



**VILLAGE OF JACKSON
PLAN COMMISSION MEETING AGENDA**

Thursday, September 19, 2024 at 7:00 PM

Jackson Municipal Complex
Village Board Room
N168W19851 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of Minutes for the Plan Commission Meeting of August 15, 2024
3. Final Plat - Morning Meadows Subdivision, Addition No. 3 - Home Path Financial, LP
4. Final Plat - Oaks of Jackson Subdivision, Addition No. 1 - Hillcrest Jackson, LLC
5. Ordinance #24-10 - Rezoning of Parcel V3_046500E004 - Jackson Development, LLC
6. Citizens/Village Staff to Address the Plan Commission
7. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Administration Department at the Jackson Municipal Complex at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

MINUTES

PLAN COMMISSION MEETING

Thursday, August 15, 2024 at 7:00 PM

Plan Commission Meeting

1. Call to Order and Roll Call

The meeting was called to order at 7:34 PM by Pres. Heckendorf.

Members Present: Pres. Heckendorf, Tr. Emmrich, Tr. Kruepke, Dan Reik, and Duane Hafemeister

Members Excused: None

Members Absent: Jon Molkentin

Staff Present: Administrator Jen Heidtke, and Clerk Jackie Schuh

2. Approval of Minutes for the Plan Commission Meeting of July 18,2024

The motion to approve the Minutes for the Plan Commission Meeting of July 18, 2024, was made by Tr. Emmrich and seconded by Duane Hafemeister.

Vote: 5 ayes, 0 nays. Motion carried.

3. Preliminary Plat - Oaks of Jackson, Addition No. 1 - Hillcrest Jackson, LLC-Oyvind Solvang

Administrator Heidtke presented a brief overview highlighting the differences between the original site plan in the packet and the current hard copy site plan that commissioners received. Of distinction were the updated outlot number as well as unit placement and key design elements. She indicated that terms of the development agreement for the remaining sections of the site are currently being negotiated. Mr. Oyvind Solvang of Hillcrest Jackson, LLC, reviewed details of the site plan for the commission and answered questions.

The motion to recommend the Village Board approve the Preliminary Plat for the Oaks of Jackson, Addition No. 1, was made by Pres. Heckendorf and seconded by Tr. Emmrich.

Vote: 5 ayes, 0 nays. Motion carried.

4. Citizens/Village Staff to Address the Plan Commission

None.

5. Adjourn

The motion to adjourn the meeting was made by Tr. Kruepke and seconded by Tr. Emmrich.

Vote: 5 ayes, 0 nays. Motion carried. The meeting was adjourned at 7:47 PM.

Respectfully Submitted,
Jackie Schuh - Village Clerk



Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: September 19, 2024
Agenda Item: # 3
To: Plan Commission
From: Collin Johnson, Director of Inspections/Zoning
Subject: Final Plat - Morning Meadows Subdivision, Addition No. 3 - Home Path Financial, LP

Background and Analysis:

The Preliminary Plat for Morning Meadows Subdivision, Addition No. 3 (Phase III) was reviewed by the Village Plan Commission on June 15, 2023. The Plan Commission recommend approval of the Preliminary Plat for Phase III to the Village Board for consideration at their July 11, 2023 meeting. The Village Board approved the Preliminary Plats recommended by the Plan Commission, without conditions.

The Developer has substantially completed construction on the sewer, water, stormwater and general road and infrastructure, as well as grading of all the lots. They are now seeking approval of the Final Plat for Addition No. 3 in order to begin construction on the proposed homes.

Staff has reviewed the proposed Final Plat and found it to be consistent with the Preliminary Plat approved previously.

Comprehensive Plan & Zoning Impacts:

The Final Plat is consistent with the prescribed uses outlined in the Village Comprehensive Plan and the Planned Unit Development zoning designation.

Site Plan:

See Final Plat

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision.

Signage:

Not Applicable

Additional Staff Comments:

None

Notice Requirements:

- Posting on the agenda

Potential Action:

Motion to recommend the Village Board approve the Final Plat for Morning Meadows Subdivision, Addition No. 3, residential subdivision.



Taking the lead in Washington County.

Attachments:

1. Plan Commission Application
2. Final Plat
3. Construction/Civil Plans

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

☐ COMMERCIAL	☐ INDUSTRIAL	☒ RESIDENTIAL	☒ OTHER <u>Final Plat</u>
☐ CONDITIONAL USE	☒ PLANNED UNIT DEVELOPMENT	☐ CERTIFIED SURVEY MAP	
☐ <u>New</u>	☒ <u>New</u>	☐ CONCEPT PLAN	
☐ <u>Amendment</u>	☐ <u>Amendment</u>		
☐ <u>Special Use</u> (For existing Cond. Use ONLY)	☐ <u>Special Use</u> (For existing PUD ONLY)	☐ OTHER _____	

Property Address: Cty Hwy P, Jackson Unit: _____ Jackson, WI

Parcel #: V3_0521101 Lot Size: 2.96 Acres _____ sq. ft. Building Area: _____ sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☒ PUD ☐ Other _____ Floodplain: Y / N

APPLICANT INFORMATION

Name(s): Home Path Financial, LP c/o Ken Frank

Mailing Address: 19435 W. Capitol Dr., Ste. 104 State WI Zip 53045

Office: (____) _____ Cell: (262) 328-4939 Fax: (____) _____

Email: kfrank@myhomepath.com

BUSINESS INFORMATION (If New Business)

Legal Business Name: _____

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): Home Path Financial, LP

Address: 19435 W. Capitol Dr., Ste. 104, Brookfield State WI Zip 53045

Office: (____) _____ Cell: (262) 328-4939 Fax: (____) _____

Email: kfrank@myhomepath.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: RA Smith, Inc.

Primary Contact: Dan Mazurkiewicz

Address: 16745 W. Bluemound Road, Brookfield State WI Zip 53005

Office: (262) 781-1000 Cell: (262) 317-3328 Fax: (____) _____

Email: dan.mazurkiewicz@rasmith.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: _____
PUD overlay to support parcel sizes and building setbacks for proposed twin homes

Provide a brief overview of proposed use(s) of entire property and/or lease space: Residential Housing

Hours of Operation: N/A

Provide a brief overview of proposed daily on-site operations: Residential Neighborhood

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: N/A

Describe all businesses, properties and other entities located adjacent to the proposed use: Residential Housing

Describe any proposed, development, on-site improvements or other construction/remodeling activities: _____
Public infrastructure consisting of sanitary sewer, water main and rural section streets

Describe any proposed grading, and/or stormwater management plan: _____
Grading and stormwater infrastructure was previously implemented during Phases I & II

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____
Continuation of landscape improvements implemented during Phases I & II

Describe any proposed on-site security measures including site lighting: N/A

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): _____
Public water main within all proposed right-of-way

Describe the projected traffic circulation and impacts: New intersection at County Hwy "P" per approved plans

List all setbacks from rights-of-way and property lines and height limitations: _____
4,500 SF min lot size; 45' min lot width; 20' front setback; 0/7' side setback; 15' rear setback; 15' corner setback

Provide status of State/Federal License(s) or Certificate(s)s required for operation, if any: N/A

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?
☐ No ☒ Yes If yes, explain: Washington County subdivision plat

Describe any proposed signage including type, size, and location: N/A

If construction is proposed, describe proposed exterior building materials (type, color, etc.): N/A

Describe any site-specific features/constraints, etc.: _____

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: _____
Driveways and garages

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): _____
N/A

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: _____
Street side pickup

Projected Sewer/Wastewater Usage: _____ gal/year

Projected Water Usage: _____ gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

You MUST sign and date this Application!

Applicant Name (Print): Ken Frank, Director

Applicant Signature: 

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: 08/23/24

SUBMIT TO: Village of Jackson – Building Inspection Dept.
W194 N16660 Eagle Drive
Jackson, WI 53037

PAYMENT INFO: **Payment is required at the time of submittal.**
Cash, Checks, or Credit Cards are accepted (fees apply)
(Make checks payable to Village of Jackson)

QUESTIONS?

Zoning Director: For questions concerning **application submittal, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjacksonwi.gov

Village Clerk: For all **general questions** concerning notices, meeting dates and times, etc.
Phone: (262) 677-9001 Ext. 213
Email: jilline.dobratz@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ **TEMPORARY** Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: 8/27/24

Amount: \$ 125.00

Payment Type: CH /~~XXX/CASH~~

Check/Rcpt. #: 2322

Received By: CMJ

VILLAGE OF JACKSON

N168W19851 MAIN ST

JACKSON, WI 53037

Receipt Nbr: 289146

Date: 8/27/2024

Check

RECEIVED
FROM HOME PATH FINANCIAL

\$125.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	125.00
	PHASE 3B/VILLAS AT MORNING MEADOWS	

TOTAL RECEIVED	125.00
----------------	--------

Receipt Memo: PHASE 3BFINAL PLAT MORN MEADOWS/CK#2322

MORNING MEADOWS SUBDIVISION
ADDITION NO. 3

Outlot 6, in Morning Meadows Subdivision No. 2, being in the Northwest 1/4 of the Southwest 1/4 of Section 19, Town 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

NOTES:

BEARINGS ARE BASED ON THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 19-10-20, WHICH IS ASSUMED TO BEAR NORTH 01°12'50" WEST, WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27).

VILLAGE VISION CORNERS:
NO OBSTRUCTIONS, SUCH AS STRUCTURES, PARKING, OR VEGETATION, SHALL BE PERMITTED IN ANY DISTRICT BETWEEN THE HEIGHTS OF 2 1/2 FEET AND TEN FEET ABOVE THE PLANE THROUGH THE MEAN CURB GRADES WITHIN THE TRIANGULAR SPACE FORMED BY ANY TWO EXISTING OR PROPOSED INTERSECTING STREET OR ALLEY RIGHT-OF-WAY LINES AND A LINE JOINING POINTS ON SUCH LINES LOCATED A MINIMUM OF 15 FEET FROM THEIR INTERSECTION.

SUBDIVISION STATISTICS

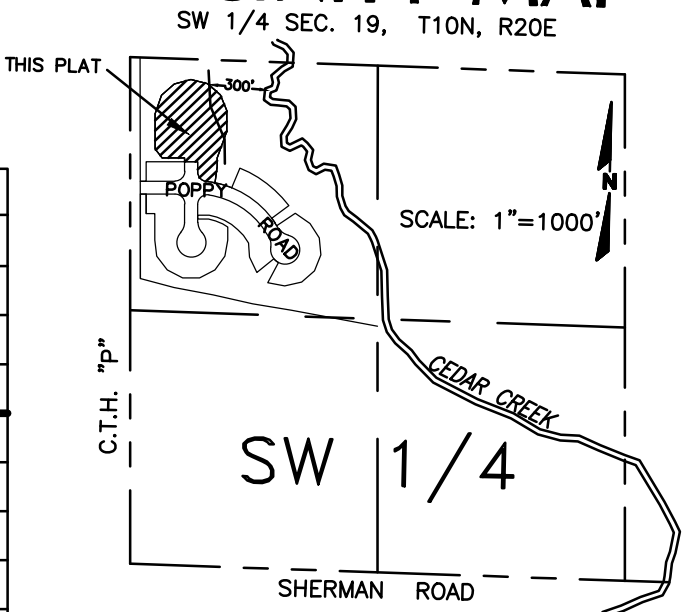
- 1. SUBDIVISION CONTAINS 18 LOTS
- 2. DEVELOPMENT CONTAINS 3.1915 ACRES
- 3. LAND IS ZONED - PLANNED DEVELOPMENT (PUD Res)
- 20' FRONT YARD SETBACK
- 7' SIDE YARD SETBACK
- 15' REAR YARD SETBACK
- 0' SIDE YARD THROUGH BUILDING

----- Indicates Utility Easement line
----- Indicates Building setback line

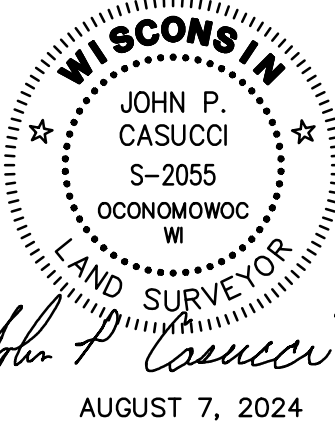
○ Indicates found 1 1/4" Iron rod.
● Indicates found 1" iron pipe.
1.315"o.d.x18" 1.68 lbs/lin. ft. Iron pipes set at all other Lot corners.

Ⓢ Indicates dedicated for public street purposes

VICINITY MAP



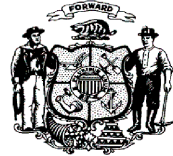
Curve Table							
Curve #	Length	Radius	Chord	Bearing	Tangent In	Tangent Out	Delta
R.O.W.	C1	57.52	75.00	N20°45'32"E	56.12	N42°43'54"E	43°56'44"
LOT 109	C2	25.35	75.00	N08°28'11"E	25.23	N18°09'11"E	19°22'01"
LOT 108	C3	32.17	75.00	N30°26'33"E	31.93	N42°43'54"E	24°34'42"
R.O.W.	C4	350.67	75.00	N88°47'10"E	108.00	N45°09'34"W	S42°43'54"W
LOT 108	C5	21.98	75.00	N34°20'03"E	21.91	N25°56'12"E	N42°43'54"E
LOT 107	C6	46.35	75.00	S08°13'55"W	45.62	S09°28'23"E	S25°56'12"W
LOT 106	C7	35.87	75.00	N23°10'24"W	35.53	N36°52'24"W	N09°28'23"W
LOT 105	C8	35.87	75.00	N50°34'25"W	35.53	N64°16'26"W	N36°52'24"W
LOT 104	C9	35.87	75.00	N77°58'27"W	35.53	S88°19'32"W	N64°16'26"W
LOT 103	C10	35.87	75.00	S74°37'31"W	35.53	S60°55'31"W	S88°19'32"W
LOT 102	C11	35.87	75.00	S47°13'30"W	35.53	S33°31'29"W	S60°55'31"W
LOT 101	C12	34.66	75.00	S20°17'08"W	34.35	S07°02'47"W	S33°31'29"W
LOT 100	C13	46.35	75.00	S10°39'32"E	45.62	S28°21'52"E	S07°02'47"W
LOT 99	C14	21.98	75.00	S36°45'43"E	21.91	S45°09'34"E	S28°21'52"E
R.O.W.	C15	57.52	75.00	S23°11'12"E	56.12	S01°12'50"E	S45°09'34"E
LOT 99	C16	32.17	75.00	S32°52'13"E	31.93	S20°34'51"E	S45°09'34"E
LOT 98	C17	25.35	75.00	S10°53'51"E	25.23	S01°12'50"E	S20°34'51"E



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



Owner/Subdivider:
Home Path Financial Limited Partnership
19435 West Capitol Drive, Suite 102
Brookfield, WI., 53045
Phone 262-336-3862

Surveyor:
R.A. Smith, Inc.
John P. Casucci
16745 W. Bluemound Rd.
Brookfield, WI., 53005

raSmith

CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

SHEET 1 OF 2 SHEETS

SURVEYOR'S CERTIFICATE

State of Wisconsin }
Waukesha county }
:SS

I, John P. Casucci, Professional Land Surveyor, certify:

That I have surveyed, divided and mapped

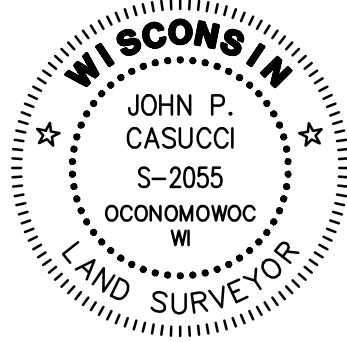
Outlot 6, in Morning Meadows Subdivision No. 2, being in the Northwest 1/4 of the Southwest 1/4 of Section 19, Town 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin, containing 139,020 square feet or 3.1915 acres.

That I have made such survey, land division and plat by the direction of HOME PATH FINANCIAL LIMITED PARTNERSHIP, That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of chapter 236 of the Wisconsin statutes and the subdivision regulations of the Village of Jackson in surveying, dividing and mapping the same.

Date: AUGUST 7, 2024

John P. Casucci
Professional Land Surveyor
Registration No. S-2055
john.casucci@rasmith.com



CORPORATE OWNER'S CERTIFICATE

HOME PATH FINANCIAL LIMITED PARTNERSHIP, a limited partnership duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said company has caused the land described on this Plat to be surveyed, divided, dedicated and mapped as represented on this Plat.

HOME PATH FINANCIAL LIMITED PARTNERSHIP does further certify that this map is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection:

Village of Jackson
Washington County
Wisconsin Department of Administration

IN Witness Whereof, HOME PATH FINANCIAL LIMITED PARTNERSHIP, has caused these presents to be signed by JEFFREY M. KLEINER, it's Sole Member, on this day of 20.

HOME PATH FINANCIAL LIMITED PARTNERSHIP
a Wisconsin limited partnership

BY: IMS INVESTMENTS, LLC
A WISCONSIN LIMITED LIABILITY COMPANY
GENERAL PARTNERSHIP OF HOME PATH FINANCIAL LIMITED PARTNERSHIP

BY: JEFFREY M. KLEINER, SOLE MEMBER

State of Wisconsin }
County }
:SS

Personally came before me this day of 20, JEFFREY M. KLEINER, of HOME PATH FINANCIAL LIMITED PARTNERSHIP, to me known to be the person who executed the foregoing instrument and acknowledged that they executed the foregoing instrument as such officers as the deed of HOME PATH FINANCIAL LIMITED PARTNERSHIP, by their authority.

Notary Public, State of Wisconsin
My commission expires

VILLAGE BOARD APPROVAL

State of Wisconsin }
Washington County }
:SS

Resolved that the Plat of Morning Meadows Subdivision Addition No. 3, in the Village of Jackson, having been recommended by the Plan Commission, and being the same, is hereby approved and the dedication herein accepted by the Village Board of

Trustees of the Village of Jackson, on this Day of 20

Mike Schwab, Village President

VILLAGE OF JACKSON PLAN COMMISSION

Preliminary Approval date: Secretary

Final Approval date: Secretary

MORNING MEADOWS SUBDIVISION
ADDITION NO. 3

Outlot 6, in Morning Meadows Subdivision No. 2, being in the Northwest 1/4 of the Southwest 1/4 of Section 19, Town 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

VILLAGE CLERK CERTIFICATE

State of Wisconsin }
Washington County }
:SS

I, Jilline Dobratz, being the duly elected qualified and acting clerk of the Village of Jackson, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as:

, 20, on any of the land included in the Plat of Morning Meadows Subdivision Addition No.3

Date: Jilline Dobratz, Village Clerk

WASHINGTON COUNTY TREASURER'S CERTIFICATE

State of Wisconsin }
Washington County }
:SS

I, Scott Henke, being the duly elected, qualified and acting treasurer of the County of Washington, do hereby certify that the records in my office show no unredeemed tax sales or unpaid special assessments as of 20, affecting the lands included in the Plat of Morning Meadows Subdivision Addition No. 3

Date: Scott Henke, County Treasurer

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by HOME PATH FINANCIAL LIMITED PARTNERSHIP, Grantor, to WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as WE Energies, Grantee, WISCONSIN BELL, INC. d/b/a/ AT&T WISCONSIN, A WISCONSIN CORPORATION, Grantee, and SPECTRUM MID-AMERICA, LLC . . Grantee

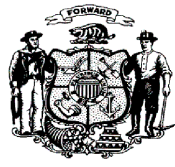
their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified, 20

Department of Administration



CONSTRUCTION PLANS FOR MEADOWS SUBDIVISION VILLAGE OF JACKSON, WISCONSIN

VICINITY MAP

PLAN INDEX

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
C000	TITLE SHEET
C100	OVERALL EROSION CONTROL & GRADING PLAN
C101-C103	DETAILED EROSION CONTROL & GRADING PLANS
C200-C202	SANITARY SEWER & WATER MAIN PLAN & PROFILE
C203	OVERALL UTILITY PLAN
C300-C301	STORM SEWER & PAVING PLAN & PROFILE
C302	C.T.H. "P" INTERSECTION PLAN
C400-C402	DETAILS

PLAN DATE: 07/14/2023

[illegible]

**MORNING MEADOWS SUBDIVISION-PHASE 3
VILLAGE OF JACKSON, WISCONSIN**

TITLE SHEET



© COPYRIGHT 2023 R.A. Smith, Inc.
DATE: 07/14/2023
SCALE: N.T.S.
JOB NO. 3050195.02
PROJECT MANAGER: DAN MAZURKIEWICZ, P.E.
DESIGNED BY: DJM
CHECKED BY: CDH
SHEET NUMBER C000

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

LEGEND

- | | |
|--|--|
| | TREE REMOVAL |
| | EXISTING CONCRETE PAVEMENT TO BE REMOVED |
| | EXISTING ASPHALT PAVEMENT TO BE REMOVED |
| | EXISTING GRAVEL TO BE REMOVED |
| | EXISTING BUILDING/STRUCTURE TO BE REMOVED |
| | SAWCUT LINE |
| | PROPOSED PROPERTY LINE |
| | PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY) |
| | MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS) |
| | SIGN |
| | HEAVY-DUTY CONCRETE PAVEMENT |
| | CONCRETE SIDEWALK |
| | HEAVY-DUTY ASPHALT PAVEMENT |
| | STANDARD-DUTY ASPHALT PAVEMENT |
| | COLORS AND STAMPED CONCRETE |
| | PROPOSED 30" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN) |
| | PROPOSED 30" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN) |
| | PROPOSED ACCESSIBLE PAVEMENT MARKING |
| | VAN ACCESSIBLE STALL |
| | PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET, NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.) |
| | PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET, NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.) |
| | PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET, NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.) |
| | PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET, NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.) |
| | PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET, NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.) |
| | DOOR |
| | STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS) |
| | PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL) |
| | PROPOSED 1-FOOT GRADE CONTOUR |
| | PROPOSED 5-FOOT GRADE CONTOUR |
| | PROPOSED SPOT GRADE |
| | PROPOSED TOP OF CURB |
| | DENOTES PROPOSED GARAGE FLOOR GRADE @ THRESHOLD |
| | IF A SECOND ELEVATION IS GIVEN, DENOTES GROUND LEVEL FOR LOOK OUT OR BASEMENT SLAB GRADE FOR WALK OUT. |
| | PROPOSED EROSION CONTROL BALE |
| | TEMPORARY DITCH CHECK |
| | CULVERT PIPE DITCH CHECK |
| | PROPOSED INLET PROTECTION |
| | PROPOSED SILT FENCE |
| | PROPOSED STRAW WATTLE |
| | PROPOSED TEMPORARY DIVERSION |
| | SWALE & BERM |
| | PROPOSED LEVEL SPREADER |
| | PROPOSED STONE TRACKING MAT |
| | PROPOSED PERMANENT TURF REINFORCEMENT MAT |
| | EROSION CONTROL BLANKET |
| | PROPOSED RIPRAP |
| | PROPOSED GAS LINE |
| | PROPOSED ELECTRIC LINE |
| | PROPOSED TELEPHONE LINE |
| | PROPOSED WATER MAIN |
| | PROPOSED STORM SEWER |
| | PROPOSED SANITARY SEWER |
| | PROPOSED FIRE DEPARTMENT CONNECTION |
| | PROPOSED WATER VALVE |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED INLET/ CB |
| | PROPOSED STORM MANHOLE |
| | PROPOSED AREA DRAIN |
| | PROPOSED SANITARY MANHOLE |

LEGEND

- () INDICATES RECORDED DIMENSION
WHERE DIFFERENT FROM ACTUAL
MEASUREMENT
- ✶ OR ✷ SECTION OR 1/4 SECTION
CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND
(UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET
(UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- ✶ FILL PILE
- ✶ MAILBOX
- SIGN
- ✶ BILLBOARD
- ✶ AIR CONDITIONER
- CONTROL BOX
- ✶ TRAFFIC SIGNAL
- ✶ RAILROAD CROSSING SIGNAL
- PEDESTAL
- POWER POLE
- GUY POLE
- CO. WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- ✶ HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ✶ ELECTRIC METER
- ELECTRIC TRANSFORMER
- ✶ TELEPHONE
- TELEPHONE PEDESTAL
- ✶ MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- W WATER SURFACE
- W WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- ~~~~~EDGE OF TREES
- ~~~~~SANITARY SEWER
- ~~~~~STORM SEWER
- ~~~~~WATERMAIN
- ~~~~~C~~~~~MARKED GAS MAIN
- ~~~~~C~~~~~STORM CABLE TV LINE
- ~~~~~OHW~~~~~OVERHEAD WIRES
- ~~~~~B~~~~~BUREAU ELEC. SERV.
- ~~~~~T~~~~~MARKED TELEPHONE
- ~~~~~F~~~~~MARKED FIBER OPTIC
- ~~~~~INDICATES EXISTING
- ~~~~~CONTIGUOUS ELEVATION
- ~~~~~INDICATES EXISTING
- ~~~~~SPOT ELEVATION
- ~~~~~EXISTING PROPERTY
- ~~~~~EXISTING EASEMENT
- ~~~~~LINE
- ~~~~~X 780
- ~~~~~X 780.55

ENGINEER:

raSmith
CREATIVITY BEYOND ENGINEERING

RAS PROJECT: 3050195.02
CONTACT: CHRIS D. HITCH, P.E.

