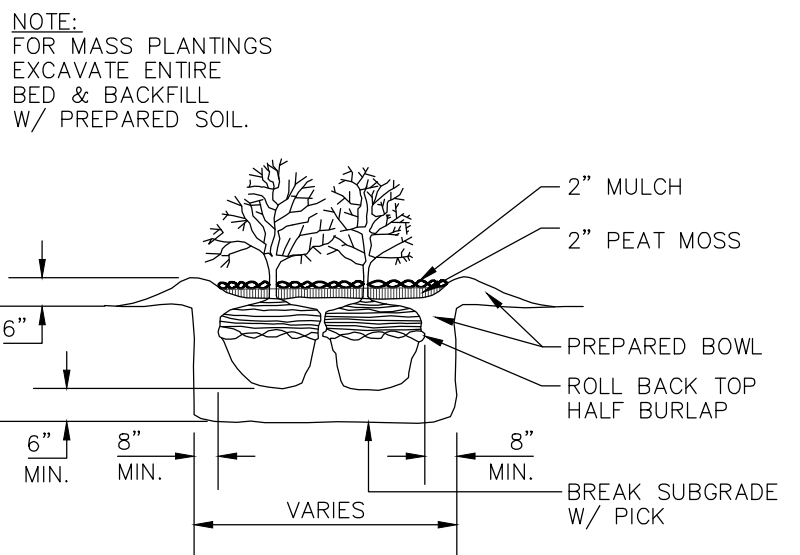
SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

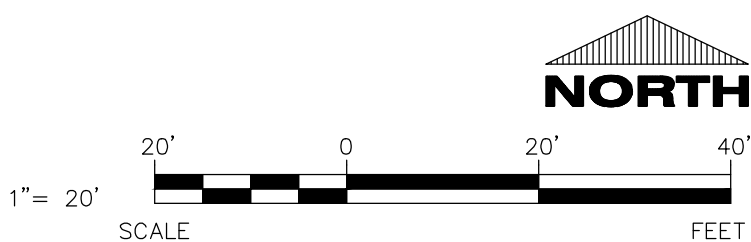
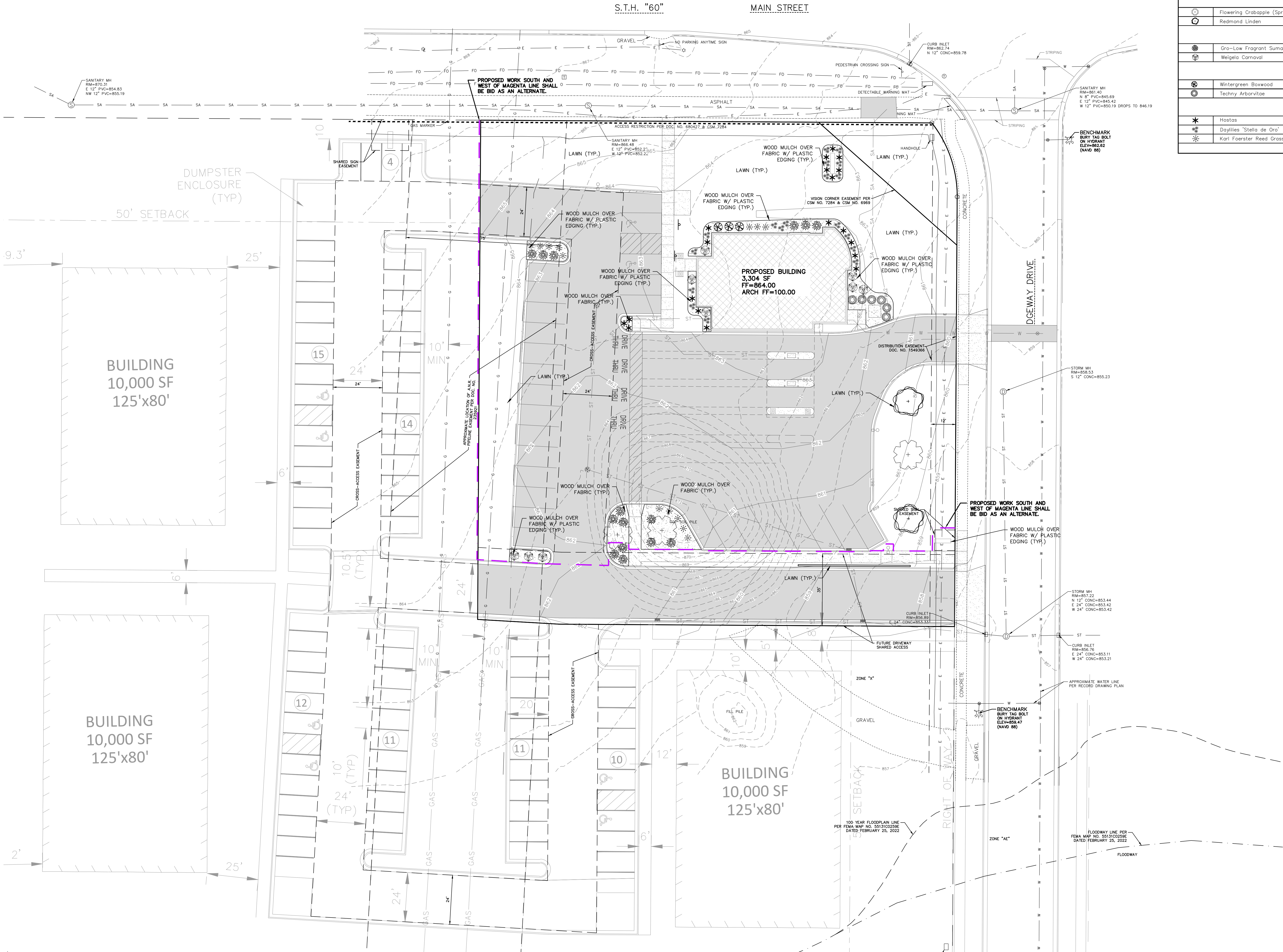
LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
	Flowering Crabapple (Spring Snow)	Malus x hybrid (Spring Snow)	2"	3
	Redmond Linden	Tilia americana	2"	2
DECIDUOUS SHRUBS				
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro Low'	18"	15
	Weigela Canaval	Weigela Florida 'courtalar'	24"	9
EVERGREEN SHRUBS				
	Wintergreen Boxwood	Buxus sinica var insularis 'Wintergreen'	18"	3
	Techny Arborvitae	Thuja occidentalis	42"-48"	6
PERENNIALS				
	Hostas	Hostas 'Royal Standard'	1 gal pot	19
	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	18
	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	13



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN

PROJECT INFORMATION

PROPOSED BUILDING FOR:
250 FOCUS, LLC
STH 60 & RIDGEWAY DR. • JACKSON, WI 53037

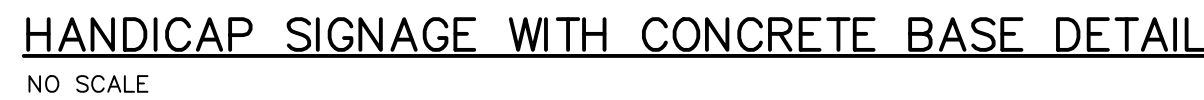
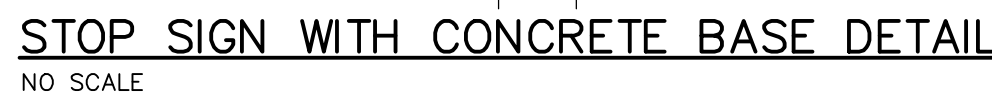
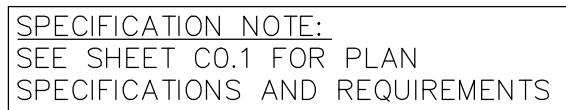
PROFESSIONAL SEAL

PRELIMINARY DATES
JUNE 30, 2023
JAN. 10, 2024

JOB NUMBER
230096200

SHEET NUMBER
C1.4

NOT FOR CONSTRUCTION



PROJECT INFORMATION

PROPOSED BUILDING FOR:
250 FOCUS, LLC
STH 60 & RIDGEWAY DR. • JACKSON, WI 53037

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 30, 2023
JAN. 10, 2024

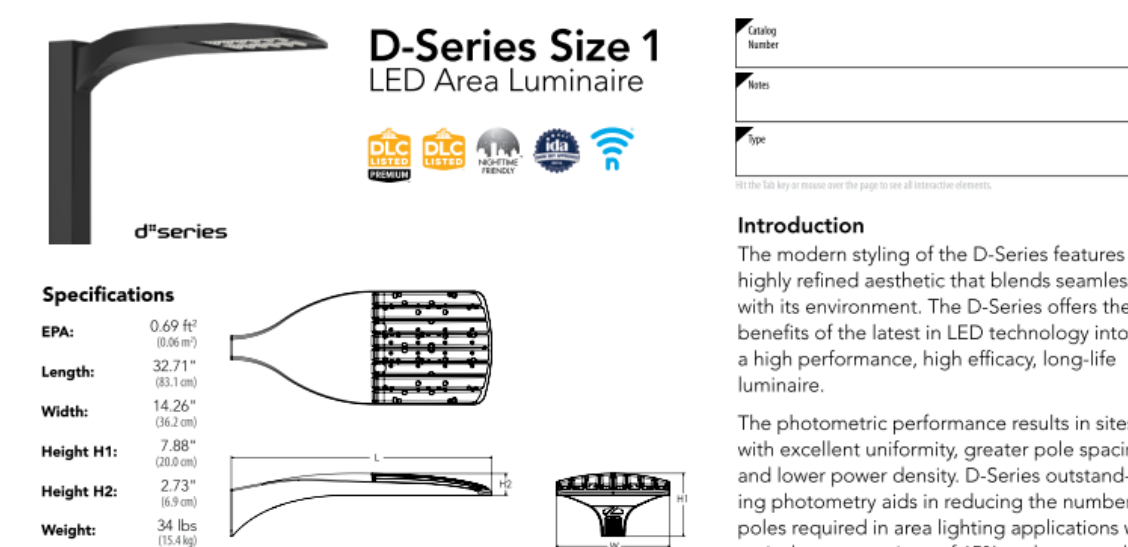
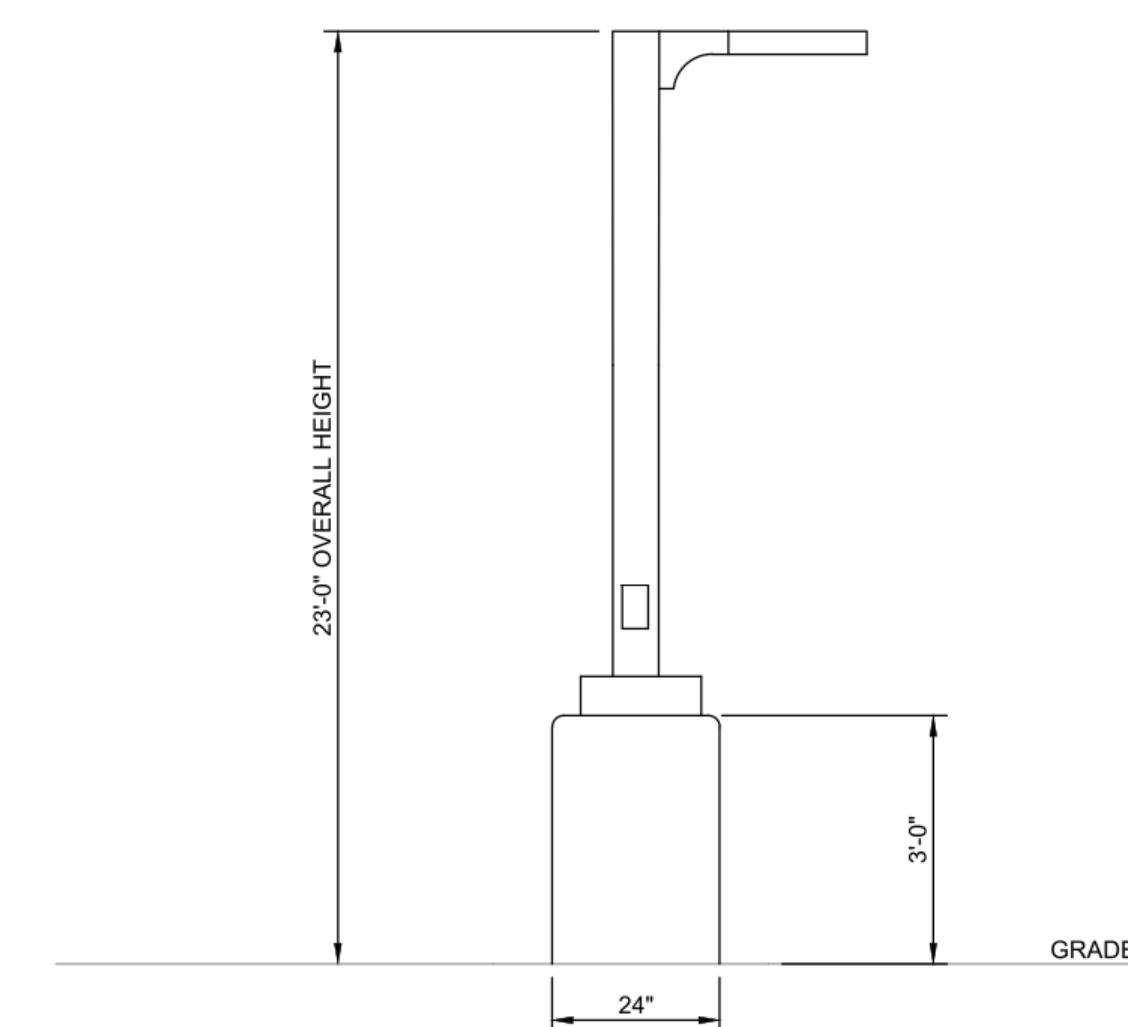
NOT FOR CONSTRUCTION

JOB NUMBER

230096200

SHEET NUMBER

C3.1



Ordering Information									
EXAMPLE: DSK1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DORX									
Model	LED	Color Temperature	Beam Spread	Structure	Height	Mounting	Shipped Included	Shipped Included	Shipped Included
DSK1 LED	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P1	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P2	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P3	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P4	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P5	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P6	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P7	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P8	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P9	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P10	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P11	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P12	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P13	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P14	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P15	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P16	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P17	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P18	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P19	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX
P20	P7	40K	70CRI	T3M	25'	SPA	NLTAR2	PIRHN	DORX

LITHONIA LIGHTING
COMMERCIAL OUTDOOR
One Lithonia Way • Columbus, Georgia 31907 • Phone 1-800-705-6276 • sales@lithonia.com
© 2011-2023 Acuity Brands Lighting, Inc. All rights reserved.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Lamp	Wattage
□	L14	1	Lithonia Lighting	DSK1 LED P7 40K 70CRI T1TM	D-Series Size 1 Area Luminaire P7 Performance Package 4000K CCT 70 CRI Forward Throw	1	22697	184.43
□	L12	2	Lithonia Lighting	DSK1 LED P2 40K 70CRI T1S	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 70 CRI Type 1 Short	1	10418	67.79
□	L24	1	Lithonia Lighting	DSK1 LED P7 40K 70CRI T1TM	D-Series Size 1 Area Luminaire P7 Performance Package 4000K CCT 70 CRI Forward Throw	1	22697	368.86

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.7 fc	8.2 fc	0.0 fc	N/A	N/A
PARKING LOT	×	1.9 fc	8.2 fc	0.2 fc	41.0:1	9.5:1
ROADWAY	×	1.8 fc	6.7 fc	0.5 fc	13.4:1	3.6:1



CIVIL SITE PHOTOMETRIC PLAN & DETAILS



Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: January 18, 2024

Agenda Item: # 5

To: Plan Commission

From: Collin Johnson, Director of Inspections/Zoning

Subject: Ordinance #24-01 - Amending Village Ordinance Section 6-54, Pertaining to the Maximum Number of Dogs Per Residence

Background and Analysis:

Ordinance Section 6-54 currently establishes a limit on the maximum number of dogs permitted at any residence at two. On several occasions, the Village has received requests from residents who seek to exceed the maximum number of dogs allowed under the current ordinance. In every instance, the Village has approved those requests by way of a conditional use permit. Village staff have long recognized the current limit of two dogs may no longer be practical, particularly given the proclivity of the Village to grant exceptions for every request received in recent years.

Staff conducted a survey of various nearby communities to compare similar regulations regarding the keeping of dogs. The table below demonstrates how each, dogs and cats, are regulated both individually and collectively regarding the total number allowable.

Community	Number of Dogs	Number of Cats	Note
Slinger	3	3	Each
Germantown	3	3	Combination
Grafton, Village of	3	5	Combination
Kewaskum	3	N/A	
West Bend	2	2	Each
Cedarburg	3	3	Combination
Menomonee Falls	No Limit	No Limit	
Richfield	3	N/A	
Hartford	3	3	Combination

Germantown:

No person shall keep or allow to be kept more than 3 dogs or 3 cats, or a combination thereof, which are over the age of 5 months, within the Village unless such person holds a permit therefor from the Village Clerk, pursuant to this section.

Grafton:

No person may keep, harbor, shelter or possess at any time more than five dogs or cats, or combination thereof, except that no person shall keep, harbor, shelter or possess more than three dogs which are over the age of five months unless the person holds a valid kennel license.



Taking the lead in Washington County.

Cedarburg:

Limitation on number of dogs and cats. No person shall keep, maintain, or harbor any combination of dogs and cats numbering more than three in any apartment, residence, household, yard or business, except where specifically allowed by zoning ordinances. A time limit of five months is allowed for litters.

Aside from West Bend and the Village of Jackson, the majority of municipalities allow a maximum of three dogs per residence. Staff agree that the limit of three dogs is a suitable compromise to the current limit of two dogs per residence. The proposed ordinance will also serve to eliminate the need for obtaining a special use permit for additional animals kept at a residence or dwelling.

Comprehensive Plan & Zoning Impacts:

None.

Site Plan:

Not applicable.

Review Procedures:

The Plan Commission is advisory. The Village Board makes the final decision.