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rgsmith.com

OWNER/DEVELOPER:

HOME PATH FINANCIAL, LP
CONTACT: ED WOODLAND
 19435 W. CAPITAL DRIVE, #102
 BROOKFIELD, WI 53045
 PH.: 262-336-3862

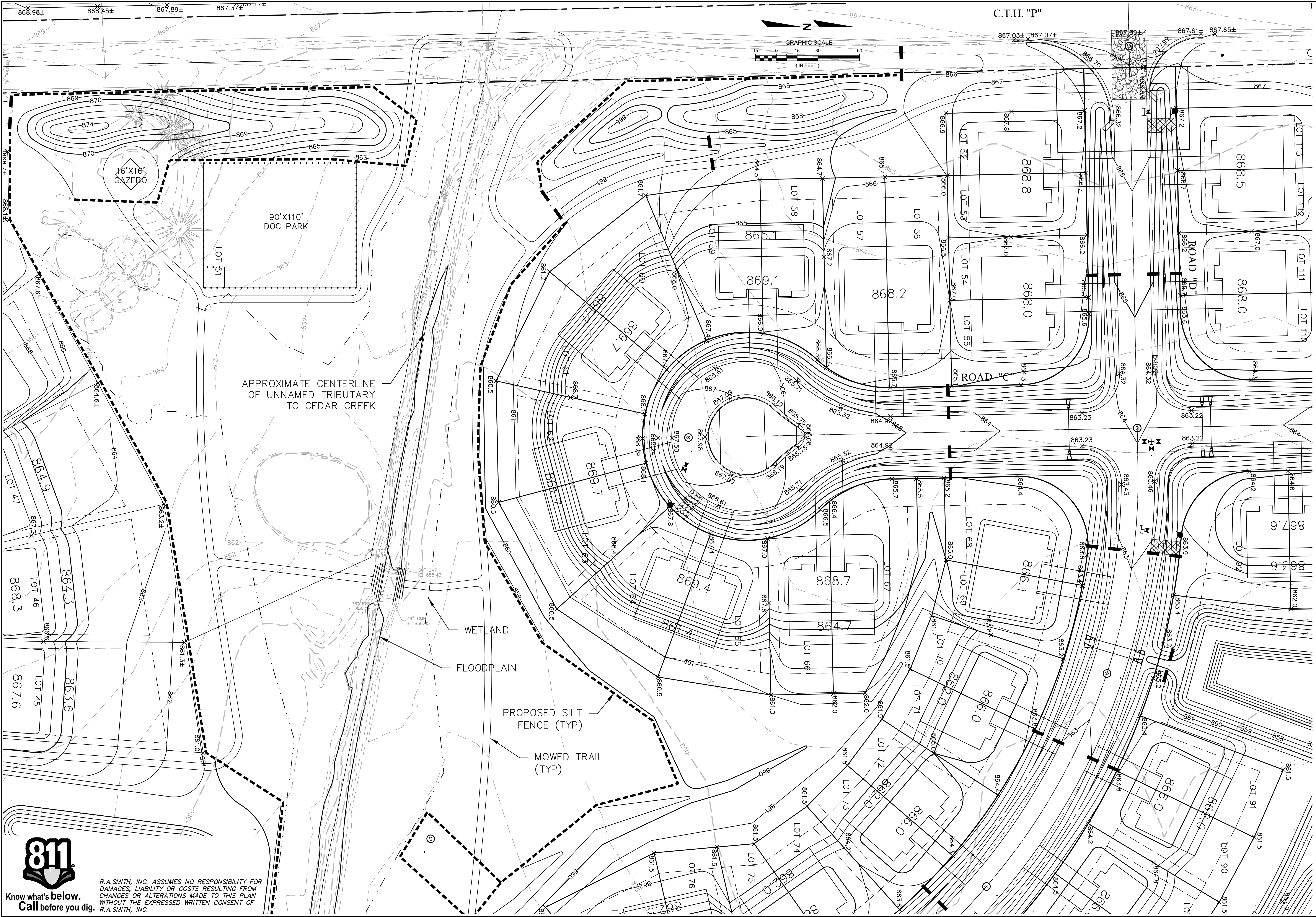
COMMUNITY:

VILLAGE OF JACKSON
CONTACT: BRIAN KOBER
DIRECTOR OF PUBLIC WORKS
N168 W20733 MAIN ST.
JACKSON, WI 53037
PH.: 262-677-0707 x11

BENCHMARKS:

SET BM. RR SPIKE PP#85-02721
APPROX. 406' EAST OF CTH P
ON SHERMAN RD
ELEV = 861.11

SET BM. RR SPIKE PP#03-04062
APPROX. 1,605' NORTH OF
SHERMAN ON CTH P
ELEV = 865.99

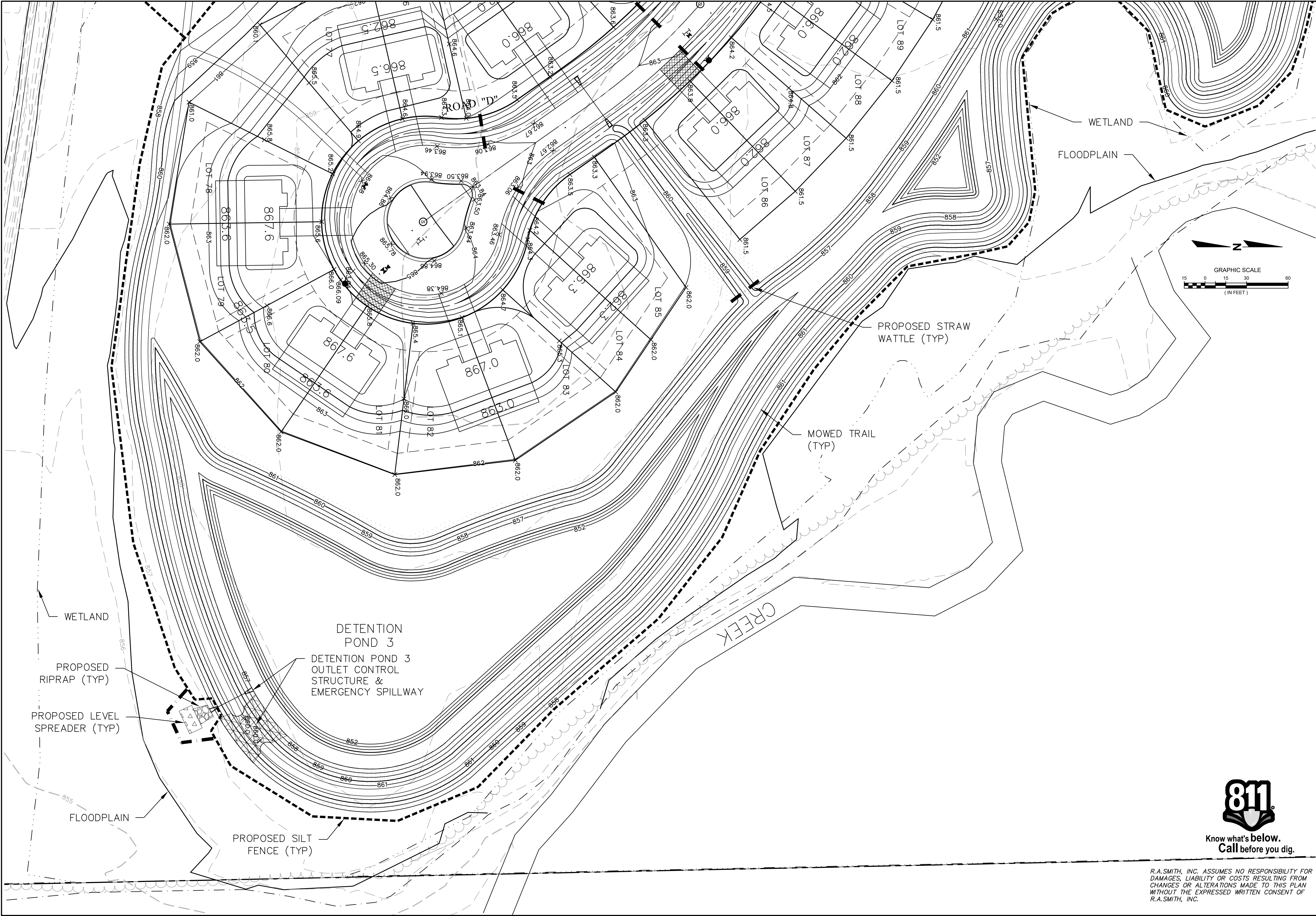




Know what's below.
Call before you dig.

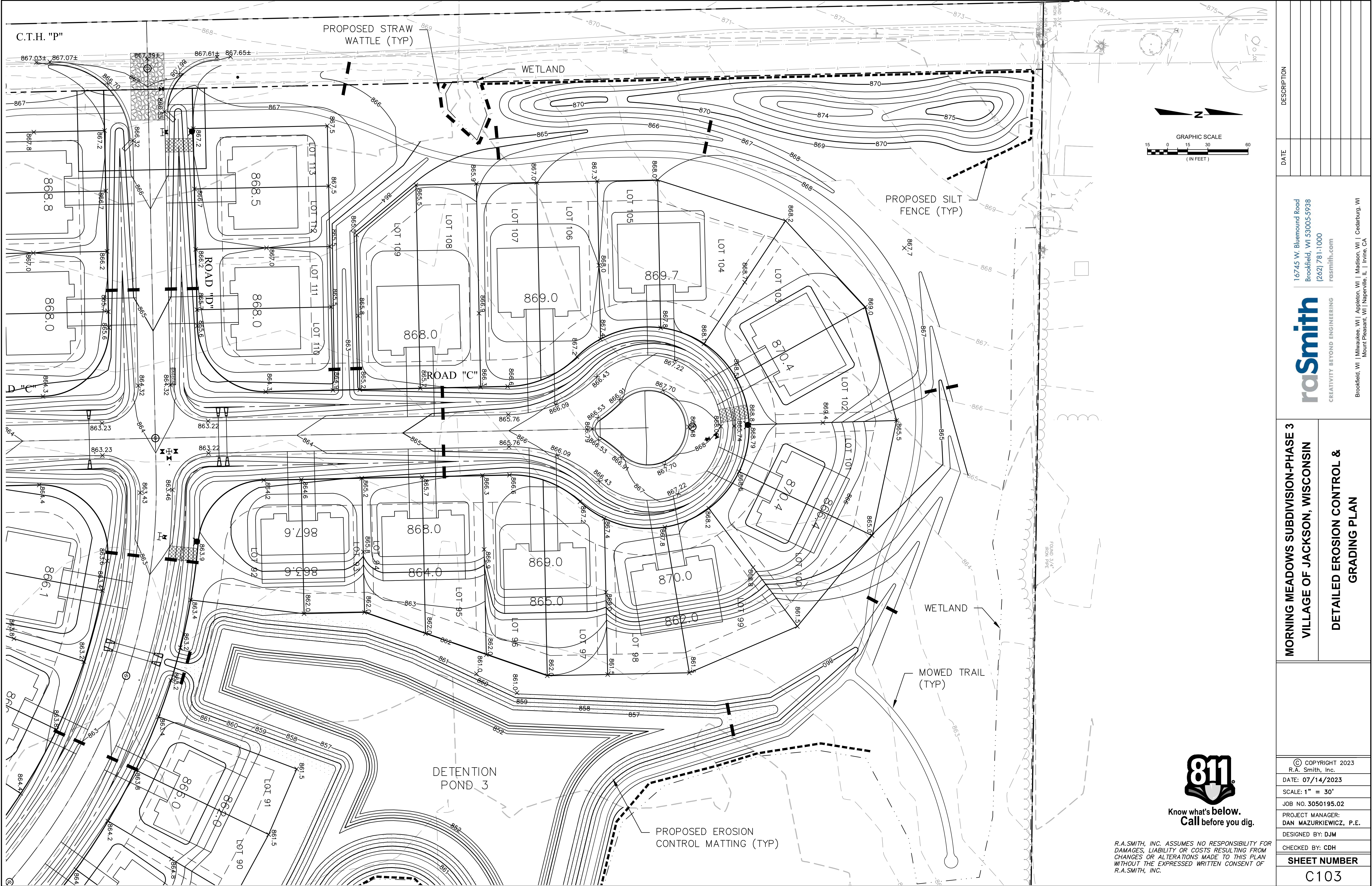
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

DESCRIPTION	
DATE	
16745 W. Blumound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
MORNING MEADOWS SUBDIVISION-PHASE 3 VILLAGE OF JACKSON, WISCONSIN	
DETAILED EROSION CONTROL & GRADING PLAN	
© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 07/14/2023 SCALE: 1" = 30' JOB NO. 3050195.02 PROJECT MANAGER: DAN MAZURKIEWICZ, P.E. DESIGNED BY: DJM CHECKED BY: CDH	
SHEET NUMBER C101	



MORNING MEADOWS SUBDIVISION-PHASE 3 VILLAGE OF JACKSON, WISCONSIN		DESCRIPTION	
DETAILED EROSION CONTROL & GRADING PLAN		DATE	
811 Know what's below. Call before you dig.		16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
		raSmith CREATIVITY BEYOND ENGINEERING	
		Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
		© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 07/14/2023 SCALE: 1" = 30' JOB NO. 3050195.02 PROJECT MANAGER: DAN MAZURKIEWICZ, P.E. DESIGNED BY: DJM CHECKED BY: CDH SHEET NUMBER C102	

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR
DAMAGES, LIABILITY OR COSTS RESULTING FROM
CHANGES OR ALTERATIONS MADE TO THIS PLAN
WITHOUT THE EXPRESSED WRITTEN CONSENT OF
R.A. SMITH, INC.

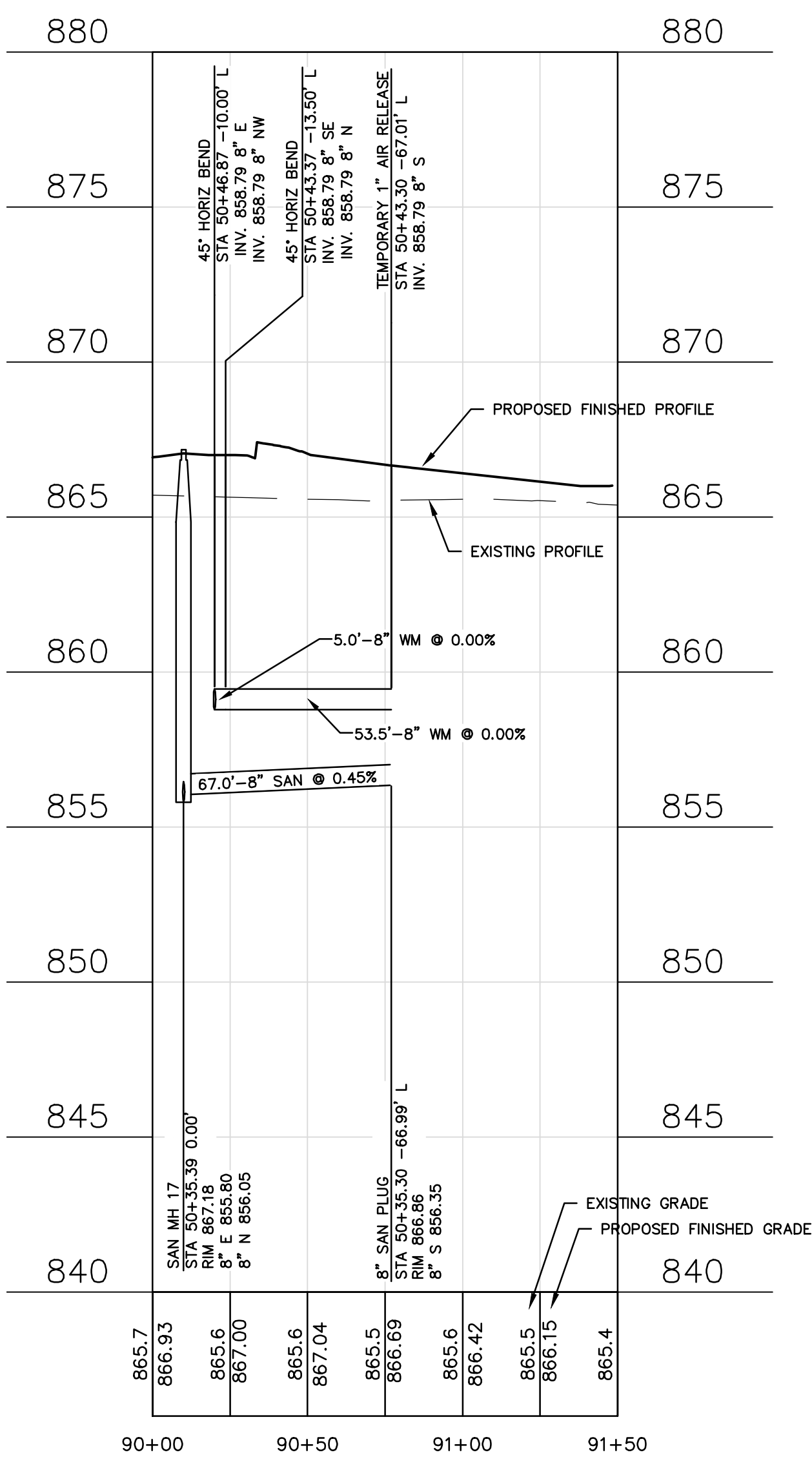
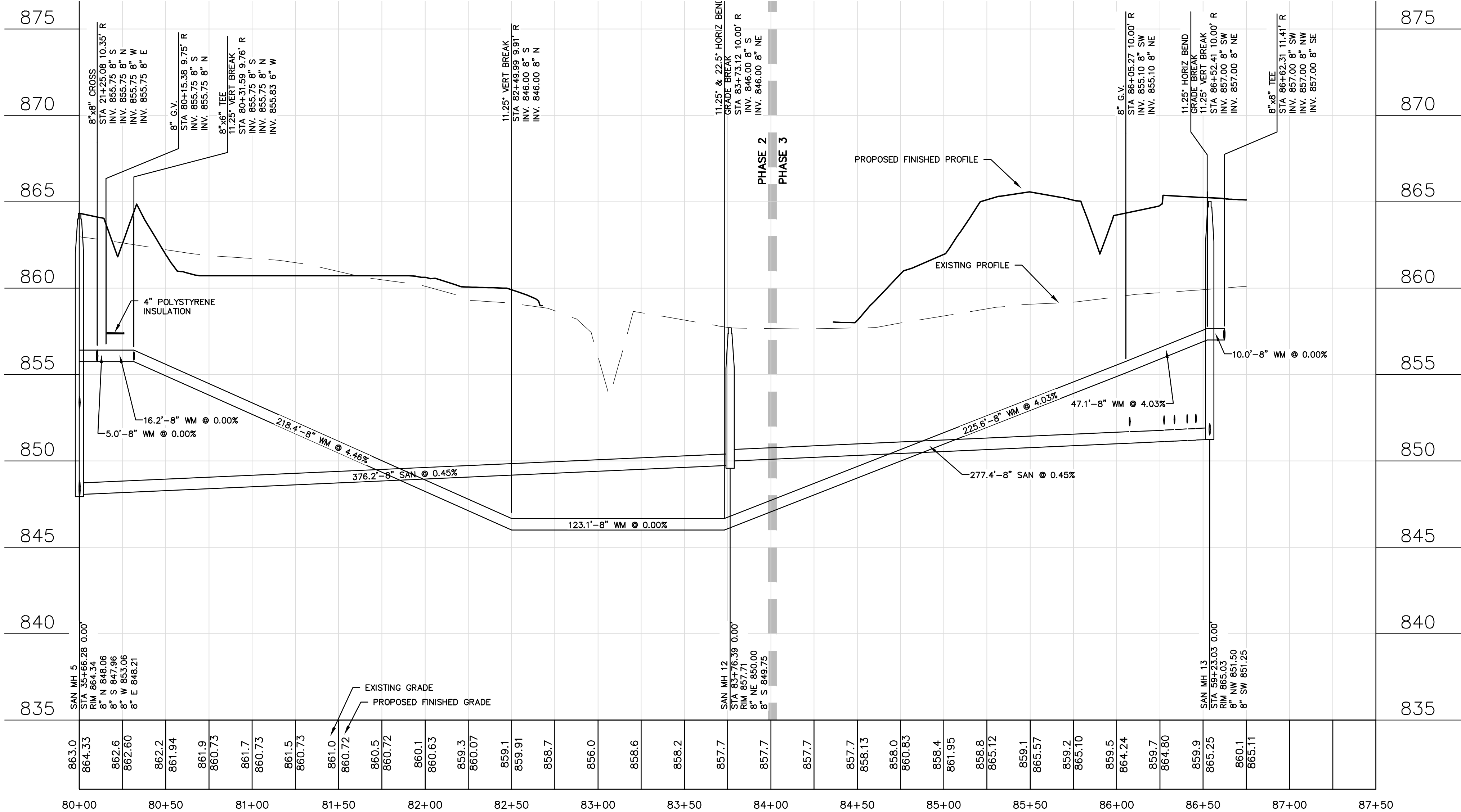
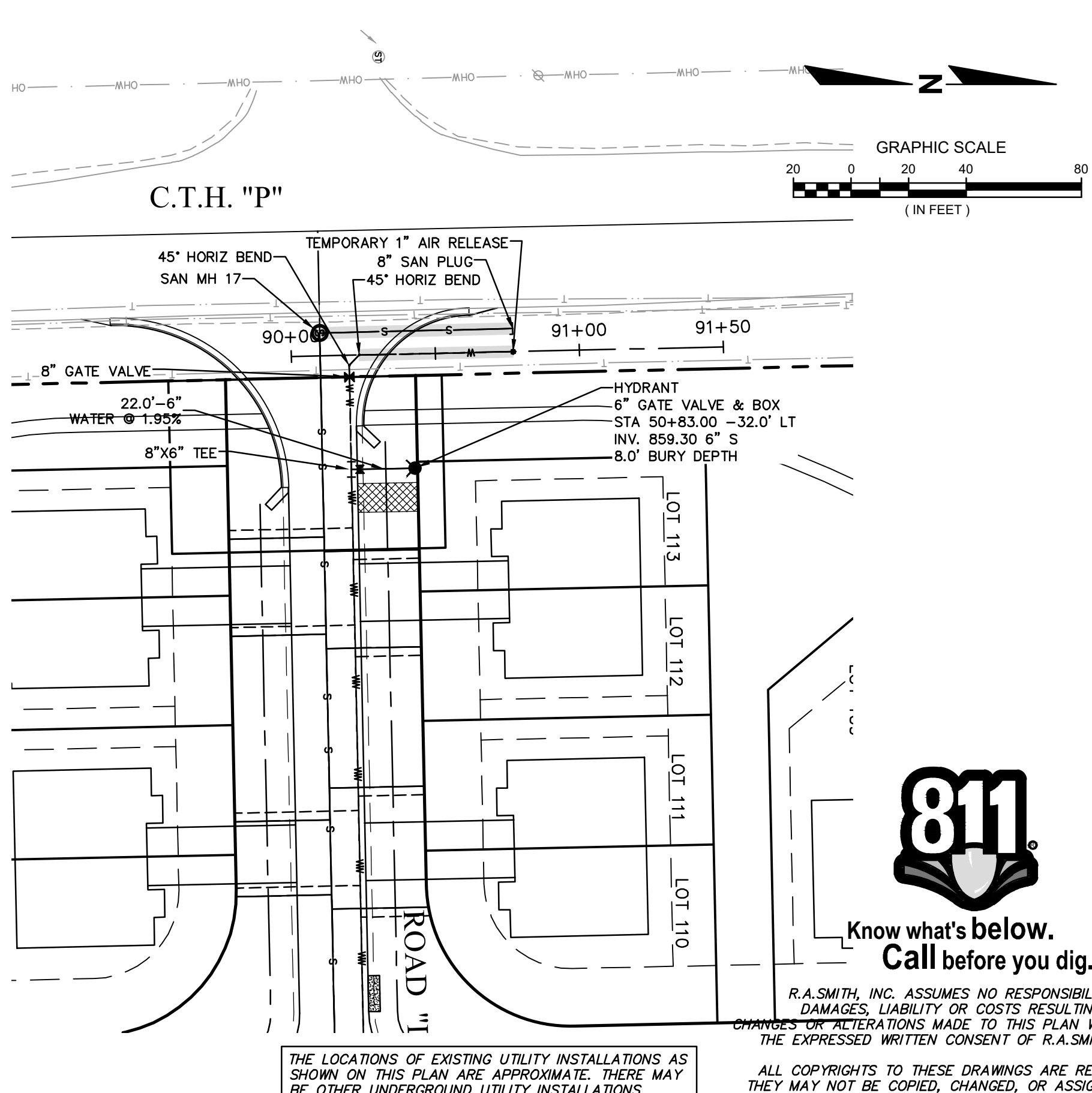
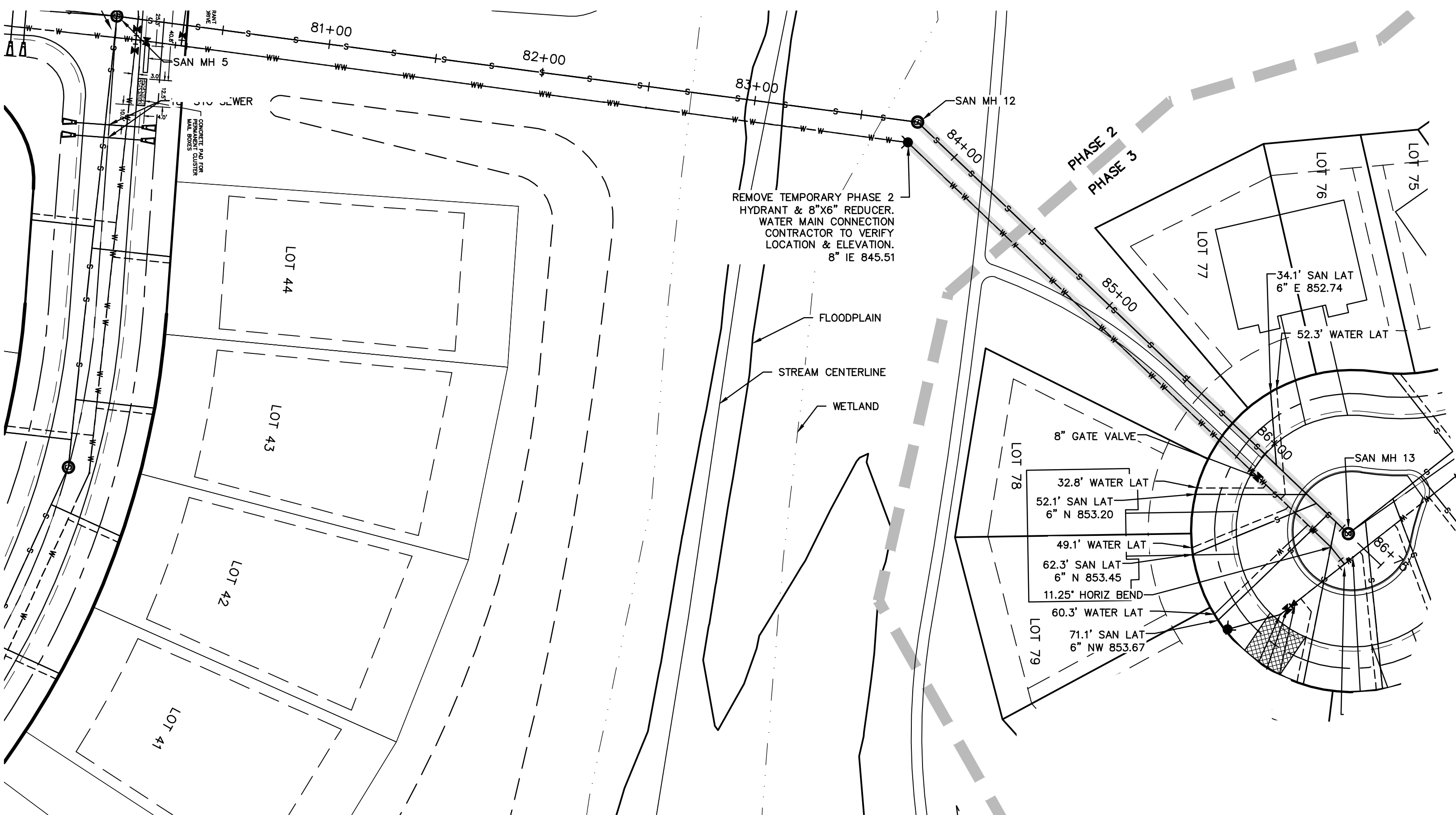


DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
MORNING MEADOWS SUBDIVISION-PHASE 3 VILLAGE OF JACKSON, WISCONSIN	
DETAILED EROSION CONTROL & GRADING PLAN	
© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 07/14/2023 SCALE: 1" = 30' JOB NO. 3050195.02 PROJECT MANAGER: DAN MAZURKIEWICZ, P.E. DESIGNED BY: DJM CHECKED BY: CDH	
SHEET NUMBER C103	



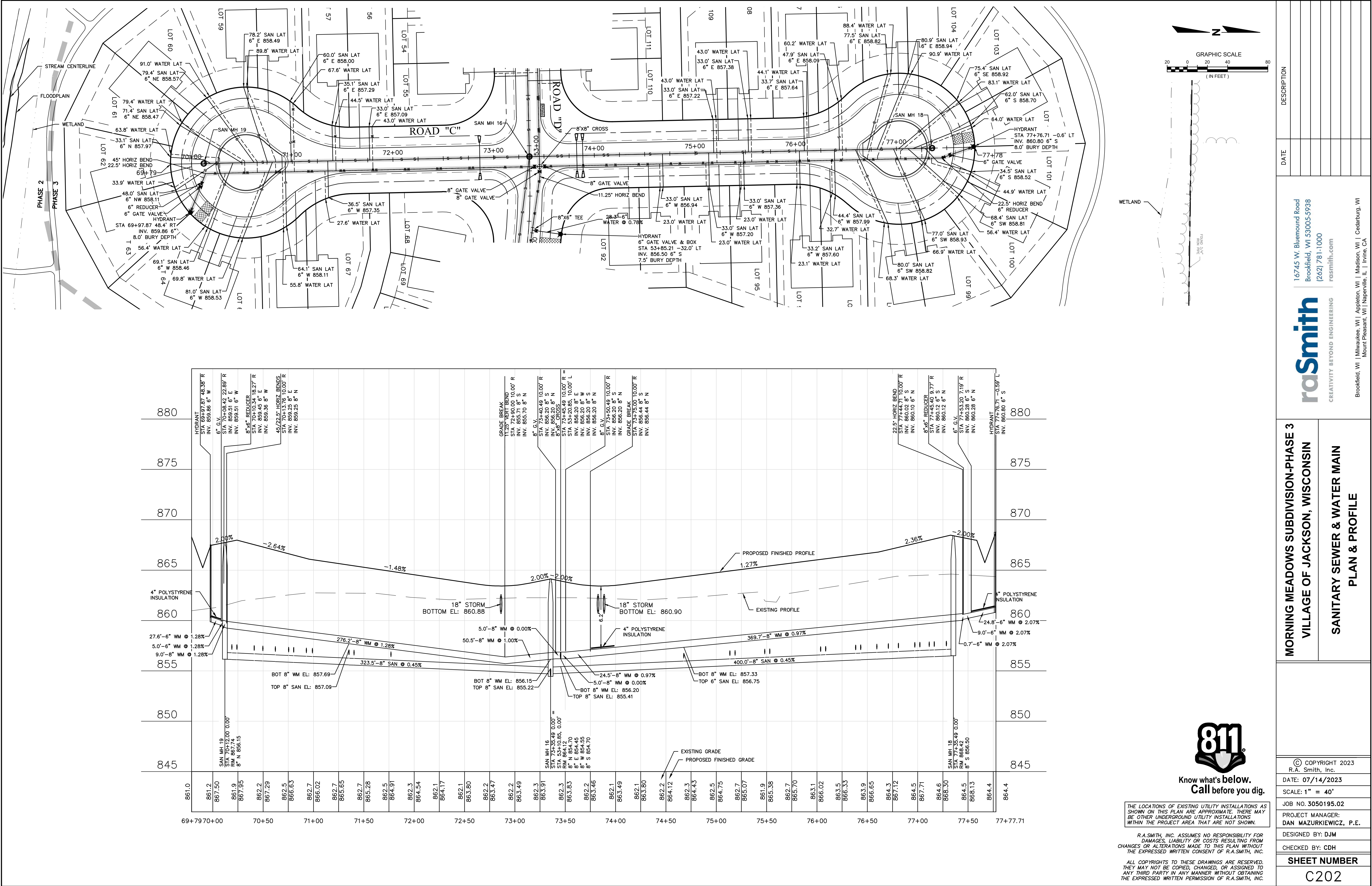
Know what's below.
Call before you dig.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR
DAMAGES, LIABILITY OR COSTS RESULTING FROM
CHANGES OR ALTERATIONS MADE TO THIS PLAN
WITHOUT THE EXPRESSED WRITTEN CONSENT OF
R.A. SMITH, INC.

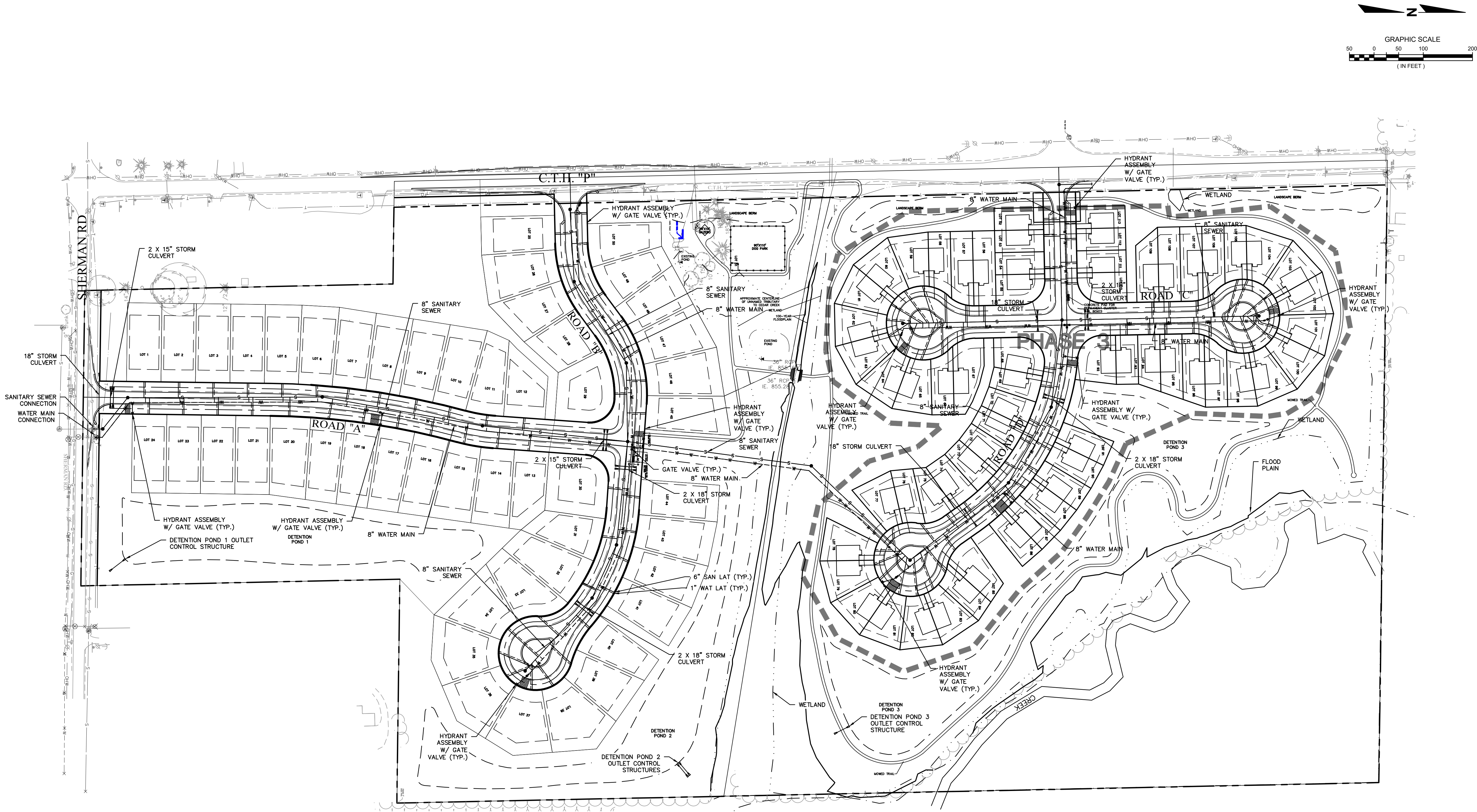


DESCRIPTION	
DATE	
16745 W. Blumound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
MORNING MEADOWS SUBDIVISION-PHASE 3 VILLAGE OF JACKSON, WISCONSIN	
SANITARY SEWER & WATER MAIN PLAN & PROFILE	
© COPYRIGHT 2023 R.A. Smith, Inc.	
DATE: 07/14/2023	
SCALE: 1" = 40'	
JOB NO. 3050195.02	
PROJECT MANAGER: DAN MAZURKIEWICZ, P.E.	
DESIGNED BY: DJM	
CHECKED BY: CDH	
SHEET NUMBER	
C200	

P:\3050195\3050195.01\dwg\Sheets - Phase 3\3050195.02-UPD1.dwg, NORTH-SOUTH, 7/14/2023 10:49:02 AM, .djn



MORNING MEADOWS SUBDIVISION-PHASE 3 VILLAGE OF JACKSON, WISCONSIN	
SANITARY SEWER & WATER MAIN PLAN & PROFILE	
© COPYRIGHT 2023 R.A. Smith, Inc.	
DATE: 07/14/2023	
SCALE: 1" = 40'	
JOB NO. 3050195.02	
PROJECT MANAGER: DAN MAZURKIEWICZ, P.E.	
DESIGNED BY: DJM	
CHECKED BY: CDH	
SHEET NUMBER	
C202	
raSmith CREATIVITY BEYOND ENGINEERING	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
DESCRIPTION	
DATE	



Know what's below.
Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

MORNING MEADOWS SUBDIVISION-PHASE 3
VILLAGE OF JACKSON, WISCONSIN

OVERALL UTILITY PLAN

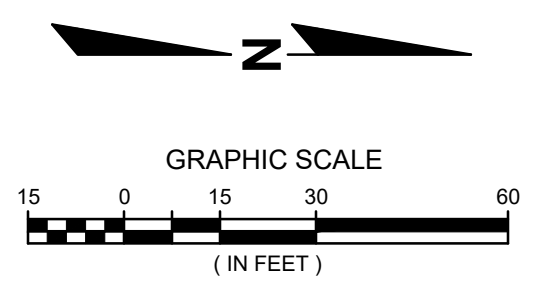
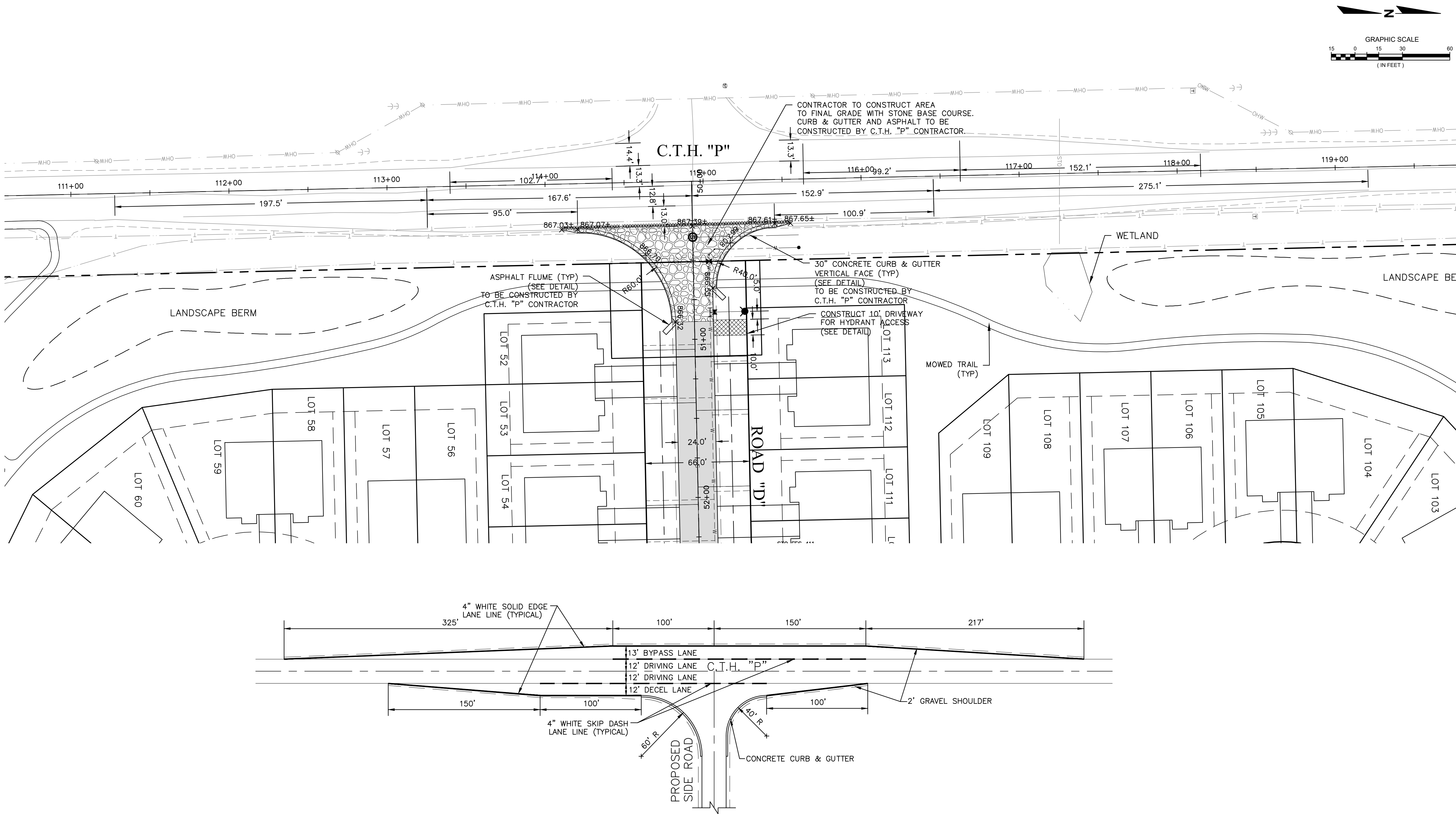
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

DATE	DESCRIPTION

© COPYRIGHT 2023 R.A. Smith, Inc.
DATE: 07/14/2023
SCALE: 1" = 100'
JOB NO. 3050195.02
PROJECT MANAGER: DAN MAZURKIEWICZ, P.E.
DESIGNED BY: DJM
CHECKED BY: CDH
SHEET NUMBER
C203



NOTES:
1. ALL SPOT GRADES AND DIMENSIONS ARE TO THE FLANGE LINE OF CURB & GUTTER OR EDGE OF PAVEMENT.

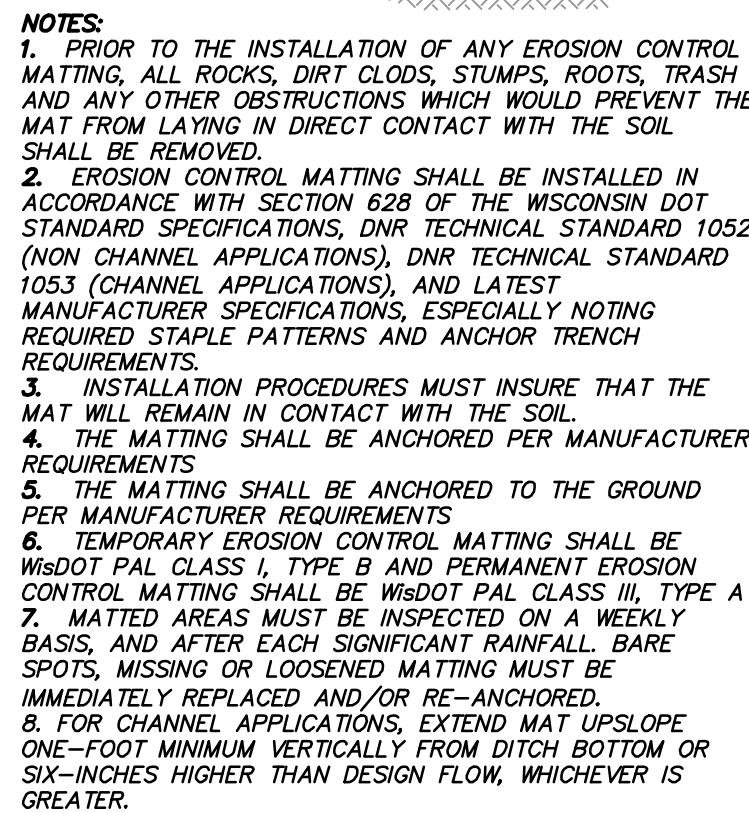
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.



Know what's below.
Call before you dig.

DESCRIPTION		DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com		16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING		Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
MORNING MEADOWS SUBDIVISION-PHASE 3 VILLAGE OF JACKSON, WISCONSIN		C.T.H. "P" INTERSECTION PLAN	
© COPYRIGHT 2023 R.A. Smith, Inc.		DATE: 07/14/2023	
SCALE: 1" = 30'		JOB NO. 3050195.02	
PROJECT MANAGER: DAN MAZURKIEWICZ, P.E.		DESIGNED BY: DJM	
CHECKED BY: CDH		SHEET NUMBER	
		C302	



NOTE: INSTALL ON ALL SLOPES OF 4:1 OR GREATER

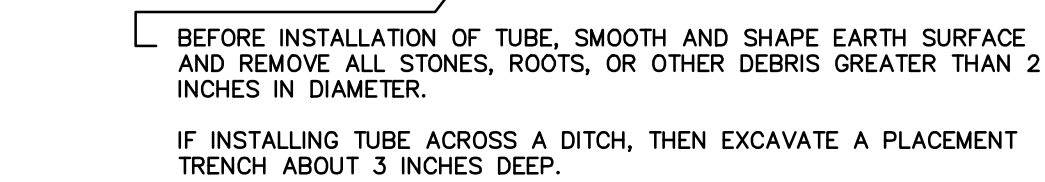


- ### **3. TRACKING PAD:**
1. TRACKING PAD TO CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1057.
 2. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3"- 6" CLEAR OR WASHED STONE. ALL MATERIAL SHALL BE RETAINED ON A 3-INCH SIEVE.
 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
 6. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
- ### **B. MAINTENANCE**
1. ROCKS LOGGED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
 2. TRACKING PADS AND TIRE WASHING STATIONS SHALL, AT AT MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES .05 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 3. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 4. A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

(NOT TO SCALE)



1. DIVERSION TO CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1066
2. DIVERSION TO BE STABILIZED WITH VEGETATION OR EROSION MAT PRIOR TO USE.
3. DIVERSIONS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
4. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS.
5. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE-HALF THE HEIGHT OF THE DIVERSION BERM. PROPERLY DISPOSE OF ANY SEDIMENT REMOVED FROM THE DIVERSION.
6. DIVERSIONS SHALL BE REMOVED AND THE AREA STABILIZED ACCORDING TO CONSTRUCTION PLANS.