Signage:

Not applicable.

Additional Staff Comments:

Police Department:

The PD supports adoption of this ordinance amendment.

Notice Requirements:

Posting on the agenda.

Potential Action:

Recommend the Village Board approve Ordinance #24-01, amending Section 6-54 of the Code of Ordinances pertaining to the maximum number of dogs allowed per residence.

Attachments:

1. Ordinance 24-01 Amending Ordinance Section 6-54

ORDINANCE #24-01

**AMENDING ORDINANCE SECTION 6-54 OF THE VILLAGE OF JACKSON
PERTAINING TO THE MAXIMUM NUMBER OF CATS AND DOGS ALLOWED PER
RESIDENCE.**

WHEREAS, the Village Board for the Village of Jackson ordains that the following section(s) of the Municipal Code are hereby repealed, recreated, or amended to read;

Section 1. Amending Ordinance Sec. 6-54.**Sec. 6-54. Maximum number of cats and dogs per residence.**

- (a) No person may keep, harbor, shelter or possess, at any time, more than three dogs and two cats over the age of five (5) months at any residence.
- (b) In determining the limitations on the number of dogs and cats, as provided in subsection (a) above, any excess dog or cat, which was owned and/or licensed in the Village, on or before the effective date of this chapter, shall be grandfathered and allowed to remain until said excess animals are given away, sold, or expire.

Section 2. Effective Date This ordinance shall be in full force and effect from and after its passage and posting or publication as provided by law.

Section 3. Severability If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

Section 4. The Village Clerk and Village Administrator are hereby authorized and directed to make all changes within the Village of Jackson Code of Ordinances necessary to reflect this Ordinance.

Introduced by: _____

Seconded by: _____

Vote: _____aye _____nay

Passed and approved _____

VILLAGE OF JACKSON

By: _____
Brian J. Heckendorf, Village President

Attest:

Anastasia Gonstead, Village Clerk

Proof of Posting:

I, the undersigned, certify that I posted copies of this Ordinance on bulletin boards at the Jackson Municipal Complex, Post Office and one other location in the Village.

Village Official

Date



STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: January 18, 2024
Agenda Item: # 6
To: Plan Commission
From: Collin Johnson, Director of Inspections/Zoning
Subject: Review and Consideration of Zoning Audit Report - Tim Schwecke, Planning Consultant

Background and Analysis:

At the August 17, 2023 Plan Commission meeting, a brief presentation was given by the Village Planning Consultant related to a potential zoning code audit based on staff's long-recognized challenges related to interpretation and application of our current zoning code.

As a matter of reference, most Village zoning districts applicable to commercial, industrial, and manufacturing uses provide no "use by right" authority. For each zoning district, an ordinance should, and must, identify uses that are allowed by right, uses that may be allowed if certain conditions are met, and uses that are not allowed.

Each zoning district must also provide for permitted uses that are allowed by right throughout the district. An example would be single-family or multifamily homes in a residential district. Permitted uses are authorized by the zoning administrator with a simple permit. Authorization must be granted if the project complies with general standards for the zoning district, any overlay district or design standards, and related building or construction codes.

Some ordinances list uses that are expressly prohibited for a particular district. Uses that are not specifically listed are also prohibited. If the permitted uses in a zoning ordinance do not allow the use sought by a landowner, they may seek special review of the situation through a conditional use, variance, or zoning amendment.

In addition to standard "use by right" conflicts, staff have also come to realize the perhaps incorrect, unnecessary, or over-use of both "conditional use" and "special use" reviews and approvals. A few examples of these include approvals for the keeping of more than three dogs at a residence, or an "over the counter" review/approval for items such as secondary detached garages and business approvals.

The overall intent of the review is to identify areas where reconsideration of the zoning code would work to ensure simplicity in its application, provide for better "end-user" interpretation, and reduce unnecessary formalized review and approval.

The zoning code audit is also intended, in part, to identify inconsistencies in current procedures and practices, provide "best practice" recommendations, review compliance with applicable state and federal laws, and ultimately provide for an ease to use code that every use can understand and apply to everyday situations.

Comprehensive Plan & Zoning Impacts:

None.

Site Plan:

Not applicable.



Taking the lead in Washington County.

Review Procedures:

The Plan Commission is advisory. The Village Board makes the final decision.

Signage:

Not applicable.

Additional Staff Comments:

None.

Notice Requirements:

Posting on the agenda.

Potential Action:

Recommend the Village Board authorize staff to proceed with drafting a revised Village of Jackson zoning Code, based on the recommendations outlined in the zoning code audit.

Attachments:

1. Code Audit Report

1. Introduction

The Village of Jackson retained Civi Tek Consulting to conduct an audit of the Village's existing zoning code as an initial first step in developing a workplan to update the code, which was first adopted in 1994.

The overall intent of the audit is to generally identify potential changes that are intended to:

- align the code to court rulings;
- align the code to new/revised state law;
- align the code with the comprehensive plan and other local plans;
- improve overall transparency;
- right-size dimensional standards;
- include new land uses;
- address affordable housing;
- clearly articulate requirements;
- make the code more user-friendly (easier navigation, use of plain English); and
- improve review procedures to shorten review times, while achieving the overall intent of the zoning code.

Findings and recommendations in this report are not prioritized; staff will evaluate potential changes consistent with time and budget constraints.

2. Code Organization

A well-designed table of contents provides the highest level of organization. As with most things, there are a number of ways zoning code content can be organized. The author prefers a "flatter" structure rather than a "pyramidal" scheme. With a flatter structure, the reader can visually see all of the major parts of the code in a single page. In contrast, a pyramid requires the reader to open up the highest levels to see what is within.

A sample table of contents for the zoning code is included as Appendix A. It pulls in land-use regulations found in other parts of the municipal code including floodplain regulations (Chapter 16, Article II) and adult-use standards (Chapter 10).

Some communities are pulling all of the land development regulations into a single chapter of the municipal code under the umbrella of a "unified land development code". If that is desired, land division procedures and requirements would be incorporated into the overall table of contents.

The parts in the table of contents that are less obvious are explained in varying level of detail in the following pages of this report.

3. Land Uses

A comprehensive list of permissible land uses is one of the key building blocks of a good zoning code. The list should be crafted to meet unique needs of the Village and include existing uses and new land use types that area reasonably anticipated to occur in the future. Land uses should be defined so there are no overlapping terms.

Because this master list can be lengthy, land uses should be grouped to help the reader more easily find the land uses they are trying to find. Below are typical groups.

Typical Land Use Groups

- | | | |
|--------------------------------------|------------------------------------|---|
| • Residential | • Recreation and Entertainment | • Agriculture & Resource-Based Uses |
| • Special Care Facilities | • Government & Community Services | • Accessory Uses for all Principal Use |
| • Food and Beverage Sales | • Transportation | • Accessory Uses for Residential Uses |
| • Vehicle Rental, Sales, and Service | • Telecommunications and Utilities | • Accessory Uses for other Principal Uses |
| • General Commercial | • Industrial & Manufacturing | • Temporary Uses |
| | • General Storage | |

As a starting point, a typical list of land uses is included in Appendix B. It should be noted, the current code has a rather limited listing of land uses due in large part how conditional uses are handled; more about that later.

4. Land Use Table

A land use table (aka use table) is a great organizational tool because it lists of all land uses allowed within the jurisdiction and identifies where the uses are allowed by right or as a special exception (aka conditional use). Below is a snippet of what a typical table looks like. Depending on the number of zoning districts, a land use table may in fact consist of two; one for residential districts and one for all other districts.

Not only does a table like this identify where the uses are allowed, it can also indicate if there is secondary review, such as architectural review, site plan review, or zoning permit review.

A land use table efficiently helps answer two fundamental questions.

- What can I do with this property? (columns)
- Where can I put my business? (rows)

Sample Code from Another Jurisdiction

	Secondary Review	Base Zoning District												
		P-1	Q-1	C-1	UC	AP	RR	R-1	B-1	B-2	B-4	M-1	M-2	T-1
9 General Sales														
9.01 Convenience retail sales	BP, SP, ZP	-	-	-	-	-	-	-	P	P	P	C	-	-
9.02 General retail sales	BP, SP, ZP	-	-	-	-	-	-	-	P	P	P	C	-	-
9.03 General retail sales, large format	BP, SP, ZP	-	-	-	-	-	-	-	-	-	C	C	-	-
9.04 Outdoor sales	BP, SP, ZP	-	-	-	-	-	-	-	-	-	P	C	-	-
10 General Services														
10.01 Administrative services	BP, SP, ZP	-	-	-	-	-	-	-	C	P	P	P	-	-
10.02 Adult-oriented establishment	BP, SP, ZP	-	P	-	-	-	-	-	-	-	-	P	P	-
10.03 Body-piercing establishment	BP, SP, ZP	-	-	-	-	-	-	-	-	C	C	C	-	-
10.04 Commercial kennel	BP, SP, ZP	-	-	-	-	C	-	-	-	-	-	-	-	-
10.05 Commercial stable	SP, ZP	-	-	-	-	C	C	-	-	-	-	-	-	-
10.06 Equipment rental	BP, SP, ZP	-	-	-	-	-	-	-	-	C	P	P	-	-
10.07 Financial services	BP, SP, ZP	-	-	-	-	-	-	-	P	P	P	P	-	-
10.08 Funeral home	BP, SP, ZP	-	-	-	-	-	-	-	C	C	P	C	-	-
10.09 General repair	BP, SP, ZP	-	-	-	-	-	-	-	P	P	P	P	-	-
10.10 General services	BP, SP, ZP	-	-	-	-	-	-	-	C	P	P	P	-	-
10.11 Health care center	BP, SP, ZP	P	-	-	-	-	-	-	-	-	P	C	-	-
10.12 Health care clinic	BP, SP, ZP	-	-	-	-	-	-	-	C	P	P	C	-	-
10.13 Instructional services	BP, SP, ZP	-	-	-	-	-	-	-	C	P	P	P	-	-
10.14 Landscape business	SP, ZP	-	-	-	-	-	-	-	-	C	P	P	-	-
10.15 Professional services	BP, SP, ZP	-	-	-	-	-	-	-	P	P	P	P	-	-
10.16 Tattoo establishment	BP, SP, ZP	-	-	-	-	-	-	-	-	C	-	-	-	-

Where can I put it?

What can I do?

5. Land Use Descriptions and Standards

Building off of the organization created with a land use table (i.e., groupings), all of the related information should be found in one part of the code. For each land use, there should be a description of the use and any parking and supplemental standards as appropriate.

By way of example, each land use should include the following parts:

- Description
- Vehicle parking requirements
- Bicycle parking requirements (required or recommended)
- Loading requirements
- Supplemental standards

Below is snippet for an artisan shop. What is important here is the organization, not necessarily the specific content in each of the parts.

In term of organization, all of the land use descriptions and standards could be located in an appendix. In the proposed table of contents, this is Appendix B.

Sample Code

Artisan shop

Description: A place where handmade craft items or works of art are made on a small-scale and offered for retail sale. Examples of such items include paintings, textiles, weaving, photography, sculptures, pottery, leather products, handmade paper, jewelry, hand-blown glass, small furniture and other similar wooden items, candles, soaps, and lotions.

Vehicle Parking: 1 space for each 350 square feet of display area; plus 1 space for each employee on the largest work shift

Bicycle Parking: Recommended - 5 percent of required vehicle parking spaces, but not less than 4

Supplemental Standards:

(A) Generally. All materials and activities, except loading and unloading, must be conducted entirely within an enclosed building.

(B) Demonstrations and workshops. The operator may conduct demonstrations and workshops within the confines of the building.

6. Zoning Districts

There are more than 20 zoning districts in the current code as listed below. The number of zoning districts for single-family residential is unusually large. As part of a code rewrite, the Village should consider merging some of the residential districts to reduce the overall number.

It also appears the floodplain districts serve as base zoning districts. A better approach is to use overlay districts for the floodplain regulations.

- | | |
|--|--|
| • A-1 Agricultural District | • R-3 Single-Family Residential District |
| • R-1 Single-Family Residential District | • R-4 Single-Family Residential District |
| • R-2 Single-Family Residential District | • R-5 Single-Family Residential District |

- R-6 Two-Family Residential District
- R-8 Multiple-Family Residential District
- R-9 Mobile Home Park District
- RT-10 Single-Family Residential District
- RT-11 Single-Family Residential District
- B-1 Community Business District
- B-2 Downtown Business District
- M-1 Limited Manufacturing District
- M-2 General Manufacturing District
- P-1 Park and Recreation District
- I-1 Institutional and Public Service District
- FW Floodway district (Chapter 16, article II)
- FC Floodplain conservancy district (Chapter 16, article II)
- FF Flood fringe district. (Chapter 16, article II)
- GFP General floodplain district. (Chapter 16, article II)
- PUD-01 Miller Mixed-Use Planned Unit Development District
- PUD-02 Sysco Planned Unit Development District
- PUD-03 KARM Planned Unit Development District

7. Definitions

Section 48-1 of the zoning code includes more than 90 definitions, many of which relate to floodplain regulations. Additional sign definitions are found in s. 48-299. For the sake of completeness, all definitions should be gathered and put in one part of the code.

While it is legally sufficient to include both general definitions and land use definitions in one section, its easier for the reader if land uses were part of a separate section. Recommendations for handling land use definitions are included in the previous section (Land Use Descriptions and Standards).

Recommendations:

1. Definitions should be compiled into a master list and placed in a single section of the code. In the sample table of contents, general definitions would be placed in an appendix.
2. Remove land use definitions.
3. Definitions should simply describe the word/term, not go beyond that to include development standards or how various elements are measured.
4. Include illustrations when the meaning of a definition is not readily apparent after a first reading. By way of example, an illustration should be added to building height.
5. Ensure that all defined words/phrases are actually used in the code and if so, in the way intended.

8. Comprehensive Plan and Zoning Consistency

While a comprehensive plan is not a regulatory tool, rezoning petitions need to be generally consistent with the future land use map. To help facilitate that consistency and take some of the guesswork out of the equation, some zoning codes and/or comprehensive plans show the zoning districts that may fit with the various land use categories.

Sample Compatibility Matrix from Another Jurisdiction

General Plan Land Use Designations	Coastal and Non-Coastal Zones																																		
	AE	C1	CA	CC	CM	COS	CPD	CPD/CBD	CR	CR1	CR2	CRE	CRPD	CPD	IND	M1	M2	M3	OS	R/MU	R1	R2	RA	RB	RBH	RE	RES	RHD	RO	RPD	TC	TP	REC	OS-REC	
Rural																																			
ECU-Rural																																			
Agricultural																																			
ECU-Agricultural																																			
Open Space ^{1, 2}																																			
ECU-Open Space ^{1, 2}																																			
Very Low Density Residential																																			
Low-Density Residential																																			
Medium-Density Residential																																			
Residential High-Density																																			
Residential Planned Development																																			

Source: Ventura County Land Use Plan

Recommendation: The zoning code should incorporate or reference a standalone document that shows all of future land use categories and what zoning districts would be appropriate.

9. Site Restrictions

While addressing environmental constraints is a major part of a typical zoning code, it is not possible to definitively identify all of the potential issues. In such cases, it is quite common to see a provision in a zoning code that allows staff to flag specific properties that may be unbuildable or severely constrained due to development constraints that are generally not widely seen elsewhere. While staff can identify these types of situations, the property owner should be given the right to challenge the determination or provide additional information showing the constraint is no longer present or is less than what was flagged. Below is a sample provision.

Sample Code from Another Jurisdiction

Site Restrictions

No land shall be used, or structure erected, where the land is unsuitable for such use or structure by reason of flooding, concentrated runoff, inadequate drainage, adverse soil or rock formation, unfavorable topography, low percolation rate or bearing strength, erosion susceptibility, or any other feature likely to be harmful to the health, safety, prosperity, aesthetics, and general welfare of the Village and its citizens. The Village Engineer, in applying the provisions of this section shall, in writing, recite the particular fact upon which he or she bases their conclusion that the land is not suitable for a certain use.

Once such a determination has been made, the Zoning Administrator, Building Inspector, or other governmental official or body shall not issue a development order or other approval authorizing the development in the area subject to the development constraint.

The property owner shall have the right to appeal such administrative decision consistent with the procedures and requirements in Article 5. The Zoning Administrator may reconsider his or her determination at any time and render a new determination if new or additional facts become known or if the facts upon which the determination was made are not accurate.

10. Bicycle Parking Standards

It is becoming more common for communities to include standards for bicycle parking in their zoning codes as more people bike for pleasure and as one of their modes of transportation.

Recommendation: The Village should consider how the zoning code could be modified to address this small, but growing, part of the transportation mix. In particular, the following provisions should be evaluated:

- Establish site design standards for both short-term parking (2 hours or less) and long-term parking (more than 2 hours).
- Allow reductions in on-site vehicle parking when bicycle parking is provided and maintained.
- Establish standards for businesses and institutional uses, or recommended levels of bicycle parking as an initial starting point.
- Identify whether the required or recommended parking is more geared to short-term or long-term parking. For example, a library would be geared to short-term parking while a government office may be more geared to long-term (employee) parking.

11. Electric Vehicles

While electric vehicles (EVs) currently account for a fraction of motor vehicles on the road today, the number of EVs in Wisconsin is only expected to grow, slowly at first but then more aggressively when there is more infrastructure and ownership costs come down.

Projected Electric Vehicle Registrations in Wisconsin

Year	EV Registrations	Percent of Total Fleet
2022	9,039	0.1
2027	217,048	4.1
2030	334,097	6.1
2035	553,686	9.9
2040	843,623	14.7
2050	1,863,585	31.0

Source: Wisconsin Electric Vehicle Infrastructure Plan;
Wisconsin Department of Transportation (2022)



To proactively address the growing demand, the Village should evaluate two related points.

- **Charging Stations as Infrastructure** Some communities have established requirements in their codes that require the installation of charging stations in commercial and multifamily developments. Other communities have opted to require a certain percentage of them be EV-ready, which means underground conduit is in place so that a charging station can be more easily installed at future date.