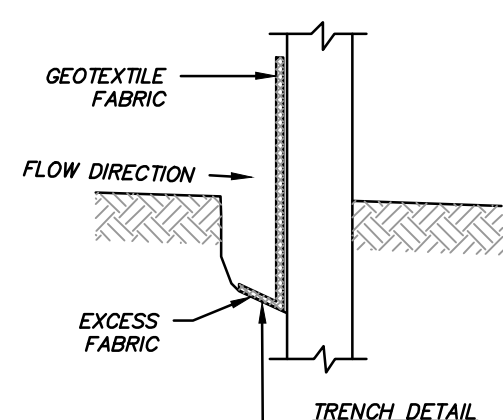
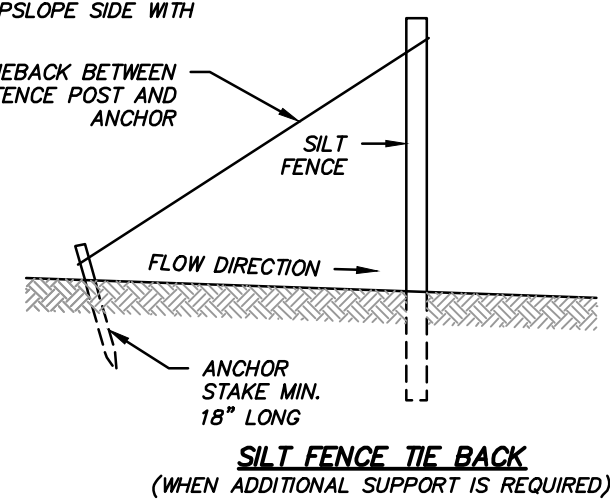


NOTES:

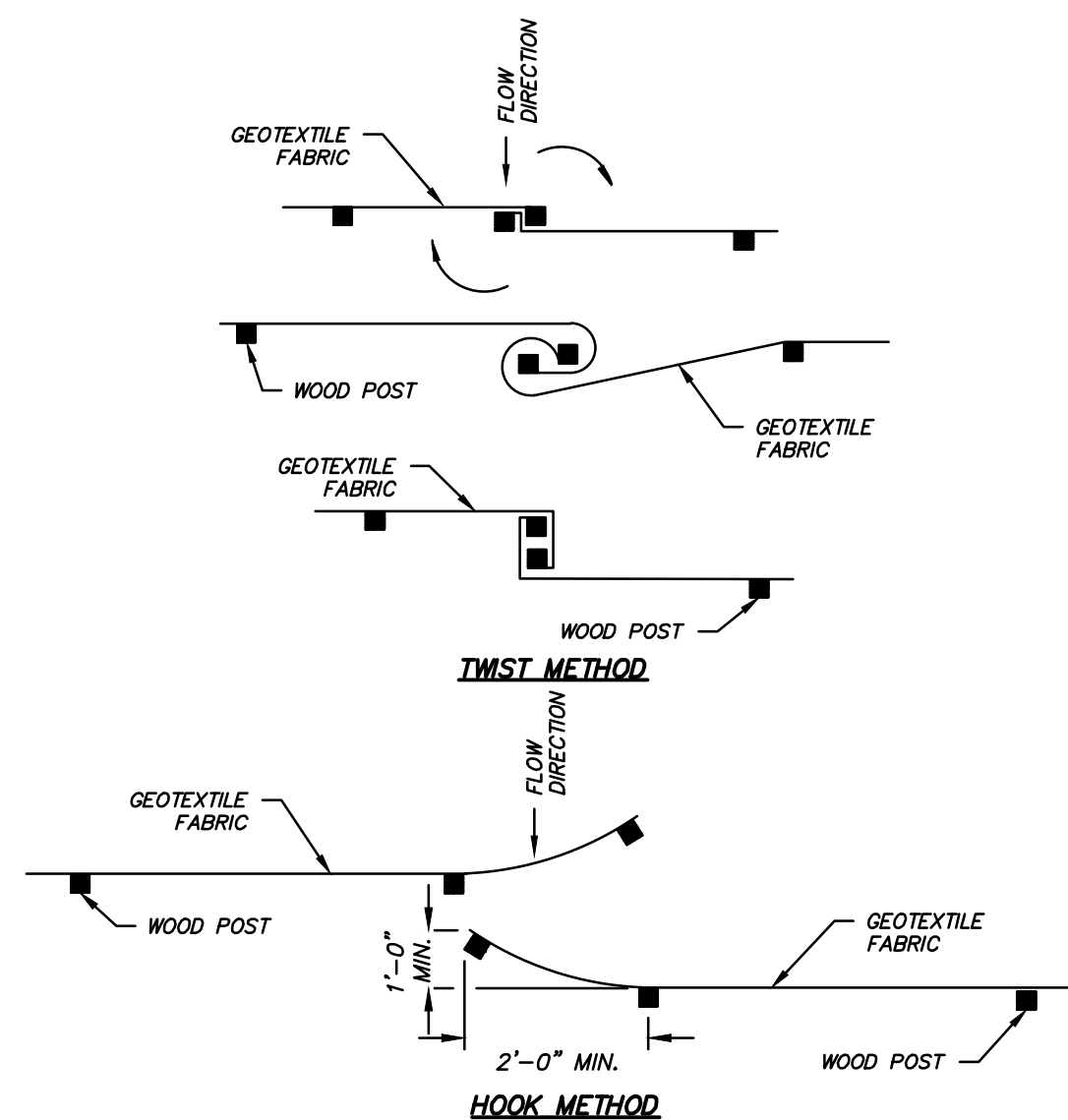
1. SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO MDNR CONSERVATION STANDARD 1056
2. SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

4. INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
5. A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
6. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6 INCH DEEP TRENCH OR BY THE USE OF THE TRENCH SHALL BE BACKFILL AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
7. CONSTRUCT SILT FENCE ON A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - A) TWIST METHOD—OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - B) HOOK METHOD—HOOK THE END OF EACH SILT FENCE LENGTH.
8. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
9. DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
10. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
11. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



- NOTES:**
1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

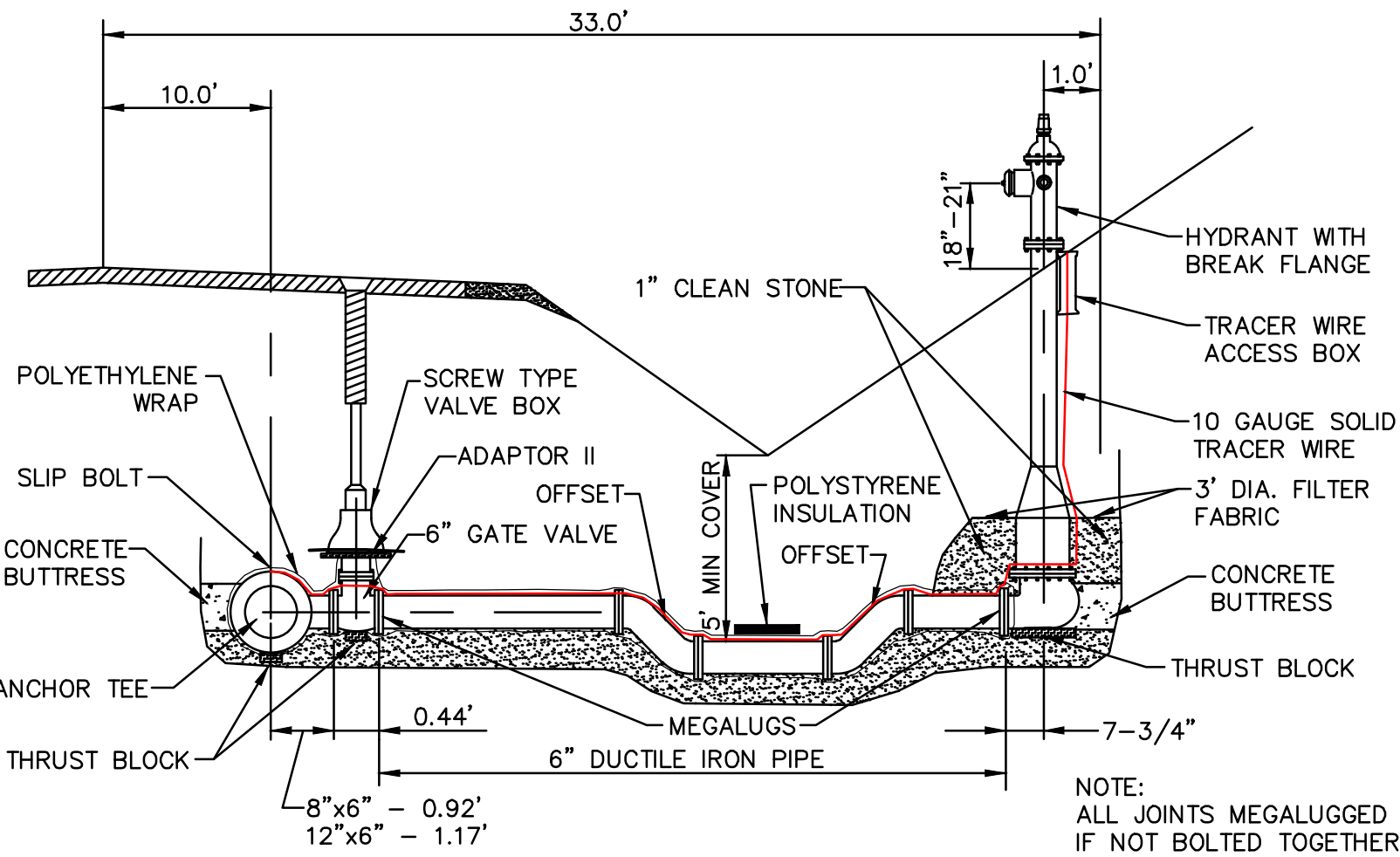


JOINING TWO LENGTHS OF SILT FENCE

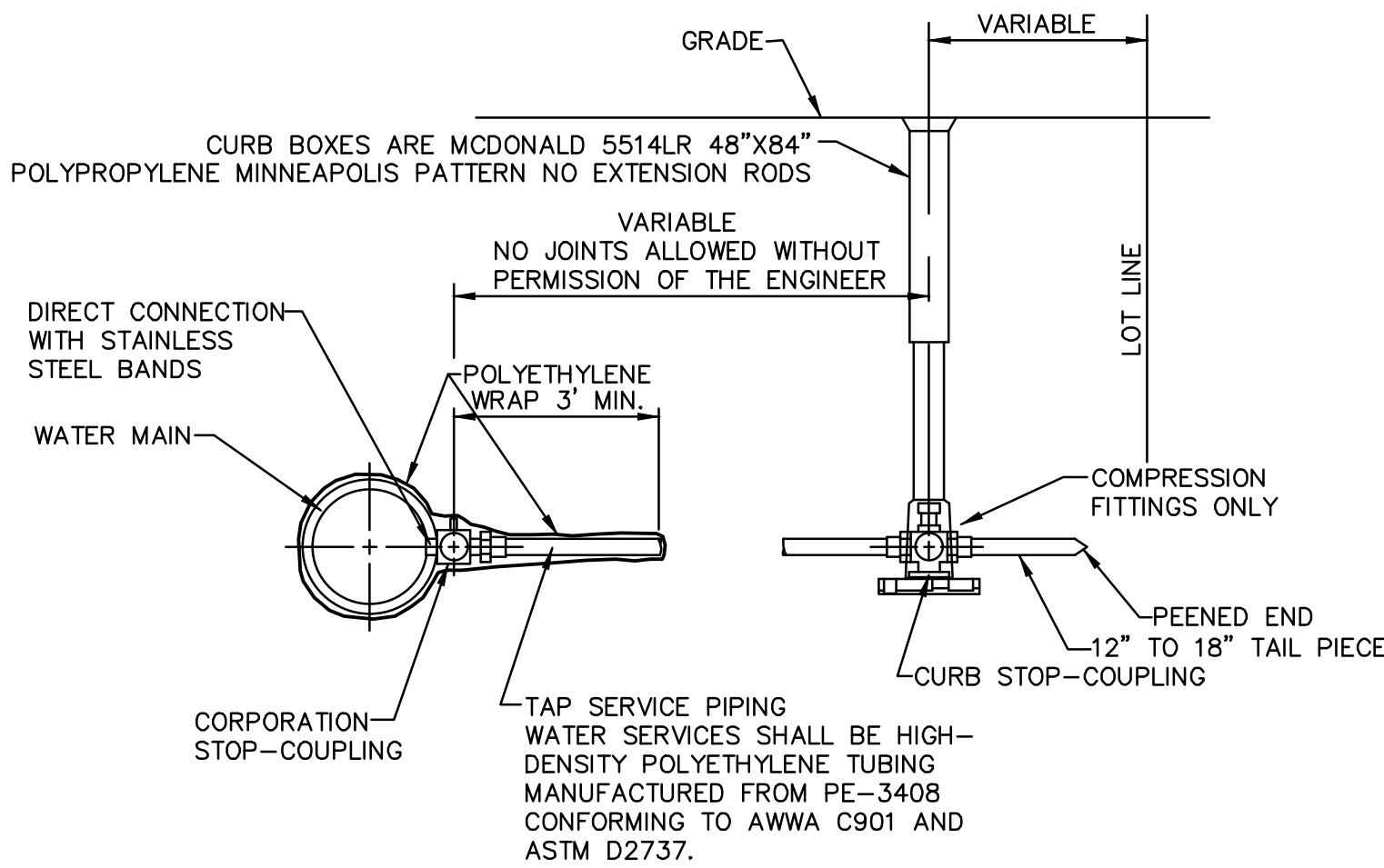


R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

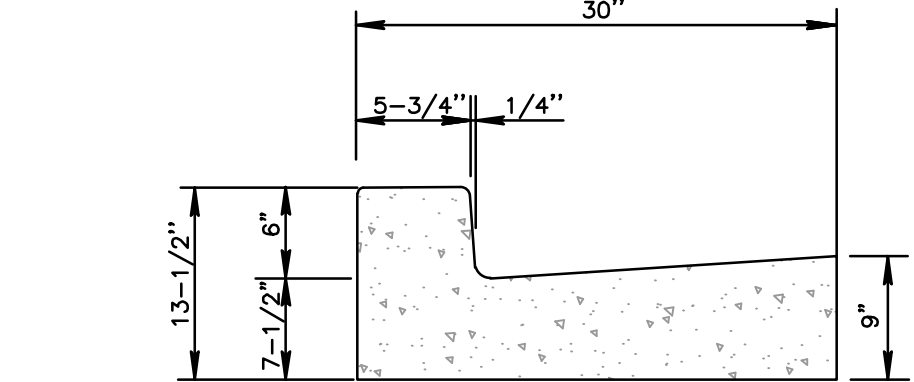
[illegible]



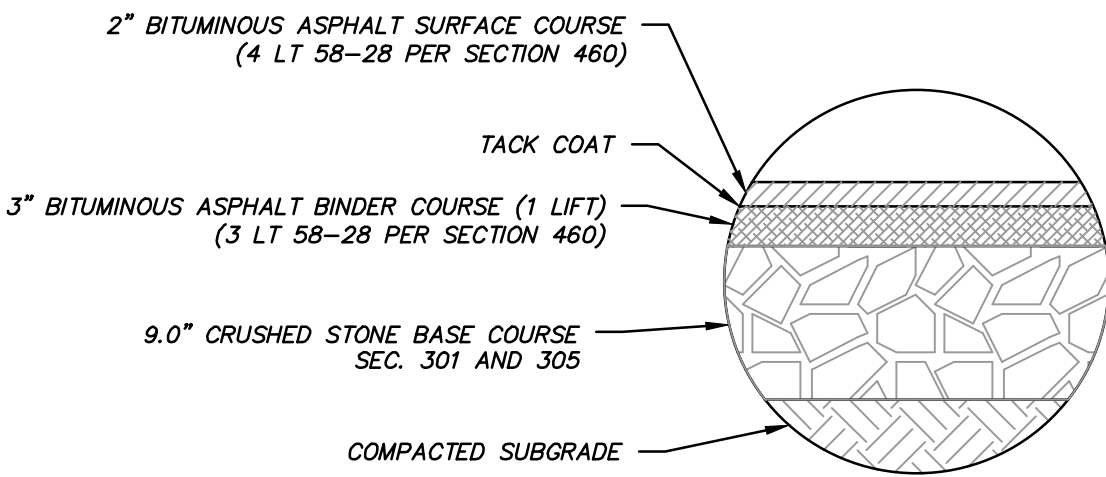
TYPICAL HYDRANT SETTING
N.T.S.



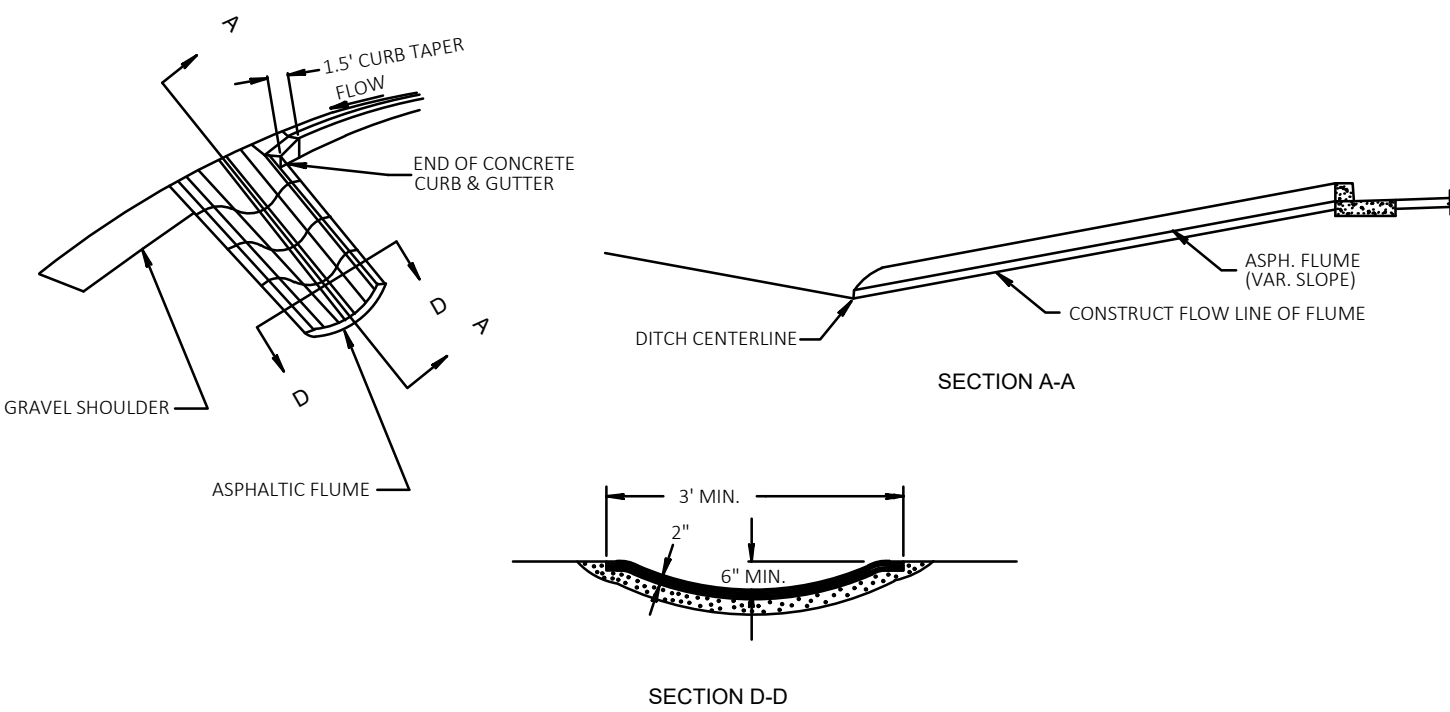
TAP SERVICE PIPING
N.T.S.



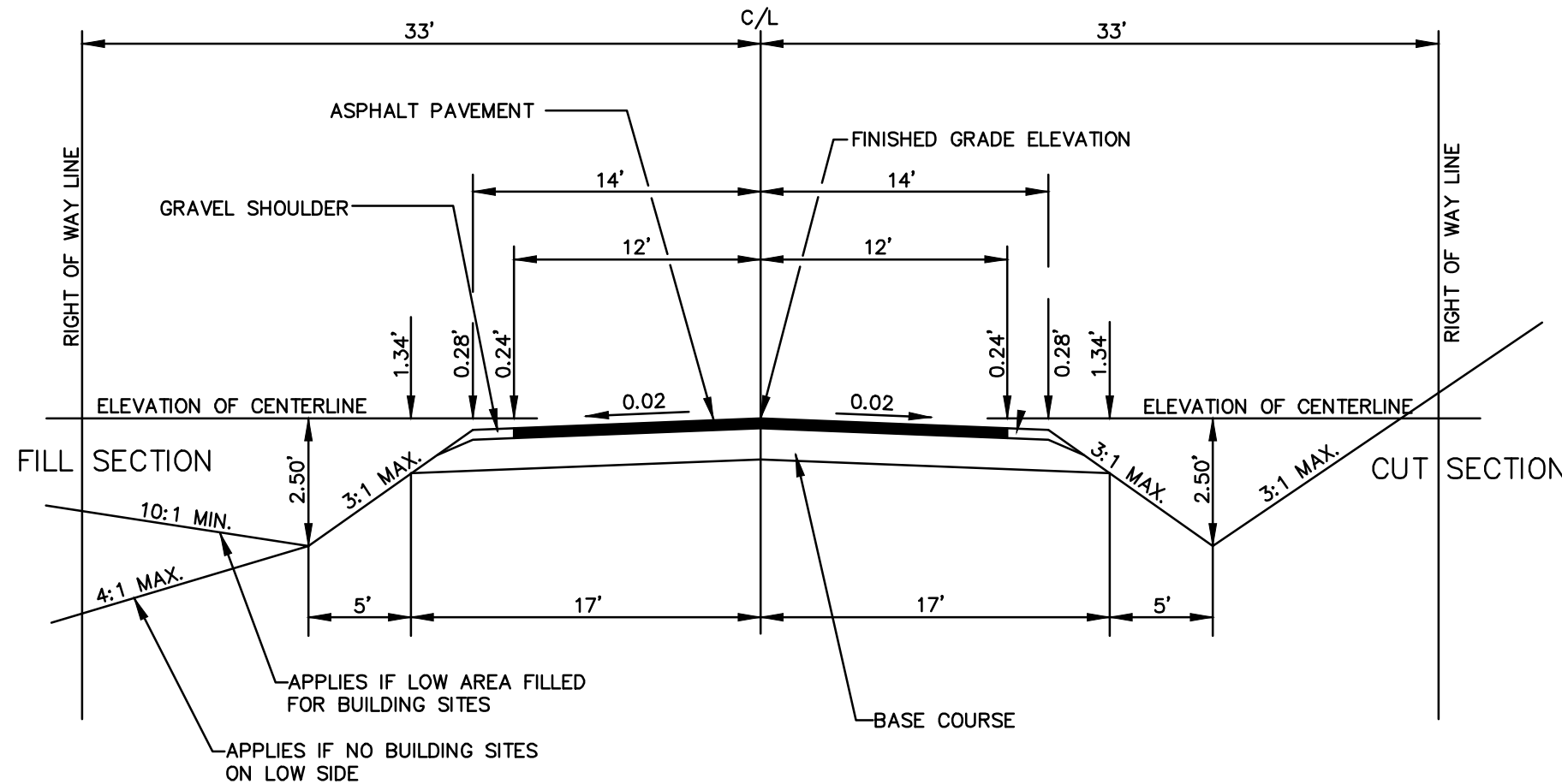
CONCRETE CURB & GUTTER - VERTICAL FACE
N.T.S.



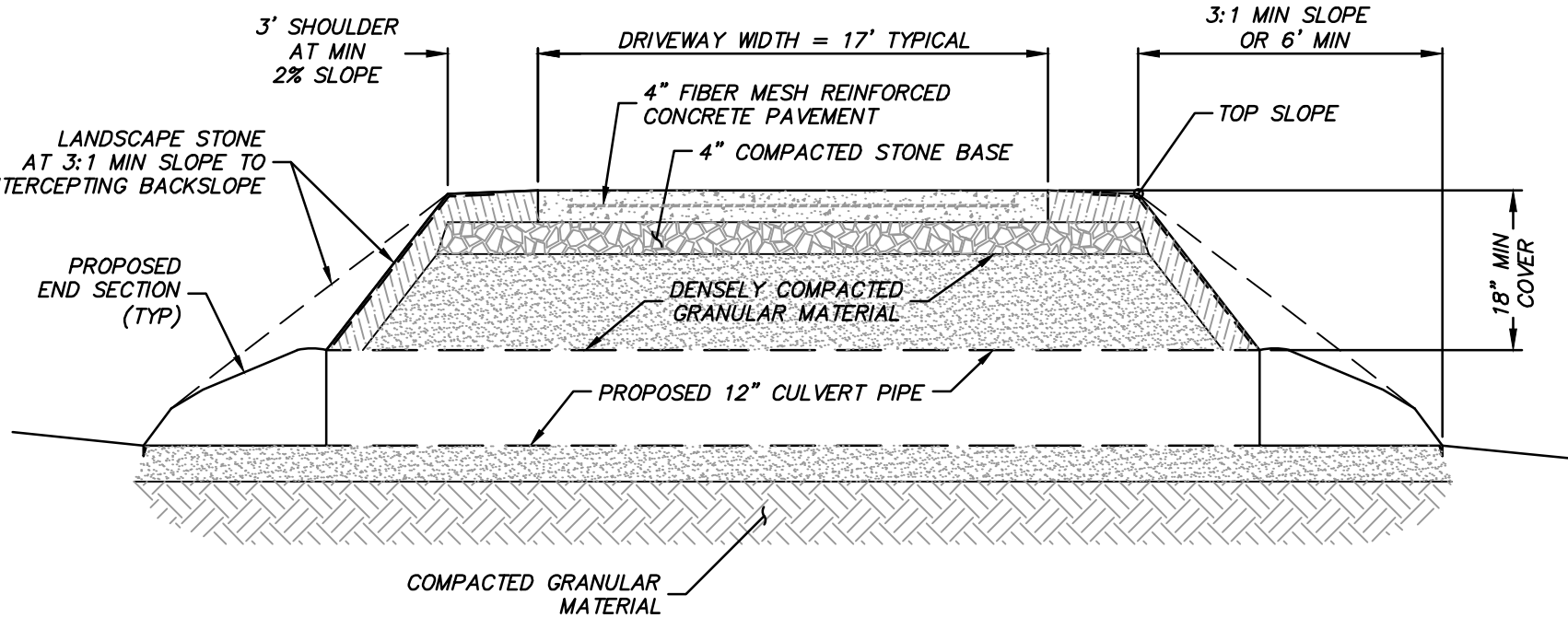
ASPHALT PAVEMENT SECTION



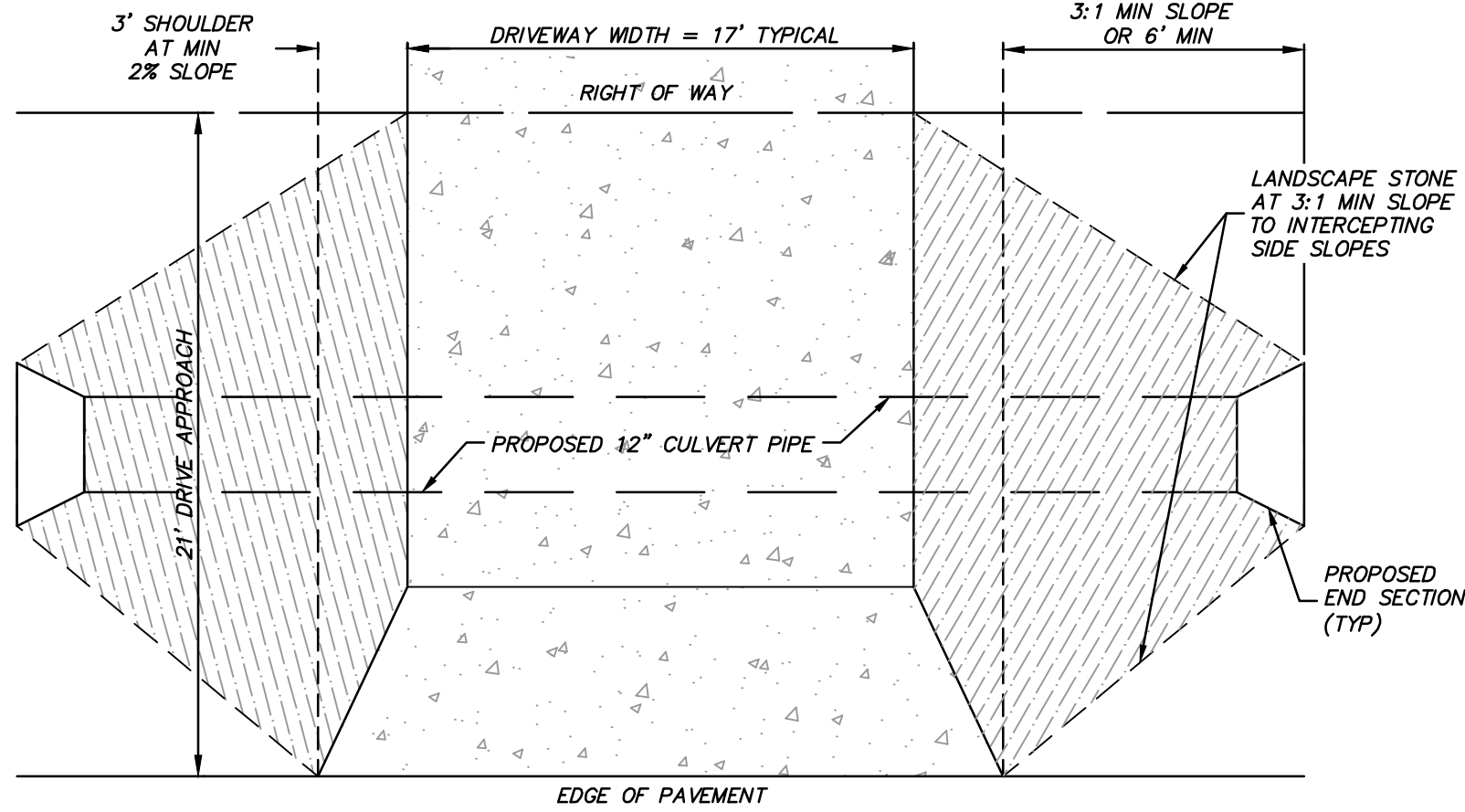
ASPHALTIC FLUME DETAIL
N.T.S. AT RURAL INTERSECTIONS



PROPOSED RURAL STREET SECTION
N.T.S.