Recommendation: The Village should evaluate whether it is appropriate to require EV infrastructure or simply incorporate recommendations into the code. If EV infrastructure is required, the code should indicate if that means EV-ready or EV-installed.

- **Charging Stations as a Distinct Land Use** When a bank of charging stations is installed in a parking lot, there is a potential that these charging stations become a unique land use (i.e., a gas station in the parking lot for

EVs). This is especially true when they are located in a place that is highly visible to the travelling public. EV drivers who otherwise wouldn't patronize the commercial establishment will turn in to plug in. While its great to have more plug-in options for the travelling public, a bank of stations can have the effect of using parking spaces that are needed for the principal use on the property. As with most land uses, the location on the parcel and the number of stations matters a lot.

Recommendation: The Village should add a land use type in the zoning code to account for EV stations as a land use. This may be established based on the number stations provided (e.g., 10 or more) and/or the proximity to a major roadway (e.g., 8 or more charging stations within 200 feet of a major collector).

More reading: Brian Ross, Jessica Hyink and Rebecca Heisel. "Zoning Practice - Preparing for the Electric Vehicle Surge" October 2022, Vol. 39, No. 10, American Planning Association.

12. Cottage Housing

Cottage housing is a unique development type characterized by smaller single-family homes arranged in a cluster with shared common areas. Housing units are generally single-family units, although a few duplex units could be incorporated as well. This housing type generally appeals to singles, couples, and small families. A cottage housing project could occur in a greenfield setting or as an infill/redevelopment project.



Given the need for affordable housing and to expand housing choice, the Village may want to add this development option to the zoning code. This development option is included in the sample table of contents in Appendix A.

A typical ordinance will address the following matters.

- Review procedure
- General design principles
- Housing density
- Parking requirements (number and placement)
- Yard setbacks
- Building heights
- Common area requirements (amount and use)
- Maximum and minimum floor area
- Number of units in a project
- Perimeter landscaping
- Unified architectural style

Sample Code from Another Jurisdiction

The Common Council makes the following legislative findings:

- (1) Cottage housing is a new type of housing in Wisconsin Rapids that can fill an unmet housing need.
- (2) Cottage housing can provide opportunities for homeownership that may not otherwise exist.
- (3) Cottage housing responds to demographic trends occurring locally, in the region, and nationally. These include a declining household size and more people living alone and longer.
- (4) It is not possible to define specific areas in the City where cottage housing should be developed. Rather, cottage housing is a development option that developers can explore.
- (5) Cottage housing will likely have the same or fewer people than the single-family homes that could be built on the site.
- (6) Given the size restrictions on the housing unit, the bulk of a cottage housing project is similar to the single-family homes that could be built on the site.
- (7) Cottage housing is consistent with the City's comprehensive plan and supports the findings in the Housing Study completed in 2016.
- (8) Rather than codifying all parameters of cottage development, the standards in this article are intended to provide sufficient guidance without becoming overly prescriptive, with the understanding that the City and the developer will work together to craft a detailed development plan that meets community needs and works well with the site and the target market.

Source: City of Wisconsin Rapids

13. Adaptive Reuse

The Village's code could potentially allow institutional uses (e.g., nursing homes, child day care centers, schools) in residential districts as a conditional use. While allowing institutional uses in residential districts makes a great deal of common sense (i.e., supportive services are located where people live) the code should anticipate that sooner or later these uses may no longer be needed because of market and demographic shifts. Rather than allowing these buildings to sit vacant and a potential drag on the surrounding properties, the Village should consider allowing adaptive reuse. This development option is included in the sample table of contents in Appendix A.

Sample Code from Another Jurisdiction

Section 510-250 Generally

An adaptive reuse project allows the use of an existing building in a residential zoning district that has been used for an institutional use (e.g., school, day care, nursing home, library, worship facility) that for practical purposes is no longer usable for the most recent use or any other institutional use allowed in the zoning district where it is located. Such institutional use must have been legally established and operated and the building must not be dilapidated or in a state of disrepair, or partly or wholly destroyed by fire, flood, wind, or other disaster.

Source: Village of East Troy

14. Architectural Review Standards

The Village's code does not directly address the architecture of multi-family and non-residential buildings (e.g., massing, continuous blank walls) or exterior building materials. The Village will need to determine what if any guidance should be added to the zoning code. These standards can range from simple to wide-ranging. They can be offered as guidelines or stated as a requirement.

As an initial starting point, the Village should evaluate standards used by cities and villages in the area and mirror those elements deemed appropriate. If the Village determines requirements are not needed, in whole or in part, guidelines could be developed.

15. Effect of a Land Transfer on Zoning Designation

Under state law, adjoining property owners are able to transfer land from one lot to another provided the resulting parcels comply with local zoning requirements. In those situations where the affected lots are in different zoning districts, a provision should be added to the Village code stipulating that the transfer does not alter the location of the zoning district boundary until such time as the zoning map has been amended. Alternatively, a provision could be drafted stipulating that a parcel may only have one base zoning designation, which would disallow such land transfers until the zoning has been adjusted to reflect the proposed lot line.

16. Traffic Impact Analysis

Historically, development in the village has been relatively small scale. However, the Village should consider adopting requirements for a traffic impact analysis (TIA). Such provision would state when a TIA is mandatory and what content should be part of a TIA. Below is an example set of requirements.

Sample Code from Another Jurisdiction

Traffic impact analysis

A. When required. A traffic impact analysis is required when the anticipated number of trips per day of the proposed development at build-out is 500 or more. When the number of trips is 300 or more but less than 500, the Village may, in its sole discretion, require a traffic impact analysis when circumstances warrant such review.

B. Purpose. A traffic impact analysis evaluates the adequacy of the existing transportation system to serve the proposed development and determine the expected effects of the proposed development on the transportation system. The traffic impact analysis must provide adequate information for Village staff to evaluate the development proposal and to provide recommended conditions of approval in the event approval is recommended.

C. Preparation. When a traffic impact analysis is required, the applicant must hire an engineer as approved by the Zoning Administrator to prepare the report. The approved engineer shall have expertise in transportation planning.

D. Trip generation rates. Trip generation rates for various land uses shall be based on the manual entitled "Trip Generation" (latest edition) published by the Institute of Transportation Engineers. Trip generation rates from other sources may be used if it can be shown that the alternative source better reflects local conditions.

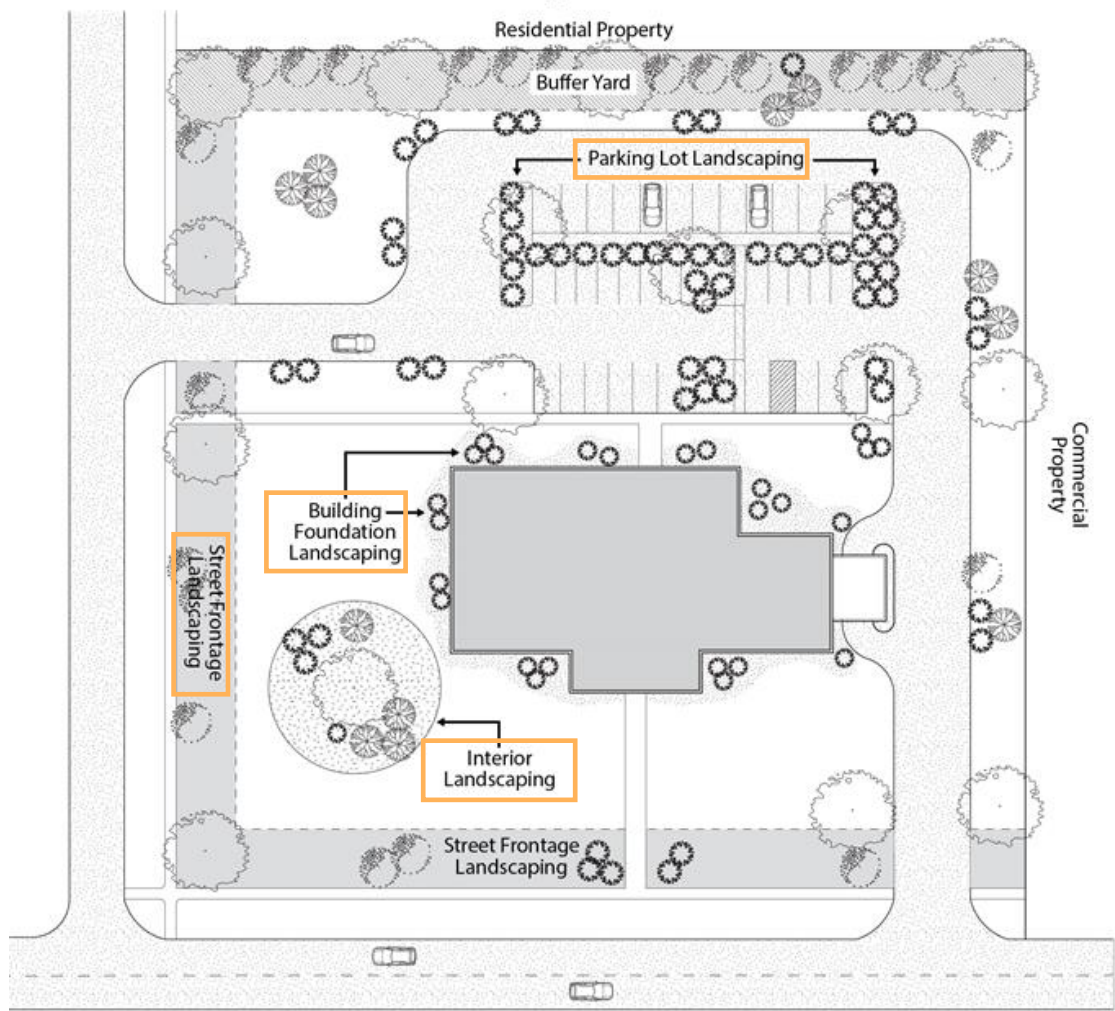
E. Form and content. A traffic impact analysis must be completed consistent with the most current revision of the Traffic Impact Analysis Guidelines published by the Wisconsin Department of Transportation.

17. Landscaping

The current zoning code does not provide adequate guidance to applicants or those who must review development projects. While there is merit in allowing for flexibility, standards are needed from a practical and legal perspective so everyone knows what is required.

Landscaping standards can be adopted for different parts of a lot and stated as a defined level of landscaping per a defined unit of measure. Often landscaping is required along the street frontage, in parking areas, around buildings, and sometimes within the interior of a lot.

Types of Landscaping in Different Parts of a Development Project



The required level of landscaping can be adjusted based on where the project is located (commercial or industrial). Below is a generic way to think about minimum landscaping requirements.

Location	Plants per Unit of Measure
Street side landscaping	# plants per 50 feet of street frontage
Building foundation	# plants per 100 feet of building perimeter
Parking lots	# plants per 500 square feet of pavement
Interior lot	# plants per 1,000 square feet of building floor area

By way of example, it's quite common to require one shade tree for every 50 feet of street frontage. In that way, a more or less continuous canopy of shade can be provided over time.

Screening (e.g., landscaping, fencing) between incompatible land uses is a common technique in many zoning codes. The Village's zoning code doesn't mention screening except for around mobile home parks. The Village should consider adopting more standards.

18. Outdoor Lighting

Outdoor lighting is an important design component, that is really not addressed in the current code except for a brief mention with regard to conditional uses. The Village should consider establishing standards for multifamily, commercial, institutional and industrial developments. Lighting standards usually focus on a few key points that should be part of a site plan review. From a developer's perspective, submitting the required information is a rather routine process.

19. Signs

Division 7 of the zoning code addresses signage. As drafted, the regulations are not content neutral because they regulate content in varying degrees. This part of the code should be revised to comply with court rulings including *Reed v. Town of Gilbert* (U.S. Supreme Court, 2015) and *Austin v. Reagan*.

Recommendations:

1. The Village should expand the scope of the sign regulations to address things typically included in sign codes.
2. Existing and new provisions must be drafted to be content neutral.
3. Sign regulations should also address electronic message displays with regard to size, lighting levels, number, and placement.

20. Design Principles

The Village's zoning code, as is common, requires a site plan review to evaluate proposed development projects. In its simplest form, this evaluation looks at the basics such as building placement and ensuring the number of required parking spaces are provided. Beyond that, there are many factors that play into a site's design. The Village's code does not include design principles in a meaningful way. From a practical and legal perspective, the code should include basic design principles that are considered during a site plan review process. This would include the design of on-site parking, pedestrian movements, building placement, landscape design, and outdoor lighting to name a few.

Recommendation: The code should include meaningful design principles that can be used in the site review process.

Sample Code from Another Jurisdiction

Minimum Design Standards for Parking

Parking areas must be designed based on the following principles:

1. Provide continuous flow of traffic through the parking area.
 2. Allow safe movement of pedestrians from parking to buildings.
 3. Allow for appropriate landscaping of parking areas without conflicting with outdoor lighting.
 4. Ensure that emergency service vehicles are able to travel through parking areas, including fire trucks (having a curb-to-curb turning radius of 40 feet) and tow trucks (having a curb-to-curb turning radius of 47 feet with a car in tow).
 5. Minimize impervious surfaces.
 6. Allow for the logical expansion of parking areas to accommodate different land uses or an expansion of an existing use.
 7. Ensure that the stormwater generated on the site is accommodated consistent with adopted requirements.
-

21. Review Procedures

Overview As shown in the potential table of contents (Appendix A), all of the procedures are grouped together from an organizational standpoint. To help understand the basics of each, a chart is included in Appendix C. Existing procedures are shown along with potential revisions and new procedures that are not in the zoning code. Potential changes are intended to simplify the process and reduce the overall length of the process.

Typical content While there are differences between the different review procedures, each should generally include the following elements.

- Applicability and exemptions
- Initiation
- Review procedures
- Decision criteria
- Imposition of conditions in approval
- Content of decision notice (letter)
- Effect of approval
- Effect of denial
- Expiration of approval
- Appeal

Decision criteria From a practical and legal perspective, everyone should know the criteria decision-makers will be using to evaluate whether an application should be approved or denied. Sometimes, the criteria can be stated in terms of things decision-making process should consider. In some instances, though, it is appropriate to more definitively state the criteria that must be satisfied in order to grant approval.

Sample Code for Factors as Decision Criteria from Another Jurisdiction

The review authority must consider the following factors in making their decision:

- (1) effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
 - (2) effects of the project on the natural environment;
 - (3) effects of the project on surrounding properties;
 - (4) compliance with the general site design principles and requirements in Article ____;
 - (5) compliance with the design principles for parking lots in Article ____;
 - (6) compliance with other applicable requirements in this chapter; and
 - (7) any other factor that relates to the purposes of this chapter set forth in § ____ or as allowed by state law.
-

Sample Code for Mandatory Determinations from Another Jurisdiction

The Plan Commission and Village Board must compare the known and anticipated impacts of the existing nonconforming use on properties in the area and those of the proposed nonconforming use. The Plan Commission may not recommend and the Village Board may not approve a conversion when the new nonconforming use would be more of a nonconformity than the existing nonconforming use.

Burden of proof. To avoid any confusion, it's always helpful to describe who has the burden of proof for each of the different types of reviews and during an enforcement proceeding.

Sample Code from Another Jurisdiction

- A. **Application review process.** During the application review process, the applicant has the burden of proof to show that the application should be approved based on the decision criteria relating to that application.
 - B. **Appeal of an administrative decision.** During an administrative appeal proceeding, the petitioner has the burden of proof to show that such decision is not consistent with this chapter.
 - C. **Enforcement proceedings.** During an enforcement proceeding, the zoning administrator or administrative unit taking enforcement action has the burden of proof to show that the action or development is in violation of this chapter.
-

Step-by-step descriptions The section describing the steps in the review process can be a running list of who does what and when. Alternatively, the process can be graphically depicted as a flowchart. An example is shown below.

New procedures

- **Reasonable accommodations** Under federal law, a person with a disability can request a local government to make a reasonable accommodation in their zoning regulations. While a zoning code can be silent on this matter, the best approach is to incorporate provisions in the zoning code rather than crafting a process on the fly when a request has been made. The code should include legislative findings, a clear process how such requests are to be handled, and confidentiality provisions.
- **Registration of nonconforming uses.** While nonconforming land uses are allowed to continue and exist, there are instances where the nonconforming use expands overtime and/or morphs into something quite different. When that happens, the municipality faces challenge in terms of enforcement. In addition, a person who owns a nonconforming use may also face challenges when they attempt to sell their business because the buyer or the lender may not know with certainty if what is being sold qualifies as a nonconforming use.

For these reasons, the Village should consider adding a way in the zoning code to formally register a nonconforming use. At the conclusion of the process there would be an evidence-based determination that establishes when the use became nonconforming and the nature of the use at that time. The process can be initiated by the municipality or by the property owner. This procedure is included in the sample table of contents in Article 5 (Appendix A).

22. Outstanding Violations and Payments

Approvals granted under a zoning code are considered a privilege and not a per se right. Therefore, the Village can refuse to consider any application so long as the subject property is currently violating the zoning code or when taxes and other required payments are delinquent. Below is a sample provision.

Sample Code from Another Jurisdiction

- If the zoning administrator determines that a parcel is in violation of this chapter, no permit or approval of any kind can be granted under this chapter that would benefit such parcel, except to correct the violation or as may be required by state law.
 - No permit or approval of any kind can be granted under this chapter that would benefit a parcel for which taxes, assessments, special assessments, or other required payments are delinquent and unpaid.
-

23. Specific Land Uses

Antenna facilities State law preemptively The zoning code should be revised to regulate this use consistent with any standards.

Amateur radio antennas State law preemptively regulates amateur radio antennas. The zoning code should be revised to regulate this use consistent with any standards.

Payday lenders Section 59.69 (4f), Wis. Stats., preemptively regulates payday lenders. The Village should determine if this use should be regulated as allowed in that section.

Foster homes The Village should amend the zoning code to regulate this use consistent with state law.

Adult family homes State law preemptively regulates adult family homes. The Village should amend the zoning code to regulate this use consistent with that section.