RURAL DRIVEWAY CULVERT DETAIL
(NOT TO SCALE)



PLAN VIEW

- * **NOTES:**
- BUILDER IS RESPONSIBLE FOR VERIFYING EXISTING PAVEMENT C/L & DITCH BOTTOM.
 - ELEVATIONS PRIOR TO CONSTRUCTION AND FOR SETTING CULVERT APPROPRIATELY.



R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

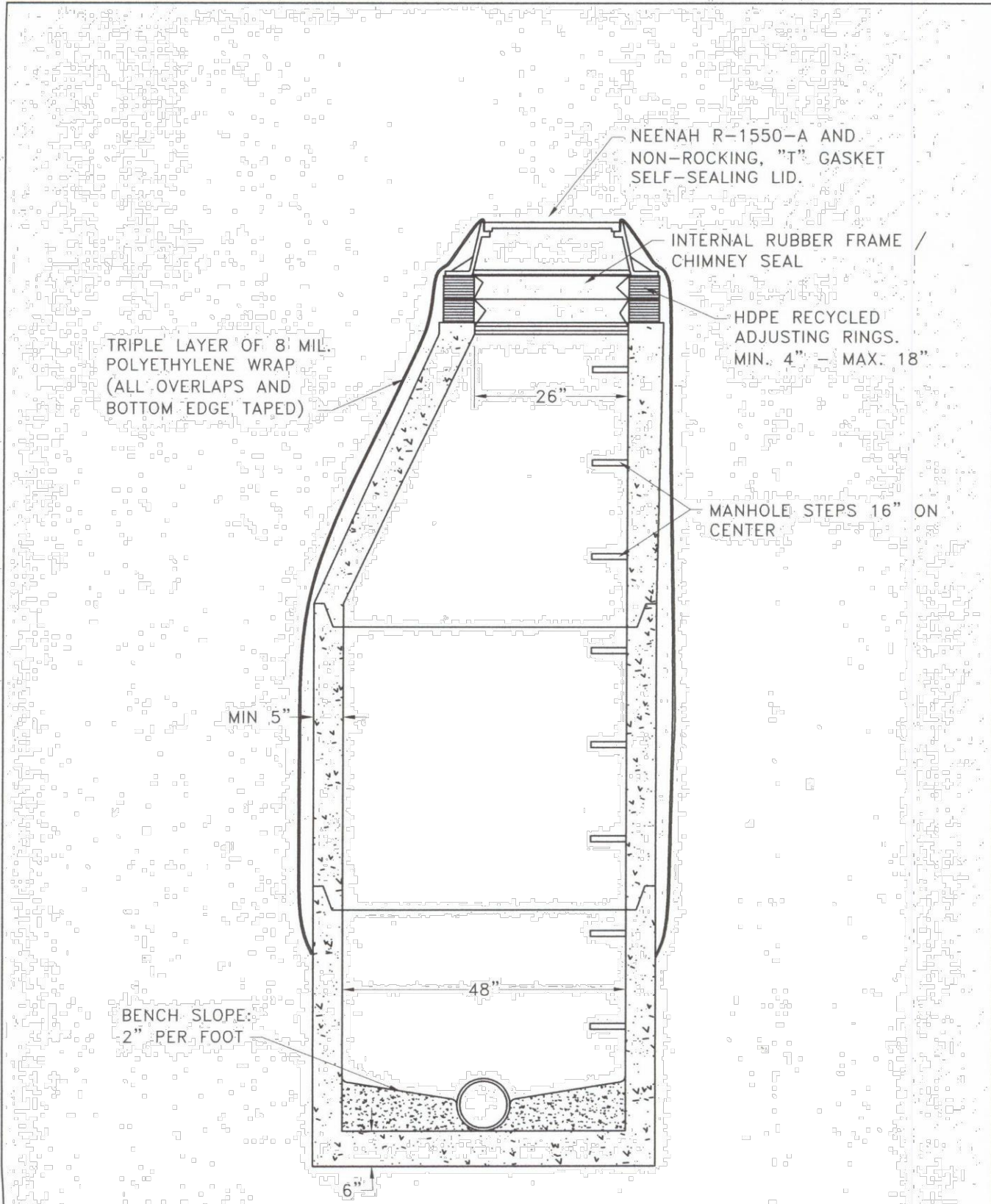
- WATER MAIN NOTES:**
- ALL WATER MAIN SHALL BE 8" DIAMETER PVC SDR-18, CLASS 150, CONFORMING TO AWWA C-900, WITH "PUSH-ON" TYPE RUBBER GASKET JOINTS.
 - ALL WATER LATERALS SHALL BE 1-1/4" DIAMETER HIGH-DENSITY POLYETHYLENE.
 - ALL HYDRANTS SHALL BE TRAFFIC MODELS WITH BREAK-AWAY FLANGE, PAINTED RED AND OPEN LEFT. A 6" RESILIENT WEDGE GATE VALVE SHALL BE PROVIDED ON EACH HYDRANT LEAD AND CONNECTED TO THE MAIN BY AN ANCHORING TEE AND "MEGALUG" GLAND TO THE LEAD FROM BOTH THE GATE VALVE AND HYDRANT.
 - ALL GATE VALVES SHALL CONFORM TO AWWA-C509, RESILIENT SEATED GATE VALVES.
 - A LOCATION WIRE SHALL BE 10 GAUGE, TYPE UF, SOLID CORE WIRE, AND SHALL BE TAPED EVERY 4 FT TO THE WATER MAIN. A LOOP OF LOCATION WIRE SHALL BE RUN TO THE SURFACE AT ALL HYDRANTS, WITH A "VALCO" TRACER WIRE TERMINAL BOX.
 - ALL EXISTING HYDRANTS THAT ARE BEING REMOVED FOR THE CONNECTION TO EXISTING WATER MAIN SHALL BE INSPECTED AND VERIFIED FOR REUSE IN THE PROJECT.

- SANITARY SEWER NOTES:**
- ALL SANITARY MANHOLES SHALL BE 48" IN DIAMETER WITH A LOCKING, NON-ROCKING, SOLID GASKET SELF-SEALING LID, AND 2 CONCEALED PICK HOLES, NEENAH R-1550-A.
 - ALL SANITARY SEWER MAINS SHALL BE 8" DIAMETER PVC.
 - ALL SANITARY LATERALS AND RISERS SHALL BE 6" DIAMETER PVC AND LATERAL SLOPE @ 0.0208 FT/FT.
 - ALL SANITARY SEWER PIPES TO MANHOLE CONNECTIONS FOR PVC SHALL BE WITH AN APPROVED FLEXIBLE, WATERTIGHT PIPE TO MANHOLE SEAL "A-LOCK" AND "CORE SEAL" OR APPROVED EQUAL SHALL BE USED.

- STORM SEWER NOTES:**
- STORM SEWER PIPES SHALL BE AT A MINIMUM CLASS III (CLASS IV IN PAVEMENTS AREAS) ASTM C-76 REINFORCED CONCRETE PIPE. STORM SEWER PIPE SHALL HAVE RUBBER GASKETS AT ALL JOINTS.

- BACKFILL NOTE:**
- ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR BACKFILL, AS SPECIFIED IN CHAPTER 8.43.4 OF STANDARD SPECIFICATIONS. WHERE SPOIL BACKFILL IS ALLOWED, MATERIAL USED SHALL BE SELECT EXCAVATED MATERIALS SUBJECT TO THE REQUIREMENTS OF CHAPTER 8.43.5 OF STANDARD SPECIFICATIONS.

- NOTE:**
- ALL WORK PERFORMED AND MATERIAL SUPPLIED SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION, DATED DECEMBER 22, 2003, WITH LATEST ADDENDA, THE WISCONSIN STATE ADMINISTRATIVE CODE, AND VILLAGE OF JACKSON ENGINEERING DEPARTMENT.



STANDARD DETAIL B-3
SANITARY SEWER MANHOLE
REVISED: 1-16-07
SCALE: 1/2" = 1'
Page 24

DESCRIPTION	03/31/2022 DRIVEWAY CULVERT DETAIL REVISION
DATE	05/25/2022 DRIVEWAY CULVERT DETAIL REVISION
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
MORNING MEADOWS SUBDIVISION-PHASE 3 VILLAGE OF JACKSON, WISCONSIN	SITE DETAILS
© COPYRIGHT 2023 R.A. Smith, Inc.	
DATE: 07/14/2023	
SCALE: NONE	
JOB NO. 3050195.02	
PROJECT MANAGER: DAN MAZURKIEWICZ, P.E.	
DESIGNED BY: DJM	
CHECKED BY: CDH	
SHEET NUMBER	
C401	



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

DETENTION POND DETAILS

© COPYRIGHT 2023 R.A. Smith, Inc.
DATE: 07/14/2023
SCALE: #####
JOB NO. 3050195.02
PROJECT MANAGER: DAN MAZURKIEWICZ, P.E.
DESIGNED BY: DJM
CHECKED BY: CDH
SHEET NUMBER
C402



Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: September 19, 2024
Agenda Item: # 4
To: Plan Commission
From: Collin Johnson, Director of Inspections/Zoning
Subject: Final Plat - Oaks of Jackson Subdivision, Addition No. 1 - Hillcrest Jackson, LLC

Background and Analysis:

The Preliminary Plat for Oaks of Jackson Subdivision, Addition No. 1 was reviewed by the Village Plan Commission on August 15, 2024. The Plan Commission recommend approval of the Preliminary Plat to the Village Board for consideration at the August 27, 2024, meeting. The Village Board approved the Preliminary Plat as recommended by the Plan Commission.

Staff has reviewed the proposed Final Plat and found it to be consistent with the Preliminary Plat approved previously.

Comprehensive Plan & Zoning Impacts:

The Final Plat is consistent with the prescribed uses outlined in the Village Comprehensive Plan and the Planned Unit Development zoning designation.

Site Plan:

See Final Plat

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision.

Signage:

Not Applicable

Additional Staff Comments:

None

Notice Requirements:

- Posting on the agenda



Taking the lead in Washington County.

Potential Action:

Motion to recommend the Village Board approve the Final Plat for Oaks of Jackson Subdivision, Addition No. 1, residential subdivision.

Attachments:

1. PC Application
2. Application Receipt
3. Final Plat - Oaks of Jackson Addtn. No 1
4. Civil Planset 08-05-2024

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

- ☐ COMMERCIAL ☐ INDUSTRIAL ☒ RESIDENTIAL ☐ OTHER _____
- ☐ CONDITIONAL USE ☒ PLANNED UNIT DEVELOPMENT ☐ CERTIFIED SURVEY MAP
- ☐ New ☒ New ☐ CONCEPT PLAN
- ☐ Amendment ☐ Amendment ☐ COMP. PLAN AMENDMENT
- ☐ Special Use ☐ Special Use ☒ OTHER _____
- (For existing Cond. Use ONLY) (For existing PUD ONLY)

Property Address: Oaks of Jackson, Outlot 8 Unit: _____ Jackson, WI

Parcel #: _____ Lot Size: _____ sq. ft. Building Area: _____ sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☐ PUD ☐ Other _____ Floodplain: Y / N

APPLICANT INFORMATION

Name(s): OYVIND SOLVANG HILLCREST JACKSON, LLC

Mailing Address: PO Box 28, Glenbeulah State WI Zip 53023

Office: (920) 526 3028 Cell: (414) 899 7682 Fax: (____)

Email: Solvang@hillcrestbuilders.com

BUSINESS INFORMATION (If New Business)

Legal Business Name: HILLCREST JACKSON LLC

D/B/A: HILLCREST BUILDERS (LLC) FEIN #: _____

Mailing Address: PO BOX 28, GLENBEULAH State WI Zip 53023

Office: (920) 526 3028 Cell: (____) Fax: (____)

Email: Solvang@hillcrestbuilders.com

Website: hillcrestbuilders.com

PROPERTY OWNER INFORMATION

Name(s): Village of Jackson

Address: _____ State _____ Zip _____

Office: (____) Cell: (____) Fax: (____)

Email: _____

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: SEH

Primary Contact: MICHAEL COURT

Address: _____ State _____ Zip _____

Office: (____) Cell: (414) 322 9400 Fax: (____)

Email: mcourt@sehinc.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: 1

Approval of final plat

Provide a brief overview of proposed use(s) of entire property and/or lease space:

ST & MULTI-FAM FEE SIMPLE

Hours of Operation: _____

Provide a brief overview of proposed daily on-site operations:

CONSTRUCTION

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: N/A

Describe all businesses, properties and other entities located adjacent to the proposed use:

Village of Jackson Village Hall / Cops of Jackson

Describe any proposed development, on-site improvements, or other construction/remodeling activities:

New site

Describe any proposed grading, and/or stormwater management plan:

TBD

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.:

TBD

Describe any proposed on-site security measures including site lighting:

TBD

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems):

TBD

Describe the projected traffic circulation and impacts: N/A

List all setbacks from rights-of-way and property lines and height limitations: Per Plat

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: State for sewer/water

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

☒ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: N/A

If construction is proposed, describe proposed exterior building materials (type, color, etc.): TBD

Describe any site-specific features/constraints, etc.: N/A

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: N/A

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): N/A

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: TBD

Projected Sewer/Wastewater Usage: _____ gal/year

Projected Water Usage: _____ gal/year

ACKNOWLEDGEMENT & SIGNATURES

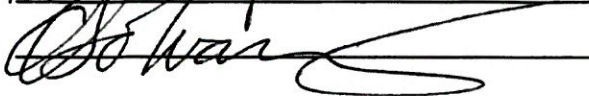
I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

You MUST sign and date this Application!

Applicant Name (Print):

Hillcrest Jackson LLC

Applicant Signature:



Co-Applicant Name (Print):

CO-Applicant Signature:

Date of Application:

8/30/24

SUBMIT TO:

Village of Jackson – Building Inspection Dept.
W194 N16660 Eagle Drive
Jackson, WI 53037

PAYMENT INFO:

Payment is required at the time of submittal.
Cash, Checks, or Credit Cards are accepted (fees apply)
(Make checks payable to Village of Jackson)

QUESTIONS?

Zoning Director:

For questions concerning application submittal, zoning, or technical questions.

Phone:

(262) 677-9696 x810

Email:

collin.johnson@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

----- THIS PAGE FOR VILLAGE USE ONLY -----

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: _____

Amount: \$ _____

Payment Type: CH / CC / CASH

Check/Rcpt. #: _____

Received By: _____

9/12/2024 8:38 AM

Single Receipt Detail Report
Accounting Receipt
CREDIT CARD ACCOUNT

Page: 1
ACCT

RECEIVABLES

Receipt No.: CC0904
Receipt Date: 9/04/2024
Post Date: 9/04/2024

SIGN PERMIT - JILL GALL

<u>Account #</u>	<u>Account Name</u>	<u>Amount</u>
100-00-43510-000-000	BLDG INSP - PERMITS	\$0.00
	SIGN PERMIT - JILL GALL	
100-00-45730-000-000	PLANNING / ZONING FEES	\$125.00
	OAKS OF JACKSON OUTLOT 8 PLAN COMM APP	
		=====
	Total Receipt Amount	\$125.00

THE OAKS OF JACKSON
ADDITION NO. 1

ALL OF OUTLOT 8 OF THE OAKS OF JACKSON BEING PART OF
THE NE 1/4 OF THE NW 1/4 OF SECTION 20, T.10N., R.20E.,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

LEGEND

- 3/4" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL LOT & OUTLOT CORNERS
- CONCRETE MONUMENT W/ BRASS CAP FOUND
- 1-1/4" REBAR FOUND (UNLESS OTHERWISE STATED)

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE
COORDINATE SYSTEM, NAD 83/2011 SOUTH ZONE -THE NORTH
LINE OF THE NW 1/4 OF SECTION 20-10-10 BEARS S89°40'10"E,
VERTICAL DATUM NAVD 88

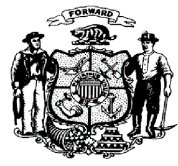
DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND
MEASURED TO THE NEAREST 0.01'

ANGLES ARE COMPUTED TO THE NEAREST 00°00'00.5" AND
MEASURED TO THE NEAREST 00°00'05"

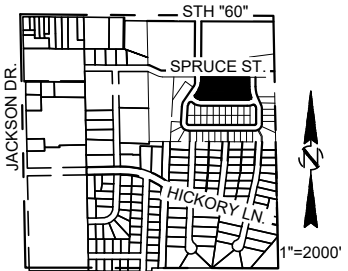
There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

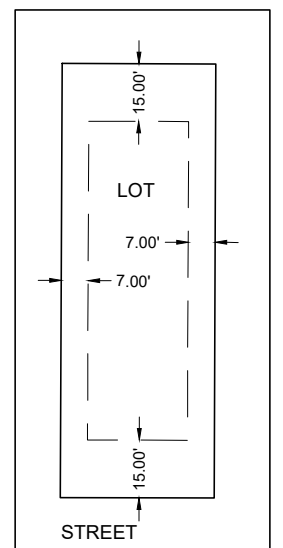
Department of Administration



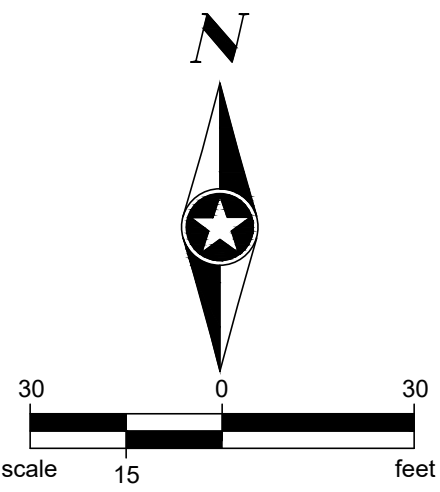
LOCATION MAP



BUILDING
SETBACK (TYP.)

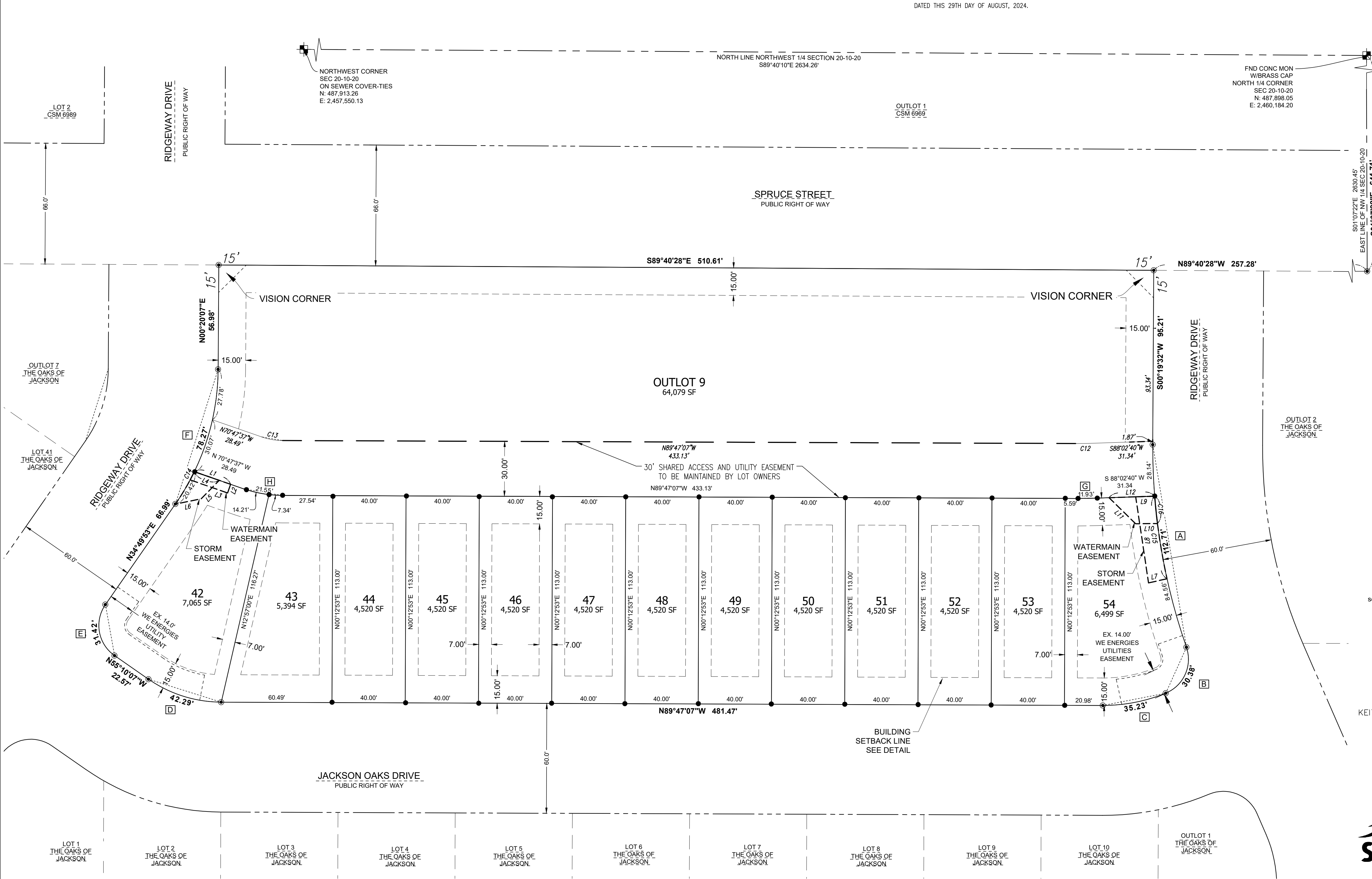


LOTS 42 AND 54 VARY



SURVEY FOR:
HILLCREST BUILDERS
ATTN: OYVIND SOLVANG
124 S. SWIFT ST.
GLENBEULAH, WI 53023

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

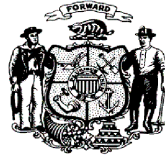


THE OAKS OF JACKSON ADDITION NO. 1

ALL OF OUTLOT 8 OF THE OAKS OF JACKSON BEING PART OF
THE NE 1/4 OF THE NW 1/4 OF SECTION 20, T.10N., R.20E.,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____



Department of Administration

NOTES:

- TOTAL AREA = 128,236 S.F. 2.94 AC.
- OUTLOT 9 SHALL BE RETAINED BY THE DEVELOPER FOR FUTURE USE.
- WATERMAIN EASEMENTS GRANTED TO THE VILLAGE OF JACKSON.
- STORM EASEMTNS GRANTED TO THE LOT OWNERS
- SITE IS IN ZONE X, AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBERS 55131C0258E, EFFECTIVE DATE 2/25/2022 AND 55131C0259E, EFFECTIVE DATE 12/25/2022.
- THIS LAND DIVISION IS TO BE SERVED BY PUBLIC SANITARY SEWER AND WATER.
- THE PLACEMENT OF DECKS, PATIOS, FENCES, OR ANY TYPE OF DECORATIVE LANDSCAPING, DRIVEWAYS OR ADDITIONAL HARD SURFACES WITHIN ANY PART OF A UTILITY EASEMENT IS PROHIBITED. AN EASEMENT INFRINGEMENT AGREEMENT MAY BE ENTERED INTO WITH THE VILLAGE, IF APPROVED.
- ALL SIDE YARD GRADES MUST BE ADHERED TO, COINCIDENT WITH THE APPROVED MASTER GRADING PLAN FOR THE SUBDIVISION TO ENSURE PROPER STORMWATER DRAINAGE.
- FENCES CANNOT BE CONSTRUCTED IN EASEMENTS WHERE PUBLIC WATERMAIN, SANITARY SEWER, AND STORM SEWER EXIST NOR IN ACCESS ROUTES TO STORMWATER MANAGEMENT FACILITIES (OUTLOTS).
- ALL HOMES SHALL HAVE DRIVEWAYS PITCHED BACK TO STREET.
- NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED OVER ANY VISION CORNER EASEMENT (V.C.E.) FROM ADJACENT LOTS. IT BEING EXPRESSLY INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC ACCORDING TO S.236.293 OF THE WISCONSIN STATUTES AND SHALL BE ENFORCED BY THE VILLAGE OF JACKSON.