Community living arrangements Section 59.69 (15), Wis. Stats., preemptively regulates community living arrangements (CLAs). The zoning code includes CLAs, but does not explicitly address the number of residents and where they are specifically allowed. Under state statutes, CLAs with 8 or fewer residents are allowed in any residential zoning district. CLAs with 9 to 15 residents may locate in any multi-family zoning district by right and with approval as a special exception in a single-family or two-family zoning district. CLAs with more than 15 residents may locate in any residential district with approval as a special exception. The code should be amended to reflect the different permissions based on the number of residents.

Accessory dwellings and in-law suites Accessory dwellings are currently not allowed. The Village may want to consider allowing them as a means to promote workforce housing.

In-law suites are another housing option that can work to expand choices. With this type of housing the additional unit is an integral part of a single-family, but provides separate areas for related family members. An in-law suite has separate bedrooms, bath rooms, and kitchenette but does not have a front separate entrance.

Sample Description for In-Law Dwelling Unit from Another Jurisdiction

An arrangement and use of rooms within a single-family dwelling that allows for one or two family members to reside separate from the single housekeeping entity while remaining part of and having nonlockable direct interior access to the entire single-family dwelling. The arrangement of rooms may contain a kitchenette with associated living areas, bedrooms, and a bathroom.

Note: Also known as secondary suite.

Home occupations The current zoning code allows two distinct types of home businesses: home occupations and professional home offices. However, there are few limitations on those uses, which may be fine if that is the intent.

Telecommunication facilities Section 66.0404, Wis. Stats., preemptively regulates telecommunication facilities. While the review process for a new tower of Class 1 collocation, is similar to a conditional use, it is recommended to create a new review process that is tailored to this specific use.

Solar and wind energy systems Section 66.0401, Wis. Stats., preemptively regulates solar and wind energy systems. The Village should amend the zoning code to regulate these uses consistent with that section. Rather than use the conditional use process as the means of review, a new review process should be created. That way, there won't be any confusion on the part of the applicant, neighbors, and the reviewing body.

As with most land uses, the scale of the operation, the size of the subject property, the location of the use on the property, and operating characteristics matter a lot. It would be appropriate to specify the minimum lot area for many of these and to exclude them from a platted subdivision. While some of these uses can be allowed by right, most would be reviewed as a special exception.

Adult Uses The zoning code does not include any regulations for adult uses. Rather, licensing requirements are found in Chapter 10 of the municipal code. While the licensing requirements can remain outside of the zoning code, provisions should be added to the zoning code to identify where the use may be allowed.

Chapter 10 suggests that the use can occur in any zoning district so long as the Village issues a conditional use permit. Again, with the changes to state law in 2017, there is not enough control with the conditional use process to deny a permit application.

- **Definition.** The definition for adult establishments should also include "adult health/sport clinic". A corresponding definition should be added to the section with all of the general definitions.
- **Secondary negative effects.** Local communities can regulate adult uses as they relate to potential secondary negative effects they can create. The part of the code addressing adult uses should therefore be revised to include legislative findings specifically related to this matter. Below is a sample set of findings.

If the Village wants to include such legislative findings, it is important to not only enumerate them in the code, but to be fully aware of what is being addressed beyond a casual understanding. A reading packet of related materials should be prepared and made available to those recommending adoption of the code and Village board members.

Sample Code from Another Jurisdiction

(A) Legislative findings. The town board makes the following legislative findings regarding adult-oriented establishments:

- (1) Negative secondary effects associated with adult, sexually-oriented establishments have been confirmed by the United States Supreme Court in its decisions in, for example, *City of Renton v. Playtime Theatres, Inc.* (475 U.S. 41 (1986)) and by the United States Court of Appeals in its decisions in, for example, *Hang On, Inc. v. City of Arlington* (65 F.3d 1248 (5th Cir., 1995)), *Fantasy Ranch v. City of Arlington Texas* (459 F.3d 546 (5th Circuit, 2006)), and *Andy's Restaurant & Lounge, Inc. v. City of Gary* (466 F.3d 550 (7th Cir., 2006)) and such negative secondary effects include, for example, personal and property crimes, prostitution, lewd behavior, assault, public indecency, obscenity, illicit drug use and drug trafficking, potential spread of disease, negative impacts on surrounding properties, urban blight, litter, and sexual assault and exploitation.
- (2) The decisions issued by the appellate courts constitute reliable sources of information that may be reasonably relied upon by the Town Board.
- (3) Each of the foregoing negative secondary effects constitutes a harm that the Town has a substantial governmental interest in preventing and/or abating.
- (4) Continued regulation of adult-oriented establishments is necessary to limit the aforementioned negative secondary effects associated with adult-oriented establishments and thereby promote the health, safety, and welfare of the Town of Mukwonago.
- (5) The Town Board intends, via this chapter, to establish reasonable regulations on adult-oriented establishments, while preserving free speech pursuant to the First Amendment to the United States Constitution and Article I, Section 3 of the Wisconsin Constitution.

- **Proximity to other land uses.** Section 54-235 (c)(1) prohibits adult uses within 2,000 feet of any land used or zoned for residential purposes or within 2,000 feet of any church or school. Other similar uses should be considered including public libraries, play grounds and parks, family day care homes, group day care homes, taverns, or any youth-oriented establishment. The separation distances do not need to be the same. One word of caution is in order. It's not possible to use these separation standards to in effect not allow adult uses in the Village's jurisdiction.

- **Prohibition on sale of alcohol.** If the Village determines that on-premise consumption of alcohol creates a negative effect deemed unacceptable, a prohibition can be part of the development standards for an adult use. Again, this restriction must be related to the secondary negative effects.

Shared-use kitchen The Village may want to consider allowing shared-use kitchens, described below, in certain zoning districts and with appropriate development standards.

Sample Description for Shared-use Kitchen

A commercial-grade kitchen that is open to community groups and local food entrepreneurs who produce food products for sale to restaurants, food stores, and other outlets that will sell the product to the ultimate consumer. A shared-use can be operated by a university or other secondary school, governmental agency, non-profit organization, or private company.

Business incubator The Village may want to consider allowing business incubators, described below, in certain zoning districts and with appropriate development standards.

Sample Description for Business Incubator

A place where multiple start-up companies can operate within a single building for a defined period of time not exceeding two years. While each of the participating companies may have their own defined space, a business incubator will often have office space for the operator and common areas for the start-up companies including conference rooms, co-work areas, an employee lounge, copying and computer services, 3D printers, light machinery, and the like. In addition to a physical space, a business incubator provides access to business resources such as mentors, networking opportunities, training and educational programs, and other forms of material support. A business incubator can be operated by a university or other secondary school, governmental agency, non-profit organization, or private company.

Wind test towers Section 66.0401 (3), Wis. Stats., allows wind test towers throughout the municipality. While not a common occurrence, this use should be added to the Village code.

Community gardens The Village may want to add a use type for community gardens and allow them in areas where they fit.

Sample Description for Community Garden

A place where a group of unrelated individuals grow vegetables, fruits, and flowers for their personal use. A community garden can be divided into individual plots of land for the exclusive use of the person assigned each plot, or the entire garden may be a cooperative effort of any number of people, or a combination thereof.

Twin homes For the casual observer, a twin home looks like a typical duplex. The only difference is the common wall is located on a property line separating the two dwelling units. The Village should consider adding this type of housing to the land use table and establishing supplemental standards.

24. Conditional Uses

A new paradigm The state legislature in 2017 changed how conditional uses are reviewed across the state. Prior to the new law, conditional uses were reviewed on a case-by-case basis. If the proposed use was appropriate for the given location, it was approved potentially subject to unique conditions intended to help make the project fit its surroundings.

Now, the conditional use review process turns on the petitioner being able to comply with the municipality's code requirements. As long as the standards can be met, then the conditional use is generally approved. For that reason, some communities have rethought how they use the conditional use review process. Most noticeably, conditional used now include various requirements that are tailored to each of the conditional uses. Some address operational characteristics including noise, hours of operation, outdoor storage, and the like. Other standards address special landscaping and screening requirements unique to the use.

The current zoning code is ill-equipped to handle conditional uses under the new law, which is a prominent center piece of the Village's land use strategy.

By way of example, there is no list of permissible conditional uses. In fact, a number of the zoning districts state that "all uses and accessory uses are conditional in this district." In practical terms, that means that a property owner can propose any land use and as long as they meet the standards in the code, most likely none, the

Village will have little chance to deny the project or impose conditions, with rare exception. Of all the potential revisions to the code, this is the most critical.

Intermediary review In determining where the various conditional uses should be allowed, a typical lot in the zoning district is generally envisioned. However, there are lots that do not comply with the minimum lot size applied throughout the district. In addition, there may be existing nonconforming uses on a lot and there may already be a conditional use on a lot. Those are unique situations that affect whether a conditional use on a given lot would be appropriate or not. These are atypical situations that need to be handled differently.

The Village may want to consider an intermediate review to determine whether a conditional use would be appropriate or not given the atypical nature of the lot. Below is a sample provision creating an intermediate review before a special use application can be considered.

Sample Code from Another Jurisdiction

Nonconforming lots In the event a lot is classified as a nonconforming lot (e.g., lot area, lot width), all conditional uses are prohibited, unless the Plan Commission determines, on a case-by-case basis, that the nature of the nonconformity does not affect the appropriateness of the lot for the conditional use. Any such determination in the affirmative shall have no bearing on the Plan Commission's recommendation or the Town Board's decision made under this chapter.

Existing nonconforming uses In the event a lot has a nonconforming use, all conditional uses are prohibited, unless the Plan Commission determines, on a case-by-case basis, that the nonconforming use and proposed conditional use are compatible. Any such determination in the affirmative shall have no bearing on the Plan Commission's recommendation or the Town Board's decision made under this chapter.

Existing conditional uses In the event a lot has an approved conditional use, all other conditional uses are prohibited, unless the Plan Commission determines, on a case-by-case basis, that the existing and proposed conditional uses are compatible. Any such determination in the affirmative shall have no bearing on the Plan Commission's recommendation or the Town Board's decision made under this chapter.

Inappropriate use of the conditional use process The current code also uses the conditional use review process to review things that are not land uses per se. Such instances include:

- § 48-108 (a) Maximum height of accessory structures
- § 48-108 (b) Maximum floor area of accessory structures
- § 48-108 (c) Maximum floor area of shed
- § 48-267 Special use permits
- § 48-302 Exceeding multiple standards for ground signs

Following the statutory changes in 2017 for how conditional uses are reviewed, these sections should be revised to incorporate a different review process that gives the Village the needed discretion.

25. Financial Guarantees

While it is common to include provisions in a land division code addressing financial guaranties for infrastructure, there are instances in the zoning code where the use of financial guarantee may be warranted. For example, if weather inhibits installation of required landscaping or the completion of a site improvement, temporary occupancy may occur if an adequate financial guarantee is in place. Sometimes a financial guarantee is required to ensure a telecommunication tower is removed when it is no longer in service.

The zoning code should describe when financial guarantees may be used and most importantly what types of guarantees are acceptable. In this regard, bonds are the least desirable and should not be used. Cash deposits and letters of credit are far more desirable, because the money is easier to access.

26. Floodplain Regulations

The Village's floodplain regulations are currently not part of the zoning code, with the exception of floodplain terms and references to the different floodplain districts. Since the regulations were adopted, the Department of Natural Resources published a new model ordinance that is intended to comply with statutory changes (2019 Act 175, regarding regulation of nonconforming structures). As proposed in the table of contents (Appendix _??_), the floodplain regulations should be part of the zoning code.

27. Shoreland Regulations

The Village's zoning code does not address shoreland-wetlands as required under § 62.231, Wis. Stats.

28. Specific Revisions to Existing Code

1. The definition for family should be renamed to household unit and revised accordingly.
2. Include details on how lot area is measure. In particular, lot area should only include developable land. Potential exclusions are shown below. All of the numbers are illustrative.

Sample Definition for Lot Area

Lot area means the total horizontal area within the lot lines of the lot, but excludes the following:

- 100 percent of any waterbodies
- 50 percent of any slopes exceeding 18 percent
- 100 percent of any wetlands
- 85 percent of any floodfringe areas
- 100 percent of any floodways
- Etc.

3. The term "church" is used a number of times in the zoning code. While not entirely inappropriate, the more appropriate term is "place of worship" or "worship facility".
4. Remove "parties in interest" from the list of definitions in § 48-1, because it is not referenced in the zoning code in any meaningful way. A review should be done to remove any unused terms from the definitions section.
5. The current code establishes prescriptive front yard setbacks. Setback averaging is a tool that works well in older established neighborhoods that may have been developed before the advent of the zoning code being adopted.
6. Mobile homes and manufactured homes are distinctly different housing types based on their construction specifications. It appears the code uses these terms somewhat interchangeably. The code should clarify where these different housing types are allowed.
7. Review § 48-1 to make sure all unique terms are defined. By way of example, impervious surface should be defined.
8. The code should be revised to comply with 2023 Wisconsin ACT 16 which was enacted in June of 2023. The act addresses (i) the procedure for amending zoning ordinances and appeal rights, (ii) approval of "permits" for residential housing developments, (iii) judicial review of local residential development decisions, and (iv) planned development district zoning.

9. The code should be revised to comply with 2017 Wisconsin Act 67 which was enacted in November of 2017. The Act (i) limits the authority of local governments to regulate the development on substandard lots and repair, rebuilding, and maintenance of nonconforming structures, (ii) requires the issuance of conditional use permits under certain circumstances (previously discussed above), and (iii) provides standards for the granting of variances.
10. The definitions for front, side and rear yard leave land unclassified (i.e., not part of any yard area).
11. Section 48-150 address the requirements for a PUD and include requirements for "proof of financial capability." How is that evaluated? It should be removed as a requirement.
12. Section 48-174 establishes a standard of one loading space for every 3,000 feet of floor area for businesses. That standard is excessive and should be revised.

Appendix A.
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Appendix
A. Land Use Table
B. Land Use Descriptions and Supplemental Standards
C. Zoning Districts and Dimensional Standards
D. Building Type Illustrations (optional)
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Appendix B. Sample of Typical Land Uses

1. Residential

- Mixed-use residential
- Multi-family, 2 units
- Multi-family, 3 to 4 units
- Multi-family, 5 or more units
- Single-family dwelling
- Townhouse, 2 units
- Townhouse, 3 to 4 units
- Townhouse, 5 or more units

2. Special Care Facilities

- Assisted living center
- Community living arrangement, 8 or fewer residents
- Community living arrangement, 9 to 15 residents
- Community living arrangement, more than 15 residents
- Group day care center
- Group day care center (company)
- Hospice care center
- Nursing home
- Temporary residential shelter

3. Food and Beverage

- Banquet hall
- Craft brewery, winery, distillery
- Restaurant
- Tavern

4. Vehicle Sales and Service

- Marine sales and service
- Truck stop
- Truck-trailer rental establishment
- Vehicle fuel station
- Vehicle repair shop
- Vehicle sales and service
- Vehicle service shop

5. General Commercial

- Adult-oriented establishment
- Body-piercing establishment
- Business incubator
- Commercial greenhouse
- Conference - exposition center
- Equipment rental, large (new subtype)
- Equipment rental, small (new subtype)
- Financial services
- General services
- Healthcare clinic
- Instructional studio
- Multipurpose business
- Office
- Overnight lodging
- Retail sales, 15,000 square feet or less
- Retail sales, more than 15,000 square feet
- Secondhand store
- Shared-use kitchen
- Tattoo establishment
- Tobacco/vape/smoke store
- Veterinary clinic

6. Recreation and Entertainment

- Golf course
- Indoor entertainment
- Indoor recreation
- Marina
- Outdoor recreation
- Park, community
- Park, neighborhood
- Recreational trail

7. Government & Community Services

- Administrative government center
- Animal shelter
- Cemetery
- Community center
- Community cultural facility
- Community garden
- Delivery/pickup hub
- Food pantry
- Funeral establishment
- Health care center
- House museum (needed?)
- Place of worship
- Public safety facility
- School, K-12

8. Transportation

- Airport
- Park and ride lot
- Parking structure
- Railroad
- Transit center
- Truck terminal

9. Utilities and Telecommunication

- Large wind energy system
- Public utility office and yard
- Solar power plant
- Telecommunication tower and Class 1 collocation
- Telecommunication, Class 2 collocation
- Utility installation, major
- Utility installation, minor

10. Industrial & Manufacturing

- Artisan shop
- Composting facility
- Construction equipment sales and service
- Contractor yard
- General repair
- Makers space
- Manufacturing
- Recycling center
- Solid waste transfer station

11. Storage

- Bus storage facility
- Dry boat storage
- Personal storage facility
- Vehicle storage yard
- Warehouse

12. Agriculture & Resource-Based Uses

- General cultivation
- Open lands

13. Accessory Uses for All Principal Uses

- Amateur radio and/or citizens band antenna
- EV charging facility, 1 to 4 stations
- EV charging facility, 5 or more stations
- Exterior communications device
- Firewood storage
- Little free library
- Rain garden
- Retaining wall
- Small wind energy system
- Solar energy system, building-mounted
- Solar energy system, ground-mounted

14. Accessory Uses for Residential Uses

- Accessory building, residential
- Accessory dwelling unit (ADU)
- Amateur radio tower
- Backyard chickens
- Bed and breakfast
- Boat house
- Family day care home
- Gardening
- Home occupation
- Hot tub
- Household livestock
- Household pets
- In-family suite
- Keeping of bees
- Outdoor fireplace
- Outdoor kitchen
- Patio
- Pergola
- Play structure
- Private kennel
- Sport court (private)
- Swimming pool
- Tourist rooming house

15. Accessory Uses for Other Principal Uses

- Accessory building, non-residential
- Drive-through window
- Outdoor food and beverage service
- Outdoor play area
- Parking lot
- Roof-top greenhouse

16. Temporary Uses

- Construction office
- Livestock for vegetation management
- Mobile food establishment
- Model home
- Party tent
- Portable storage container
- Rummage sale
- Sale of vehicles and recreational equipment
- Seasonal retail sales
- Sidewalk café
- Topsoil removal and sale
- Wind test tower