12. ALL ELECTRIC, TELEPHONE, AND COMMUNICATION DISTRIBUTION LINES AND LATERALS INCLUDING CATV CABLES, CONSTRUCTED AFTER THE RECORDING OF THIS SUBDIVISION PLAT SHALL BE PLACED UNDERGROUND.

13. THE LOTS OF THIS LAND DIVISION MAY EXPERIENCE NOISE AT LEVELS EXCEEDING THE LEVELS IN S. TRANS 405.04, TABLE I. THESE LEVELS ARE BASED ON FEDERAL STANDARDS. THE DEPARTMENT OF TRANSPORTATION IS NOT RESPONSIBLE FOR ABATING NOISE FROM EXISTING STATE TRUNK HIGHWAYS OR CONNECTING HIGHWAYS, IN THE ABSENCE OF ANY INCREASE BY THE DEPARTMENT TO THE HIGHWAY'S THROUGH-LANE CAPACITY.

14. STORMWATER MANAGEMENT FACILITIES ARE LOCATED WITHIN OUTLOTS 2 AND 7 OF THE PLAT OF THE OAKS OF JACKSON. THE LOT OWNERS WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR 30% OF THE MAINTENANCE COST WITHIN BOTH OUTLOT 2 AND OUTLOT 7. ONE OR MORE STORMWATER MAINTENANCE AGREEMENTS MAY BE RECORDED THAT ADDRESSES SAID MAINTENANCE IN MORE DETAIL.

CURVE TABLE								
	CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TAN BEARING 1	TAN BEARING 2
A	ROW	330.00'	19°34'08"	112.71'	112.16'	S09°27'32"E	S00°19'32"W	S19°14'36"E
	OUTLOT 9	330.00'	4°53'12"	28.14'	28.14'	S02°07'03"E	S00°19'32"W	S04°33'39"E
	LOT 54	330.00'	14°40'57"	84.56'	84.33'	S11°54'08"E	S04°33'39"E	S19°14'36"E
B	LOT 54	20.00'	87°01'39"	30.38'	27.54'	S24°16'14"W	S67°47'04"W	S19°14'36"E
C	LOT 54	90.00'	22°25'49"	35.23'	35.01'	S78°59'58"W	N89°47'07"W	S67°47'04"W
D	LOT 42	70.00'	34°37'00"	42.29'	41.65'	N72°28'37"W	N55°10'07"W	N89°47'07"W
E	LOT 42	20.00'	90°00'00"	31.42'	28.28'	N10°10'07"W	N34°49'53"E	N55°10'07"W
F	ROW	130.00'	34°29'45"	78.27'	77.09'	N17°35'00"E	N34°49'53"E	N00°20'07"E
	LOT 42	130.00'	8°59'57"	20.42'	20.40'	N30°19'54"E	N34°49'53"E	N25°49'56"E
	OUTLOT 9	130.00'	25°29'49"	57.85'	57.37'	N13°05'02"E	N25°49'56"E	N00°20'07"E
G	LOT 54 / OUTLOT 9	315.00'	2°10'13"	11.93'	11.93'	N89°07'46"E	S89°47'07"E	N88°02'40"E
H	OUTLOT 9	65.00'	18°59'30"	21.55'	21.45'	S80°17'22"E	S70°47'37"E	S89°47'07"E
	LOT 43	65.00'	6°28'06"	7.34'	7.33'	S86°33'04"E	S83°19'01"E	S89°47'07"E
	LOT 42	65.00'	12°31'24"	14.21'	14.18'	S77°03'19"E	S70°47'37"E	S83°19'01"E

EASEMENT CURVE TABLE							
CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TAN BEARING 1	TAN BEARING 2
C12	285.00'	2°10'13"	10.80'	10.80'	S89°07'46"W	N89°47'07"W	S88°02'40"W
C13	35.00'	18°59'30"	11.60'	11.55'	N80°17'22"W	N70°47'37"W	N89°47'07"W
C14	130.00'	2°13'27"	5.05'	5.05'	N26°56'39"E	N28°03'22"E	N25°49'56"E
C15	330.00'	7°55'45"	45.67'	45.63'	S08°31'32"E	S12°29'25"E	S04°33'39"E
C16	330.00'	2°36'37"	15.03'	15.03'	S05°51'58"E	S04°33'39"E	S07°10'16"E

EASEMENT LINE TABLE		
LINE	LENGTH	DIRECTION
L1	20.97'	S70°47'37"E
L2	5.00'	S19°12'23"W
L3	21.65'	N70°47'37"W
L4	14.37'	S70°47'37"E
L5	14.08'	S44°16'43"W
L6	14.42'	S78°22'12"W
L7	10.34'	S77°30'35"W
L8	47.53'	N08°28'37"W
L9	10.35'	N88°02'40"E
L10	11.93'	S89°27'42"W
L11	20.30'	N45°32'18"W
L12	24.89'	N88°02'40"E

DATED THIS 29TH DAY OF AUGUST, 2024.



PROJECT HILBU #180080

SURVEY FOR:
HILLCREST BUILDERS
ATTN: OYVIND SOLVANG
124 S. SWIFT ST.
GLENBEULAH, WI 53023

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

THE OAKS OF JACKSON ADDITION NO. 1

ALL OF OUTLOT 8 OF THE OAKS OF JACKSON BEING PART OF
THE NE 1/4 OF THE NW 1/4 OF SECTION 20, T.10N., R.20E.,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, Keith A. Kindred, Professional Land Surveyor hereby certify;

That I have surveyed, divided and mapped all of Outlot 8 of the Oaks of Jackson, being part of the Northeast 1/4 of the Northwest 1/4 of Section 20, T.10N., R.20E., Village of Jackson, Washington County Wisconsin, more particularly described as follows:

All of Outlot 8 of the Oaks of Jackson.

Said lands contain 128,236 square feet, 2.94 acres

That I have made such survey, land division and plat by the direction of the owner(s) of said lands.

That such plat is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Jackson and Washington County in surveying, dividing and mapping the same.

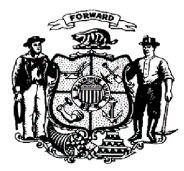
Dated this 29th day of August, 2024

Keith A Kindred, PLS 2082

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



CORPORATE OWNER'S CERTIFICATE OF DEDICATION

The Village of Jackson, a municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

The Village of Jackson, does further certify that this plat is required by S236.10 or S236.12 to be submitted to the following for approval or objection:

- 1) Village of Jackson
- 2) Washington County
- 3) Department of Administration
- 4) Wisconsin Department of Transportation

IN WITNESS WHEREOF, said Village of Jackson, has caused these presents to be signed by Jen Heidtke, its Village Administrator, and countersigned by Anastasia Gonstead, its Clerk at _____, Wisconsin, and its corporate seal to be hereunto affixed on this ____ day of _____, 20__.

Date: _____
Jen Heidtke, Village Administrator

Date: _____
attest: Anastasia Gonstead, Village Clerk

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, the above named Jen Heidtke member of the above named corporation, to me known to be such member of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

_____ County, Wisconsin

My Commission Expires _____

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

Village of Jackson, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee,

WISCONSIN BELL INC d/b/a AT&T WISCONSIN, Grantee, and

SPECTRUM MID-AMERICA, LLC, Grantee, and

MIDWEST FIBER NETWORKS, LLC, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

VILLAGE BOARD APPROVAL CERTIFICATE:

Approved that the Plat of THE OAKS OF JACKSON ADDITION NO. 1, in the Village of Jackson is hereby approved by the Village Board.

All conditions have been met as of the _____ day of _____, 20__.

Date: _____ Signed _____
Brian J. Heckendorf, Village President

Date: _____ Signed _____
Jen Heidtke, Village Administrator

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Plat of THE OAKS OF JACKSON ADDITION NO. 1, in the Village of Jackson, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20__.

Date: _____ Signed _____
Brian J. Heckendorf, Chairperson

Date: _____ Signed _____
Jen Heidtke, Village Administrator

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)

WASHINGTON COUNTY) SS

I, Darlene Smith, being duly elected, qualified and acting Treasurer of the Village of Jackson, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of THE OAKS OF JACKSON ADDITION NO. 1.

Date _____
Treasurer-Darlene Smith

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)

WASHINGTON COUNTY) SS

I, Scott M. Henke, being duly elected, qualified and acting Treasurer of WASHINGTON County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of THE OAKS OF JACKSON ADDITION NO. 1.

Date _____
Washington County Treasurer - Scott M. Henke

	RIGHT OF WAY
	PERMANENT EASEMENT
	PROPERTY LINE
	HORIZONTAL CONTROL POINT
	BENCHMARK
	SURVEY MARKER
	SOIL BORING
	SANITARY SEWER AND MANHOLE
	FORCE MAIN AND LIFT STATION
	SANITARY SEWER SERVICE & CLEANOUT
	WATER MAIN, HYDRANT, VALVE AND MANHOLE
	WATER SERVICE AND CURB STOP BOX
	STORM SEWER, MANHOLE AND CATCH BASIN
	CULVERT AND APRON ENDWALL
	GAS MAIN, VALVE, VENT AND METER
	HANDHOLE
	BURIED FIBER OPTIC CABLE AND MANHOLE
	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
	BURIED TV CABLE, PEDESTAL AND MANHOLE
	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
	OVERHEAD WIRE, POLE AND GUY WIRE
	LIGHT POLE
	TRAFFIC SIGNAL
	STREET NAME SIGN
	SIGN (NON STREET NAME)
	RAILROAD TRACKS
	DECIDUOUS AND CONIFEROUS TREE
	BUSH / SHRUB AND STUMP
	EDGE OF WOODED AREA
	WETLAND
	BUILDING
	FENCE (UNIDENTIFIED)
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	ELECTRIC WIRE FENCE
	WOOD FENCE
	WOVEN WIRE FENCE
	PLATE BEAM GUARDRAIL
	CABLE GUARDRAIL
	POST / BOLLARD
	RETAINING WALL

STREET CENTERLINE
 RIGHT-OF-WAY
 PERMANENT EASEMENT
 TEMPORARY EASEMENT
 CONSTRUCTION LIMITS
 SANITARY SEWER, BULKHEAD AND MANHOLE
 FM
 FORCE MAIN
 SANITARY SERVICE AND CLEANOUT
 WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
 WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
 WATER SERVICE AND CURB STOP BOX
 STORM SEWER, MANHOLE AND CATCH BASIN
 CULVERT AND APRON ENDWALL
 DRAIN TILE
 DITCH / SWALE
 RIPRAP
 STREET NAME SIGN
 SIGN (NON STREET NAME)
 RETAINING WALL

OAKS OF JACKSON ADDITION #1

A map of the Jackson Park and Hickory Lane Park area. The map shows various streets including Highland Rd, Northview Dr, Valley Dr, Ridge Rd, Willow Ridge Dr, Hunters Rd, Chateau Dr, Sturtevant Dr, Ridgeway Dr, Wishire Dr, Georgetown Dr, Park St, Mari St, Spruce St, Hemlock St, Linden Dr, Hawthorn Dr, Eagle Dr, Juniper St, Oak Cir, White Birch Dr, Birch Dr, Elm Dr, Riverview Dr, Butternut Ln, Ash Dr, Glenbrook Dr, Glen Hill Dr, Parkway Dr, South St, Reynolds St, Scott Ct, Meadow Ln, Tower Dr, Industrial Dr, Green Valley Rd, N Center St, S Center St, Birch St, and Hickory Ln. Two parks are highlighted in green: Jackson Park and Hickory Lane Park. A black arrow points to a location on State Road 60, labeled "PROJECT LOCATION". Cedar Creek is shown flowing through the area.



Sheet List Table	
Sheet Number	Sheet Title
T 1.00	TITLE SHEET
D 1.00	EROSION CONTROL DETAILS
D 1.01	DETAILS - 1
C 2.00	MASTER GRADING PLAN
C 2.01	EROSION CONTROL PLAN
C 3.00	ROAD & STORM PLAN & PROFILE
C 4.00	SANITARY & WATER PLAN & PROFILE

A map of Washington County, Wisconsin, divided into townships. An arrow points to the township containing the Village of Jackson. The text "VILLAGE OF JACKSON, WASHINGTON COUNTY" is written to the right of the map.

REV #	DATE	COMMENTS



Know what's below.
Call before you dig.

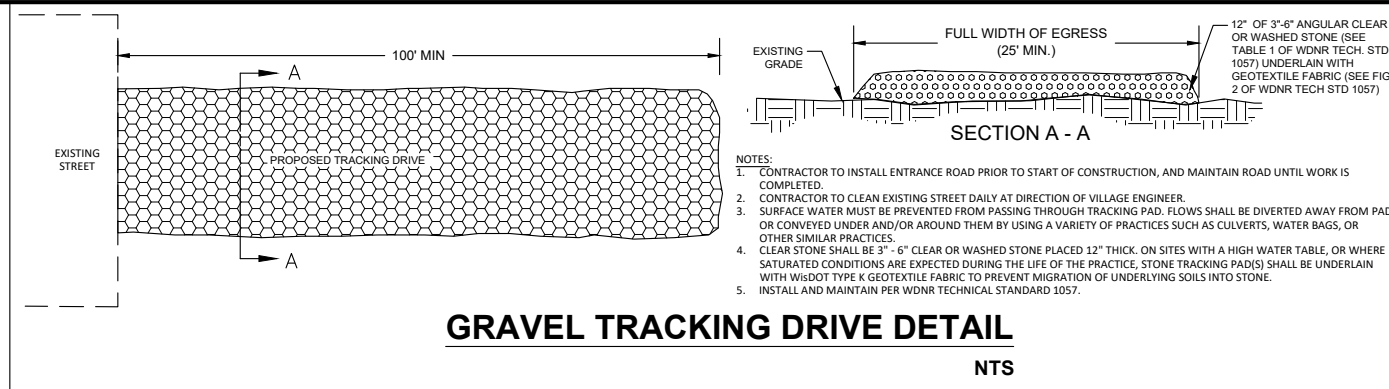


PROJECT NO.	180080
DATE	

1.00
of 7

NOTE:
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.



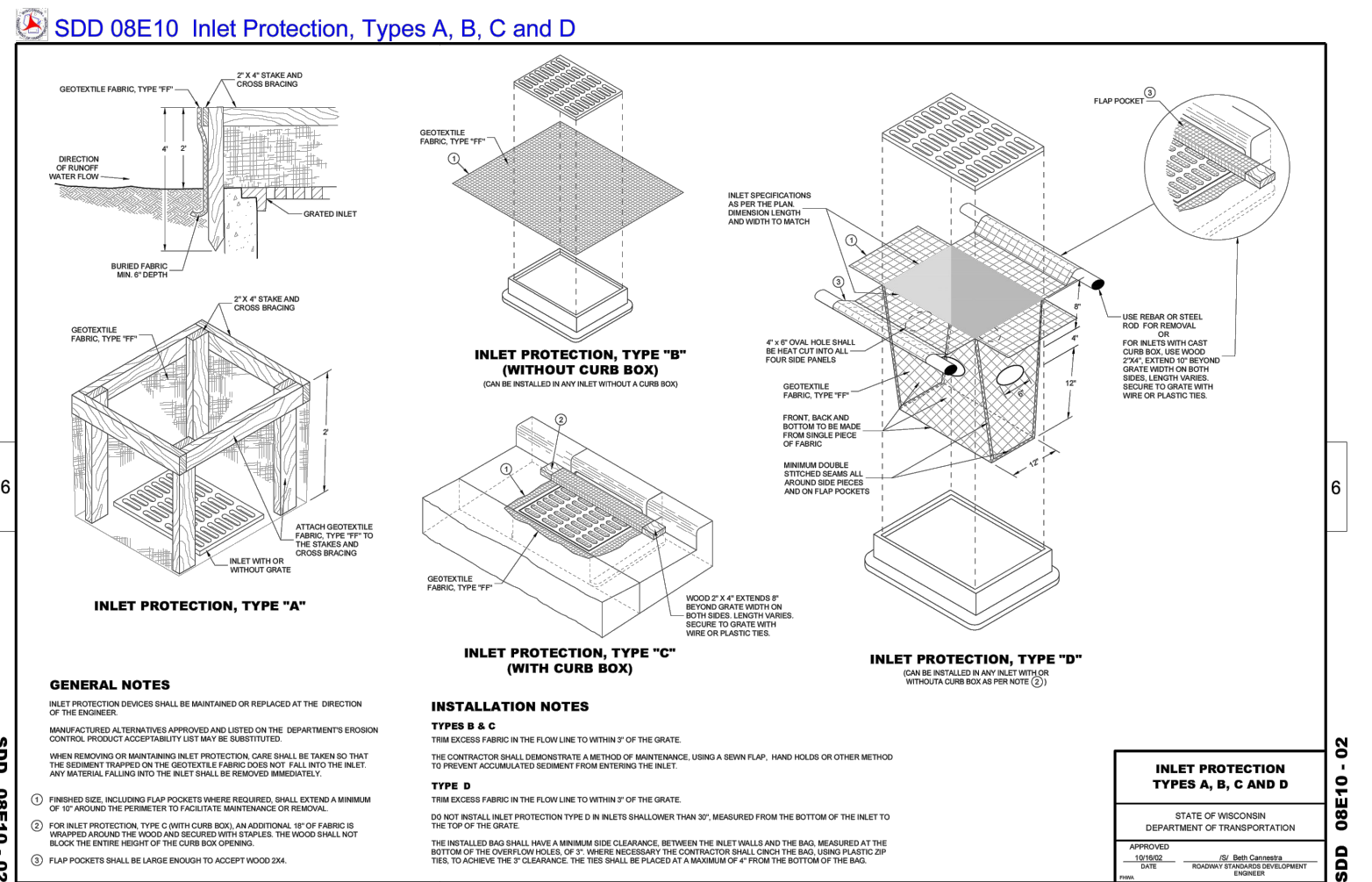
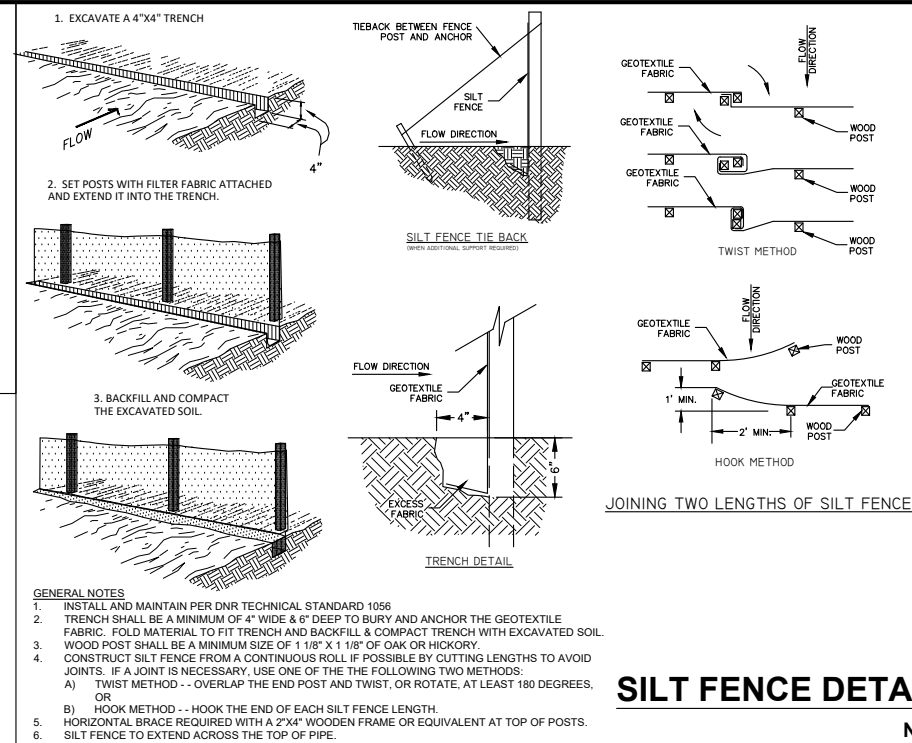
THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", MOST RECENT EDITION, AND "STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.

ALL CONTRACTORS SHALL OBTAIN A COPY OF THE VILLAGE OF JACKSON SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.

GENERAL

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY AND/OR THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK IN THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN THEIR PROPOSAL. THE CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT THEIR WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF THEIR INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE BID PRICES.



SEH Project	180080	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	KB						
Designed By	LMP						
Checked By	MPC						





NOTE:
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL
D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE
GUIDELINES OF C/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
THE CONTRACTOR SHALL CALL THE STATE ONE CALL SYSTEM AT 811
BEFORE COMMENCING EXCAVATION.



Know what's below.
Call before you dig.

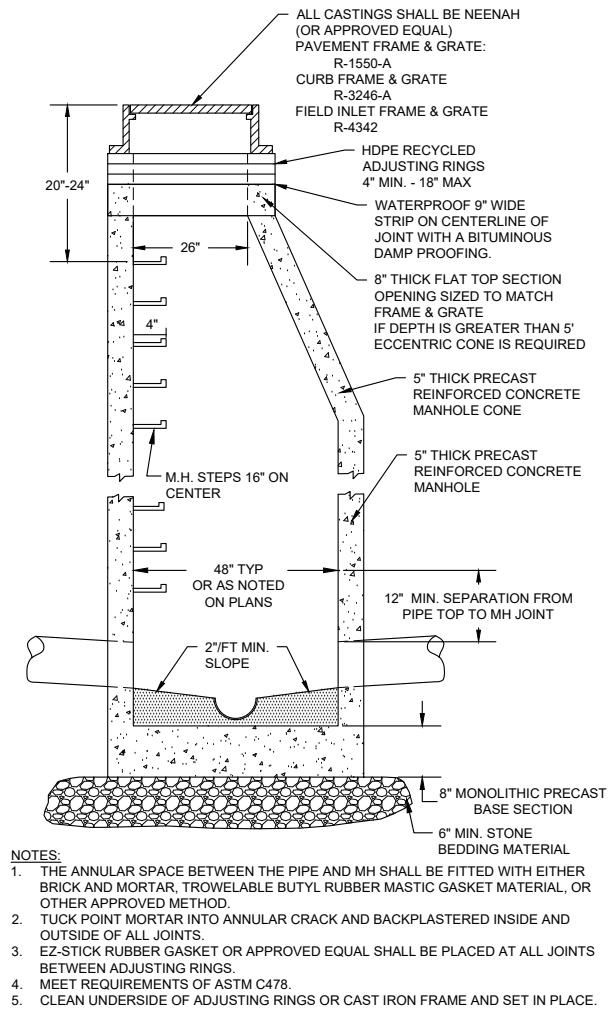
OAKS OF JACKSON ADDITION #1

EROSION CONTROL DETAILS

D 1.00

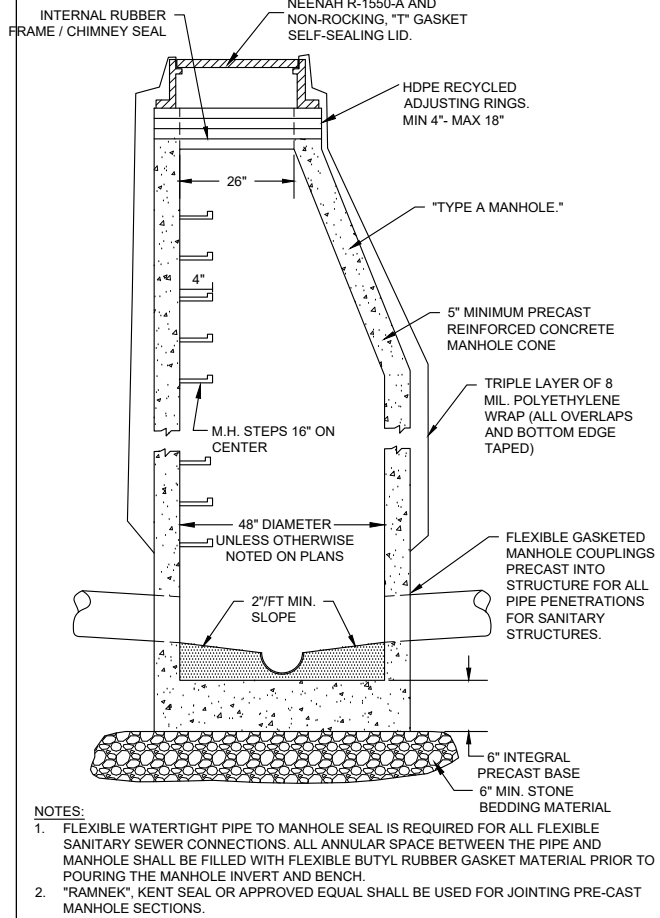
of 7

Save: 8/5/2024 10:05 AM | p0della Plot: 8/5/2024 10:26 AM X:\F\H\HILBU180080\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\H180080_TL_DT.dwg



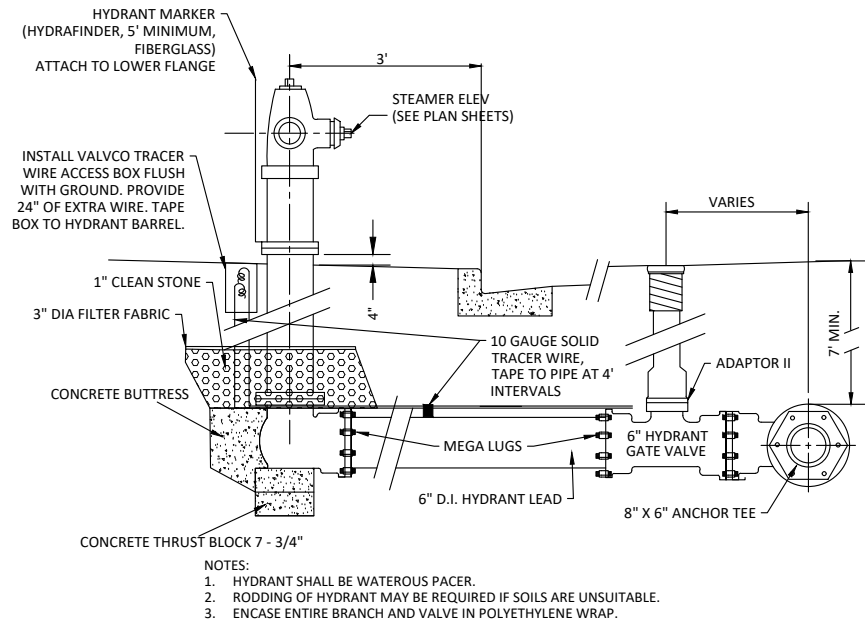
TYPICAL STORM MANHOLE DETAIL

NTS



TYPICAL SANITARY MANHOLE DETAIL

NTS

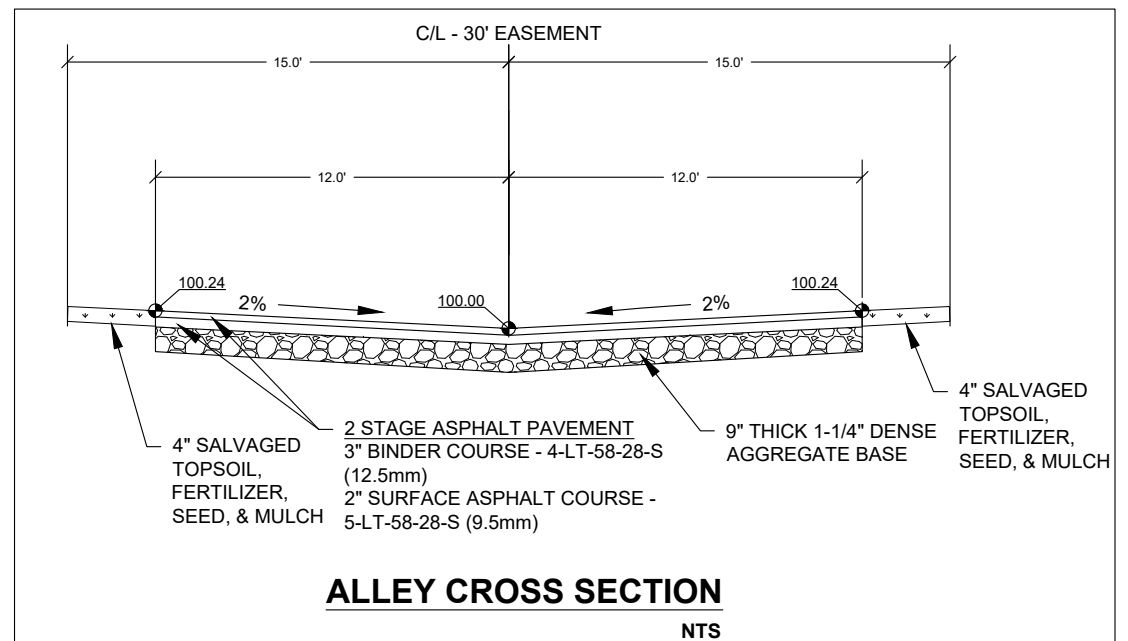
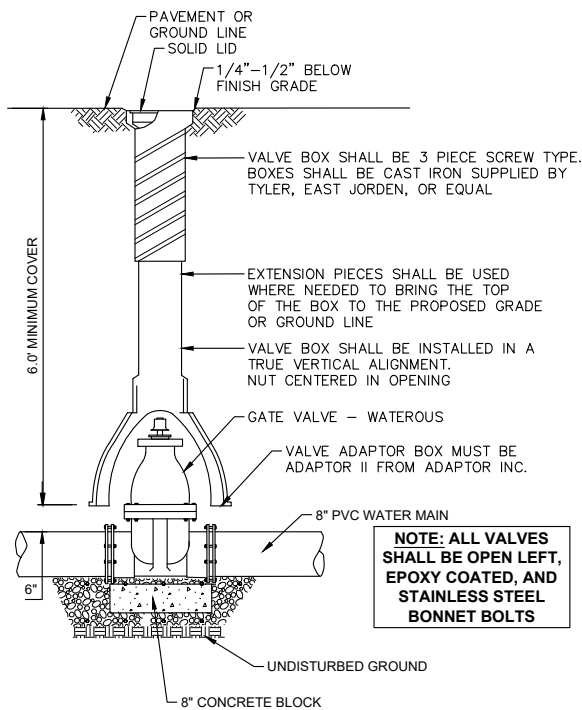
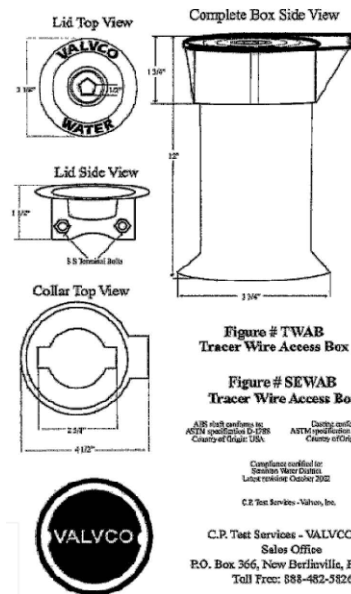


HYDRANT DETAILS

NTS

DATE: 8/5/2024 10:26 AM

Tracer Wire Access Box



SEH Project	HILBU180080	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	KB	.	.	.	.	.	.
Designed By	LP	.	.	.	.	.	.
Checked By	MC	.	.	.	.	.	.



NOTE: THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE STATE ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.



Know what's below. Call before you dig.

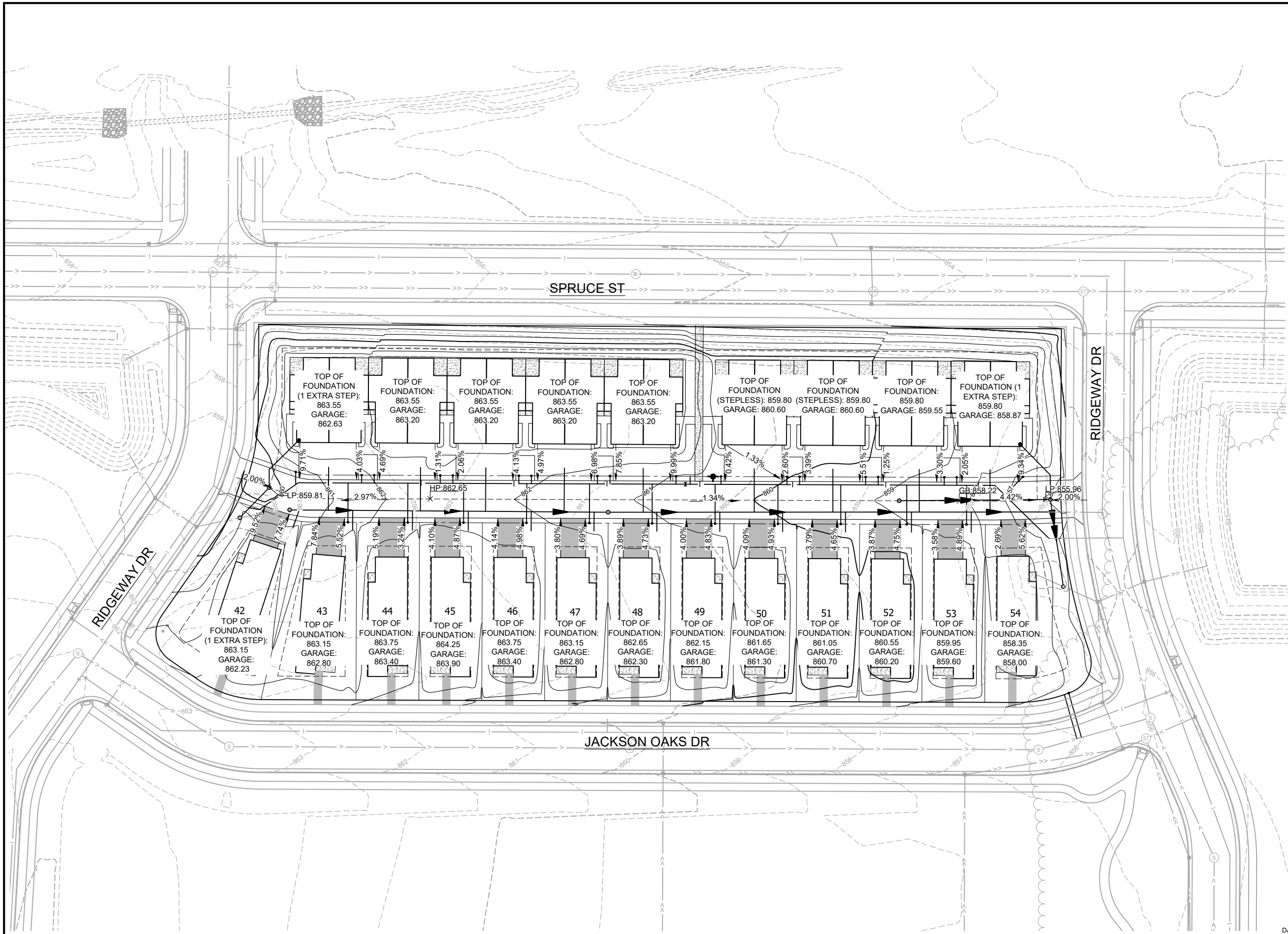
OAKS OF JACKSON ADDITION #1
VILLAGE OF JACKSON, WI

DETAILS - 1

D 1.01

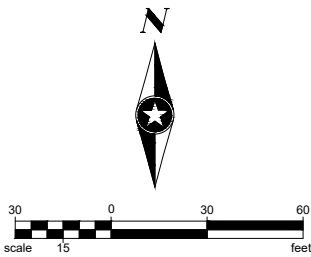
of 7

Save: 8/5/2024 9:59 AM | pdeila Plot: 8/5/2024 10:27 AM | X:\F\J\H\H\BU180080\5-final.dgn | 51-drawings\10-Civil\cad\dwg\sheet\H180080_ER GP.dwg



GRADING NOTES

- "TOP OF FOUNDATION" REPRESENTS THE ELEVATION AT THE TOP OF THE FOUNDATION WALL FOR EACH HOUSE.
- "GARAGE" REPRESENT THE ELEVATION AT THE FRONT OF THE GARAGE SLAB UNDERNEATH THE OVERHEAD DOOR.



DATE: 8/5/2024 10:27 AM

SEH Project	HILBU180080	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date	 NOTE: THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR SHALL CALL THE STATE ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.	 Know what's below. Call before you dig.	OAKS OF JACKSON ADDITION #1 VILLAGE OF JACKSON, WI	MASTER GRADING PLAN	C 2.00 of 7 Page 42 of 58
Drawn By	KB	.	.	.	.							
Designed By	LP	.	.	.	.							
Checked By	MC	.	.	.	.							

EROSION CONTROL NOTES:

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON-SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, AND THE SITE IS STABILIZED.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. PERMIT HOLDER IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 1/2" OR GREATER. CORRECT ANY DAMAGED STRUCTURES IMMEDIATELY. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION. MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
6. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "WDNR STORMWATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS".

7. EROSION CONTROL MEASURES MAY NEED TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE AREA(S) SERVED HAVE 80% OR MORE ESTABLISHED VEGETATIVE COVER AS DETERMINED BY THE ENGINEER.
9. INSTALL PERIMETER EROSION CONTROLS AND TRACKING PAD(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD #1057 FOR CONSTRUCTION ENTRANCE(S).
10. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD #1068.
11. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED OFF-SITE.
12. CONTRACTOR TO COORDINATE WITH MUNICIPALITY TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATION(S) FOR ANY EXCAVATED SOILS AND/OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).

13. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA(S) AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD #1060.
14. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD #1067.
15. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE HALF OF THE CONTROL PRACTICE'S HEIGHT. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY.
16. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNT TECHNICAL STANDARD #1071.
17. ALL SIDE SLOPES 5:1 OR STEEPER SHALL BE RESTORED WITH CLASS I - TYPE 'A' EROSION MATTING, AND ALL AREAS OF CONCENTRATED FLOW SHALL BE RESTORED WITH CLASS II - TYPE 'B' CHANNEL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS #1052 AND #1053.

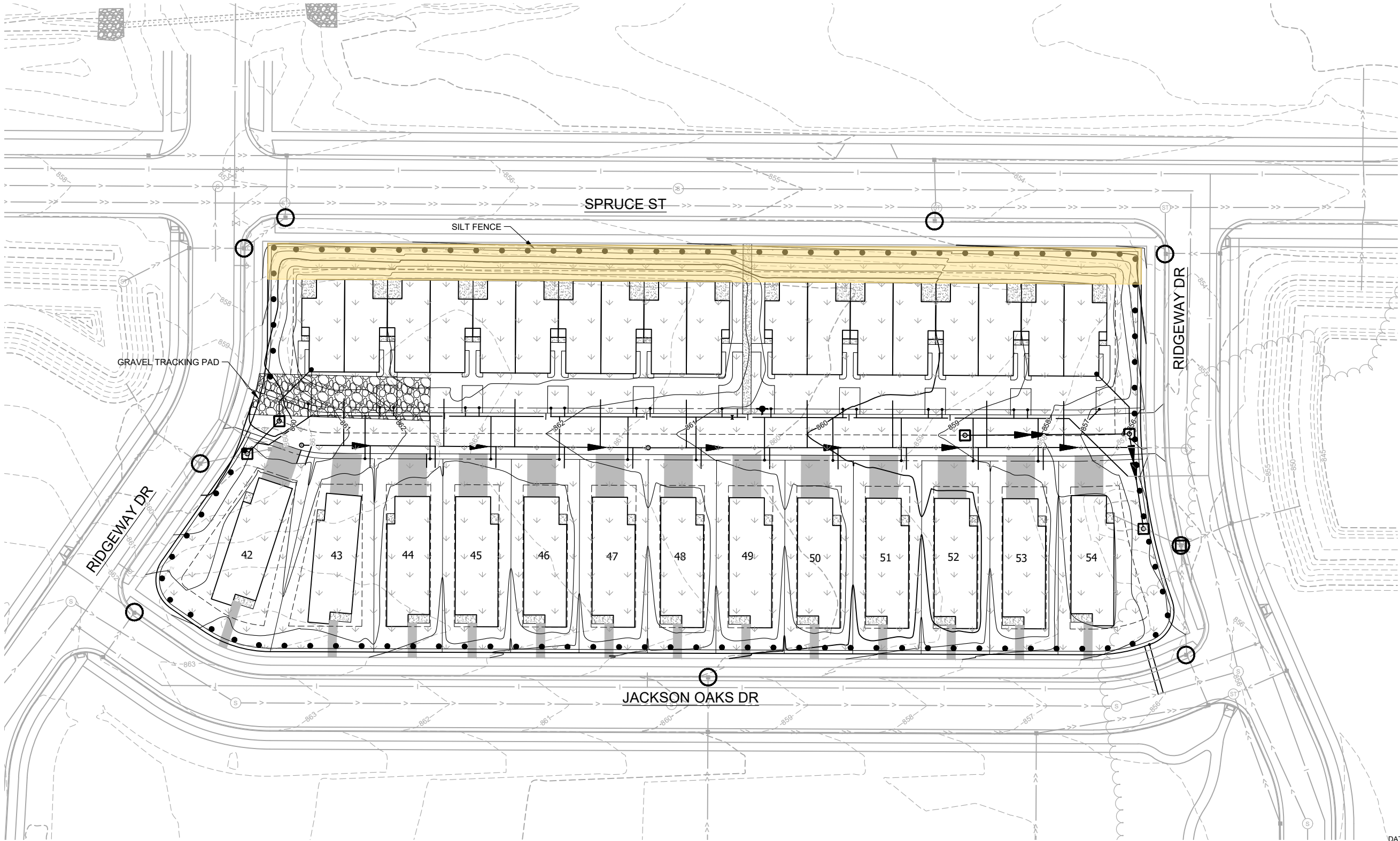
18. ALL SLOPES PROTECTED ONLY BY SILT FENCE MUST BE FULLY RESTORED WITHIN 30 DAYS OF DISTURBANCE.
19. STABILIZE ALL NON-ACTIVE STOCKPILES WITH TEMPORARY SEED & MULCH WITHIN 7 DAYS OF INACTIVITY AND/OR WITHIN 30 DAYS OF LAYUP. INSTALL SILT FENCING AROUND ALL DOWN SLOPE AND SIDE SLOPES OF TOPSOIL STOCKPILES. STOCKPILES NOT SHOWING ADEQUATE VEGETATION BY NOV 1 SHOULD BE DORMANT SEEDDED AND COVERED WITH A WisDOT PAL TYPE A SOIL STABILIZER (FOR SLOPES 3 FEET HORIZONTAL TO 1 FOOT VERTICAL OR FLATTER) OR EROSION CONTROL MAT.
20. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF INACTIVITY. THIS MAY BE DONE USING TEMPORARY AND/OR PREEMINENT RESTORATION TECHNIQUES, DEPENDING ON PROGRESS OF GRADING ACTIVITIES OF THE AREA(S). THIS INCLUDES AREAS OF SITE DEVELOPMENT AND UTILITY CONSTRUCTION.
21. SEDIMENT CONTROL FOR UTILITY CONSTRUCTION
 - a. PLACE EXCAVATED TRENCH MATERIAL ON HIGH SIDE OF THE TRENCH.
 - b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER UTILITY INSTALLATION.

EROSION CONTROL LEGEND
SEE SHEET D 1.00 FOR DETAILS

- INLET PROTECTION TYPE 'A'
- INLET PROTECTION TYPE 'C'
- SILT FENCE
- CLASS I - TYPE 'A' ECRM
- SEEDING AND MULCH

CONSTRUCTION SEQUENCE

1. INSTALL STONE TRACKING PAD.
2. INSTALL SILT FENCE AND INLET PROTECTION.
3. STRIP AND STOCKPILE TOPSOIL ON UPSTREAM SIDE OF DISTURBED AREA. **NOTE: RESTORE STOCKPILES WITH TEMPORARY SEED AND MUCH WITHIN 14 DAYS OF INACTIVITY.**
4. INSTALL UTILITIES (INSTALL INLET PROTECTION ON ALL NEWLY CONSTRUCTED STORM SEWER INLETS). **NOTE: RESTORE TRENCH SPOIL STOCKPILES WITH TEMPORARY SEED AND MUCH WITHIN 14 DAYS OF INACTIVITY.**
5. GRADE ROADS TO SUBGRADE..
6. INSTALL ROAD BASE AND PAVEMENT
7. INSTALL FINAL RESTORATION OF ALL DISTURBED AREAS. **NOTE: THIS MAY OCCUR CONCURRENTLY WITH HOME BUILDING.**
8. ALL TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN IN PLACE DURING SITE CONSTRUCTION UNTIL ALL CONTRIBUTING AREAS HAVE ESTABLISHED 80% VEGETATIVE COVER. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO SITE DURING REMOVAL OF TEMPORARY EROSION CONTROL MEASURES AND/OR SEDIMENT REMOVAL. SAID REPAIR(S) SHALL BE CONSIDERED INCIDENTAL TO SITE CONSTRUCTION.



DATE: 8/5/2024 10:27 AM

SEH Project HILBU180080
Drawn By KB
Designed By LP
Checked By MC

Rev.#
:
:
:

Revision Issue
Description

Date

Rev.#

Revision Issue
Description

Date



NOTE:
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL
D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE
GUIDELINES OF CHASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".
THE CONTRACTOR SHALL CALL THE STATE ONE CALL SYSTEM AT 811
BEFORE COMMENCING EXCAVATION.

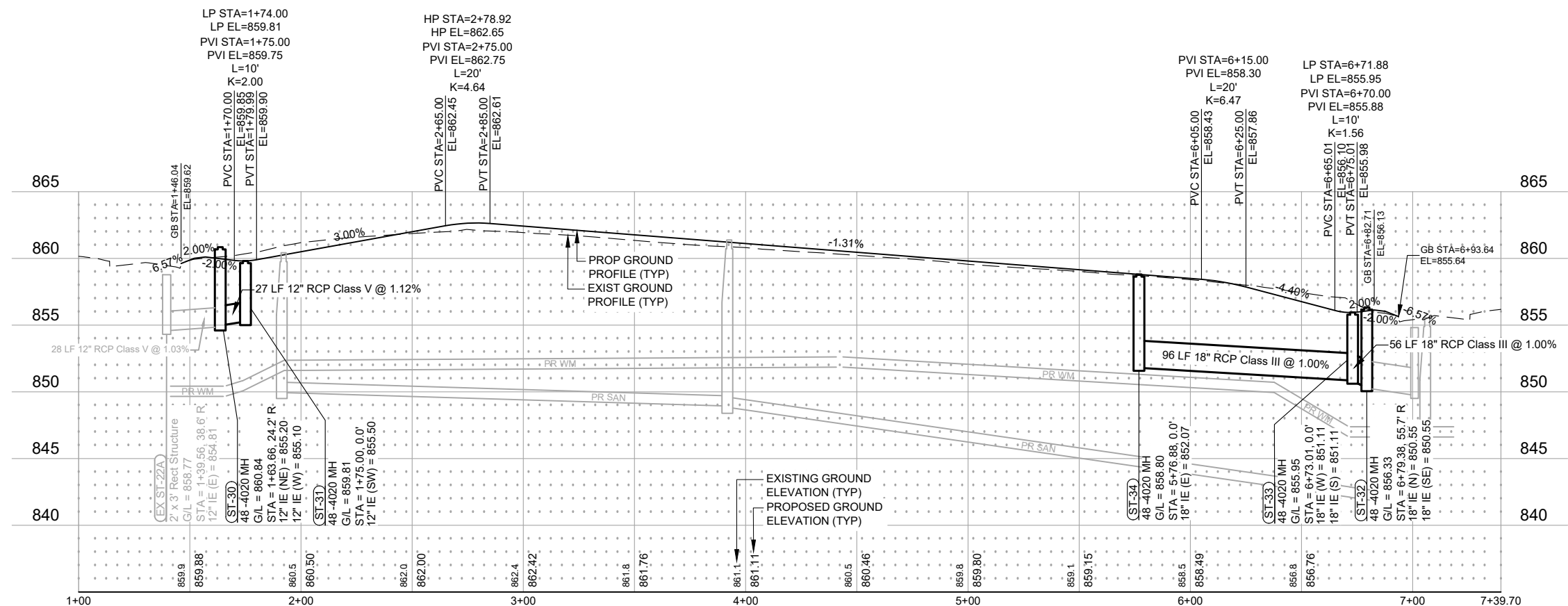
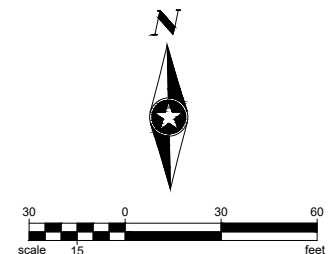
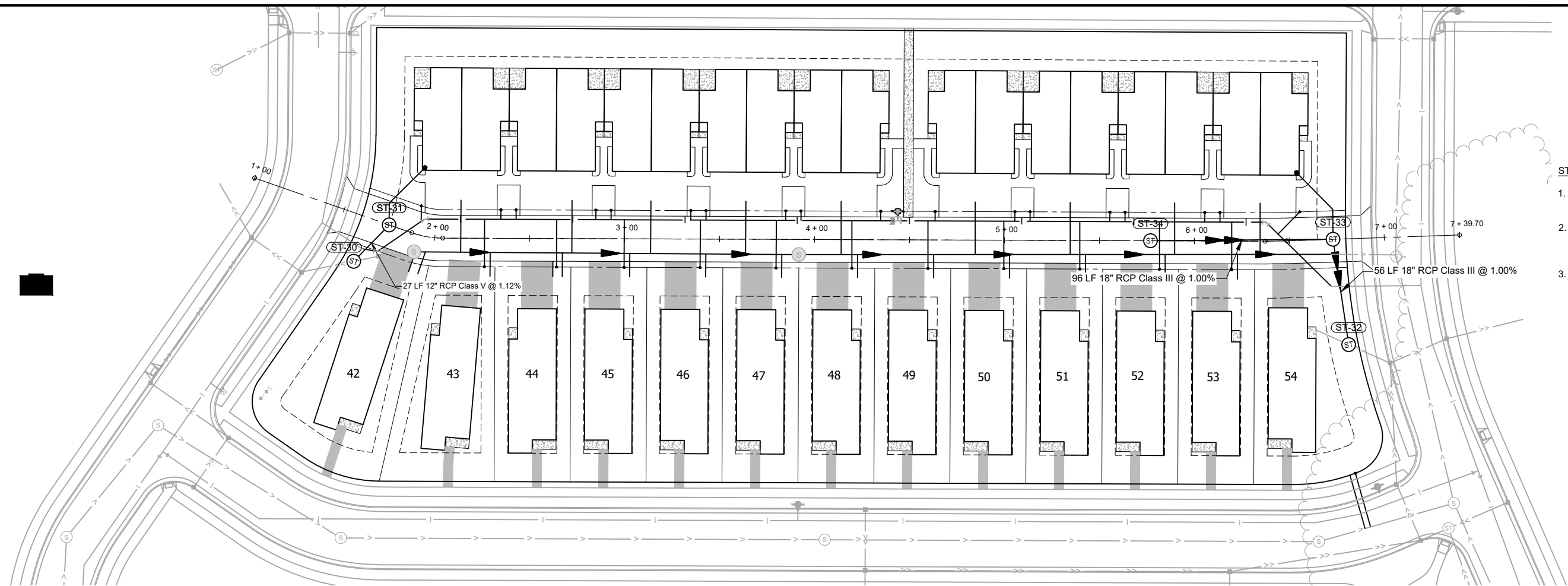


OAKS OF JACKSON ADDITION #1
VILLAGE OF JACKSON, WI

EROSION CONTROL PLAN

C 2.01

of 7



SEH Project	HILBU180080	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	KB	.			.		
Designed By	LP	.			.		
Checked By	MC	.			.		



NOTE:
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL
D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE
GUIDELINES OF C/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
THE CONTRACTOR SHALL CALL THE STATE ONE CALL SYSTEM AT 811
BEFORE COMMENCING EXCAVATION.

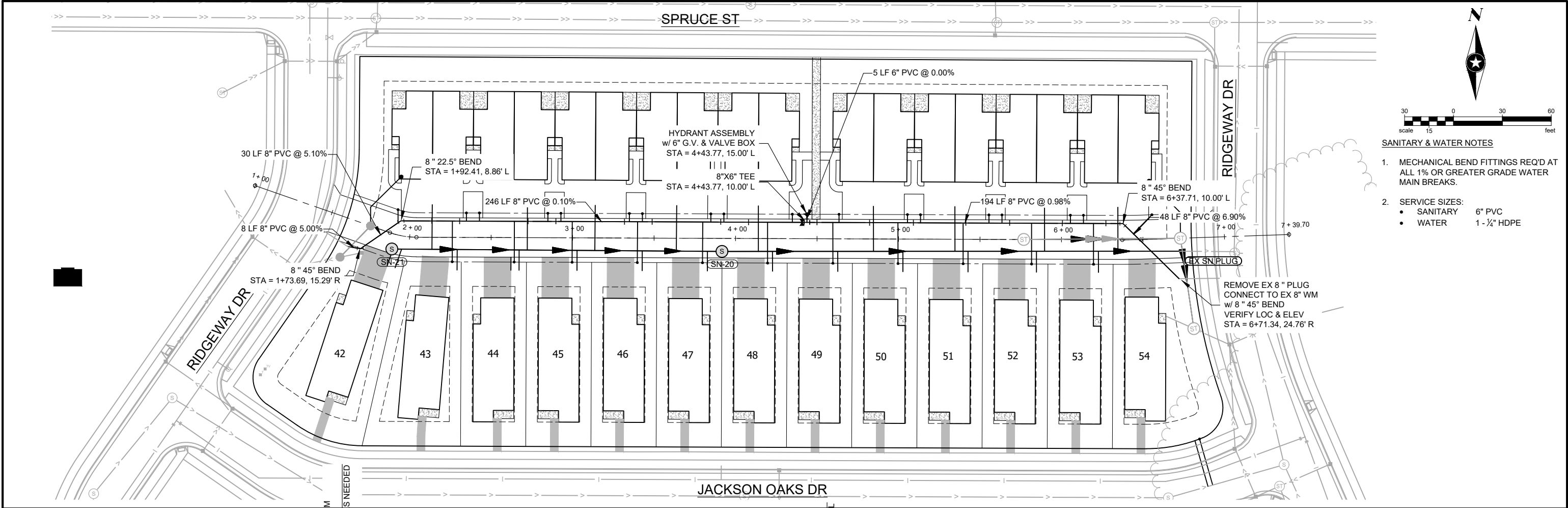


OAKS OF JACKSON ADDITION #1

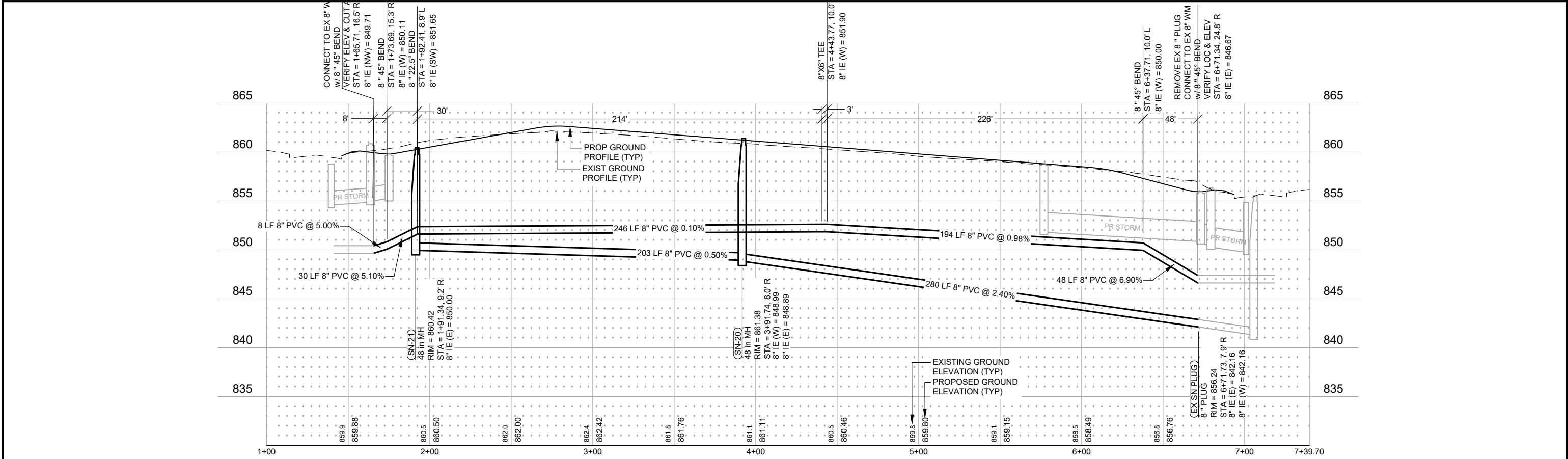
ROAD & STORM PLAN & PROFILE

C 3.00

of 7



- SANITARY & WATER NOTES**
- MECHANICAL BEND FITTINGS REQ'D AT ALL 1% OR GREATER GRADE WATER MAIN BREAKS.
 - SERVICE SIZES:
 - SANITARY 6" PVC
 - WATER 1 - 1/4" HDPE





STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: September 19, 2024

Agenda Item: # 5

To: Plan Commission

From: Collin Johnson, Director of Inspections/Zoning

Subject: Ordinance #24-10 - Rezoning of Parcel V3_046500E004 - Jackson Development, LLC

Background and Analysis:

The owner/developer is requesting rezoning of the above tax parcel to allow for development of four, two-family condominium buildings with a total of eight dwelling units. The parcel is currently zoned Planned Unit Development (PUD) however, a change to R-6 Two-Family Residential District will streamline the permitting process without the need to establish a new, and separate PUD zoning district.

R-6 Two-Family Residential District zoning ordinance is included below for reference.

Sec. 48-142. R-6 Two-Family Residential District.

- (a) Generally. The R-6 Two-Family Residential District is intended to provide for two-family residential development at densities not to exceed 7.2 dwelling units per net acre, served by municipal sewer and water facilities.
- (b) Permitted uses. A two-family dwelling on a lot, a complex of two or more two-family dwellings on a lot, and single-family dwellings.
- (c) Permitted accessory uses. Permitted accessory uses include private garages, private carports, sheds (garden, tool and storage) incidental to the residential use, and home occupations and professional home offices as specified in section 48-1.
- (d) Conditional uses. Conditional uses include group homes, foster homes, and halfway houses provided that there shall be a minimum lot area of 1,500 square feet per person (upon ultimate development) and a minimum principal building area of 200 square feet per person.
- (e) Lot area and width. Lots shall be a minimum of 6,000 square feet in area for each dwelling unit and shall not be less than 85 feet in width at the setback line.
- (f) Building height and area. No principal building or parts of a principal building shall exceed 35 feet in height. No accessory building shall exceed 15 feet in height. The total minimum floor area of a one-bedroom dwelling shall be 700 square feet; the total minimum floor area of a two-bedroom dwelling shall be 1,000 square feet.
- (g) Setbacks and yards. There shall be a minimum setback of 25 feet from the right-of-way of local streets. There shall be a 30-foot minimum setback from the right-of-way of all collector and arterial streets. There shall be a side yard on each side of all buildings not less than 15 feet in width and a rear yard of not less than 25 feet. Within a two-family development complex, the minimum distance between residential buildings shall be 30 feet.

Comprehensive Plan & Zoning Impacts:

The Village Comprehensive Plan Land Use Map currently identifies the subject property as Multi-Family/High-Density Urban Residential. This is consistent with the proposed zoning designation. There are no foreseen conflicts to the Comprehensive Plan.

Site Plan:



Taking the lead in Washington County.

See attached proposed site plan.

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision following a Public Hearing.

Signage:

Not Applicable

Additional Staff Comments:

None

Notice Requirements:

- Posting on the agenda
- Notification of all contiguous property owners.
- Notification of all other municipalities located within 1,000 feet of the subject property.
- Publication of a Class II Notice of Public Hearing (Village Board only)

Potential Action:

Recommend the Village Board approve Ordinance #24-10 amending the zoning for Parcel V3_046500E004 and to amend the zoning map accordingly.

Attachments:

1. PC Application
2. Location Map
3. Site Plan
4. Ordinance 24-10 - Amending Zoning for Parcel #V3_046500E004

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

- ☐ COMMERCIAL ☐ INDUSTRIAL ☐ RESIDENTIAL ☐ OTHER _____
- ☐ CONDITIONAL USE ☒ PLANNED UNIT DEVELOPMENT ☐ CERTIFIED SURVEY MAP
- ☐ New ☐ New ☐ CONCEPT PLAN
- ☐ Amendment ☒ Amendment ☐ COMP. PLAN AMENDMENT
- ☐ Special Use ☐ Special Use ☐ OTHER _____
- (For existing Cond. Use ONLY) (For existing PUD ONLY)

Property Address: N1169 W19747 GEORGETOWN DR. Unit: _____ Jackson, WI

Parcel #: _____ Lot Size: _____ sq. ft. Building Area: _____ sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☐ PUD ☐ Other _____ Floodplain: Y / N

APPLICANT INFORMATION

Name(s): JACKSON DEVELOPMENT / HER CONSTRUCTION INC. - PROJECT

Mailing Address: 1629 SHERMAN RD. State WI Zip 53087 ^{MANUAL}

Office: (____) _____ Cell: (414) 550-7423 Fax: (____) _____

Email: KLhhrconst@gmail.com

BUSINESS INFORMATION (If New Business)

Legal Business Name: JACKSON DEVELOPMENT

D/B/A: _____ FEIN #: _____

Mailing Address: 789 N. WATER STREET SUITE 500 State WI Zip 53202

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

Website: KLhhrconst@gmail.com

PROPERTY OWNER INFORMATION

Name(s): JACKSON DEVELOPMENT

Address: 4470 N. LAKE DRIVE MILWAUKEE State WI Zip 53211

Office: (____) _____ Cell: (414) 550-7423 Fax: (____) _____

Email: _____

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: JANIK & JANIK SURVEY

Primary Contact: JACOB BERG

Address: 524 BLUEMOUND RD - WAUKESHA State WI Zip 53188

Office: (262) 542-5777 Cell: (____) _____ Fax: (____) _____

Email: _____

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: RE-ZONING
WE PLAN ON ADDING 4-MORE DUPLEXES
TO STONEWALL HEIGHTS PONDS ASSOCIATION

Provide a brief overview of proposed use(s) of entire property and/or lease space: 4-DUPLEX
CONDOS

Hours of Operation: N/A

Provide a brief overview of proposed daily on-site operations: RESIDENTIAL LIVING

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.:

RESIDENTIAL USE

Describe all businesses, properties and other entities located adjacent to the proposed use: ACROSS
FROM VILLAGE HALL AND FIRE DEPT

Describe any proposed, development, on-site improvements or other construction/remodeling activities: NONE

Describe any proposed grading, and/or stormwater management plan: PART OF
ORIGINAL DEVELOPMENT PLAN

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: SAME LANDSCAPE DESIGN AS 2 OTHER
DUPLEXES THAT ARE A PART OF STONEWALL PONDS
HEIGHTS

Describe any proposed on-site security measures including site lighting: NONE PLANNED

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): ALL INSTALLED IN PREVIOUS DEVELOPMENT

Describe the projected traffic circulation and impacts: RESIDENTIAL USE

List all setbacks from rights-of-way and property lines and height limitations: AS PER ORIGINAL PLAN 2007

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: N/A

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

☐ No ☒ Yes If yes, explain: TIF DISTRICT WITHDRAWAL

Describe any proposed signage including type, size, and location: NONE PLANNED

If construction is proposed, describe proposed exterior building materials (type, color, etc.): EARTH TONES, SAME AS PREVIOUS BUILDINGS IN DEVELOPMENT

Describe any site-specific features/constraints, etc.: N/A

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: N/A

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): _____

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: RECYCLING CANS GO IN GARAGE

Projected Sewer/Wastewater Usage: SINGLE FAMILY gal/year

Projected Water Usage: SINGLE FAMILY gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

You MUST sign and date this Application!

Applicant Name (Print):

KURT HENNING

Applicant Signature:

Kurt Henning

Co-Applicant Name (Print):

[Signature]

CO-Applicant Signature:

[Signature]

Date of Application:

Aug 14, 2024

SUBMIT TO:

Village of Jackson – Building Inspection Dept.
W194 N16660 Eagle Drive
Jackson, WI 53037

PAYMENT INFO:

Payment is required at the time of submittal.
Cash, Checks, or Credit Cards are accepted (fees apply)
(Make checks payable to Village of Jackson)

QUESTIONS?

Zoning Director:

Phone:

Email:

For questions concerning application submittal, zoning, or technical questions.
(262) 677-9696 x810
collin.johnson@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: 8-26-24
Amount: \$ 425.00
Payment Type: CH / CC / CASH
Check/Rcpt. #: 8147
Received By: [Signature]

VILLAGE OF JACKSON

N168W19851 MAIN ST
JACKSON, WI 53037

Receipt Nbr: 289250
Date: 9/03/2024
Check

RECEIVED FROM H&R CONSTRUCTION \$425.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	425.00
	PLAN COMM REZONE V3-046500E004	

TOTAL RECEIVED	425.00
----------------	--------

Receipt Memo: PLAN COMM V3-046500E004/CK#8147

Parcel #: V3_046500E004



9/3/2024, 3:45:59 PM

- Override 1

Current Parcel

Road Centerline STH, CTH

State Highway

Address Point

Lot Number

Certified Survey Number Plat

Condominium Name

Subdivision Name
- Leader Lines

Parcel Taxkey & Acreage

PLSS Boundary

PLSS Section

PLSS Quarter

Lot

Certified Survey Map

Condominium
- Assessor Plat; Cemetery Plat; Subdivision

Right-of-Way

Retired Parcel

Municipality

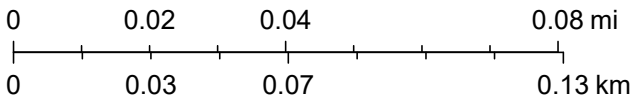
Local Road Labels

Local Road

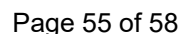
PLSS Monument

Landhook

1:1,789



PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 17, TOWN 10 NORTH, RANGE 20 EAST
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN



ORDINANCE #24-10

**TO REZONE PARCEL V3_046500E004 IN THE VILLAGE OF JACKSON AND TO
AMEND THE ZONING MAP OF THE VILLAGE OF JACKSON PURSUANT TO
SECTION 48.34 OF THE MUNICIPAL CODE**

WHEREAS, the Village Board for the Village of Jackson adopted zoning regulations for the Village of Jackson and has amended such regulations from time to time; and

WHEREAS, the zoning regulations, as amended, are codified as Chapter 48 of the Village of Jackson municipal code, which is titled "Zoning"; and

WHEREAS, the Village of Jackson hereby proposes to amend the zoning classification of Tax Parcel V3_046500E004; and

WHEREAS, the proposed rezoning has been submitted to the Village of Jackson Plan Commission for report and recommendation; and

WHEREAS, the Village of Jackson Plan Commission considered the matter at its meeting on September 19, 2024, and recommended approval; and

WHEREAS, the Village Board conducted a public hearing on October 8, 2024; and

WHEREAS, the Village Plan Commission has recommended to the Village Board that a permanent zoning classification of R-6 Two-Family Residential District be made; and of the recommendation of the Plan Commission, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, having determined that the zoning classification is consistent with the Village's Comprehensive Plan, and having based its determination on the effect of granting of said zoning on the health, safety, and welfare for the community, and the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as the impact on the surrounding properties as to the noise, dust, smoke, odor and others, has hereby determined that the zoning classification will not violate the spirit or intent the zoning ordinance for the Village of Jackson, will not be hazardous, harmful, noxious, offensive or a nuisance by reason of noise, dust, smoke odor or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the development is conducted pursuant to the following conditions and is in strict compliance with the same.

NOW, THEREFORE BE IT RESOLVED, the Village of Jackson Village Board, Washington County Wisconsin ORDAINS AS FOLLOWS:

Section 1. To amend the zoning designation of the subject property, as described above, and depicted as Parcel: V3_046500E004 on Exhibit A, attached hereto, from Planned Unit Development (PUD) to R-6 (Two-Family Residential District), and to amend the zoning map of the Village of Jackson to incorporate the zoning of the subject property.

Section 2. Effective Date

This ordinance shall be in full force and effect from and after its passage and posting or publication as provided by law.

The Village Clerk and Village Administrator are hereby authorized and directed to make all changes within the Village of Jackson Code of Ordinances necessary to reflect this Ordinance.

Introduced by: _____ Seconded by: _____

Vote: _____aye _____nay Passed and approved _____

VILLAGE OF JACKSON

By: _____
Brian J. Heckendorf, Village President

Attest:

Jacqueline Schuh, Village Clerk

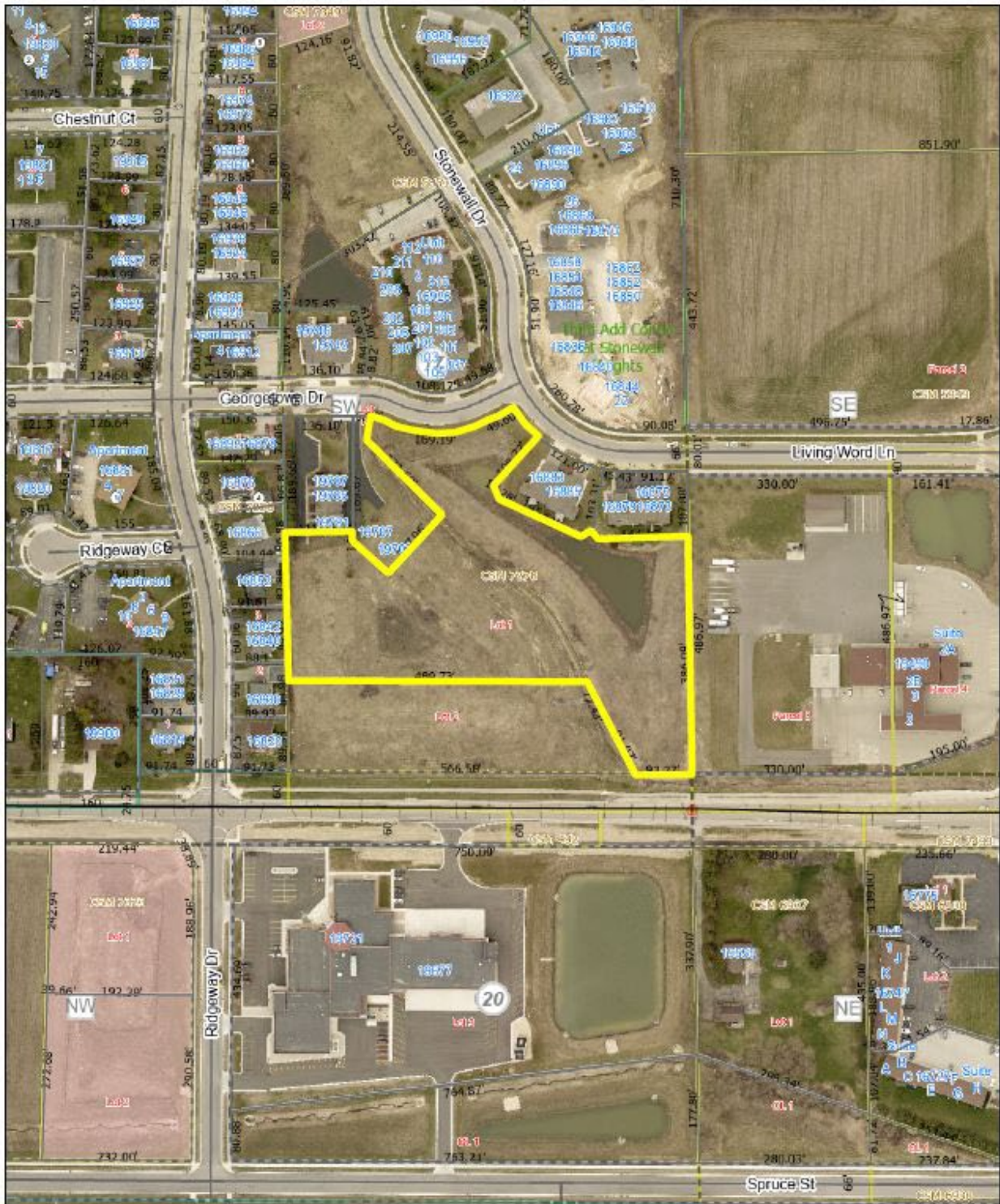
Proof of Posting:

I, the undersigned, certify that I posted copies of this Ordinance on bulletin boards at the Jackson Municipal Complex, Post Office and one other location in the Village.

Village Official

Date

EXHIBIT "A"



9/3/2024, 3:45:59 PM

- | | | |
|---|---|--|
| Override 1 | Leader Lines | Assessor Plat, Cemetery Plat, Subdivision |
| Current Parcel | Parcel Taxkey & Acreage | Right-of-Way |
| Road Centerline STH, CTH | PLSS Boundary | Retired Parcel |
| State Highway | PLSS Section | Municipality |
| • Address Point | PLSS Quarter | — Local Road Labels |
| 123 Lot Number | Lot | — Local Road |
| 123456789 Certified Survey Number Plat | Certified Survey Map | — PLSS Monument |
| 123456789 Condominium Name | Condominium | — Landmark |
| 123456789 Subdivision Name | | |

