



**VILLAGE OF JACKSON
PLAN COMMISSION MEETING AGENDA
Thursday, March 20, 2025 at 7:00 PM**

Jackson Municipal Complex
Village Board Room
N168W19851 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of Minutes for the Plan Commission Meeting of January 16, 2025
3. Review of Certified Survey Map for Parcel V3_008700K and Parcel: V3_007900Y - Dittmar Properties, LLC
4. Ordinance #25-03 Rezoning of Parcel V3_008700K and a Portion of Parcel V3_007900Y - Dittmar Properties, LLC
5. Conditional Use Request and Site Plan Review - N171W21860 Caymus Court - Design 2 Construct
6. Citizens/Village Staff to Address the Plan Commission
7. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Administration Department at the Jackson Municipal Complex at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

MINUTES
PLAN COMMISSION MEETING
Thursday, January 16, 2025 at 7:00 PM

1. Call to Order and Roll Call

The meeting was called to order at 7:00 PM by Pres. Heckendorf.

Members Present: Pres. Heckendorf, Tr. Kruepke, Jon Molkentin, Dan Reik, Matt Van Eperen, and Duane Hafemeister

Members Excused: Tr. Emmrich

Members Absent: None

Staff Present: Inspections and Zoning Director Collin Johnson, and Deputy-Clerk Pam Wolf

2. Approval of Minutes for the Plan Commission Meeting of September 19, 2024

The motion to approve Minutes of the Plan Commission Meeting of September 19, 2024, was made by Jon Molkentin and seconded by Duane Hafemeister.

Vote: 6 ayes, 0 nays. Motion carried.

3. Ordinance #25-01 - Repeal and Recreate Municipal Code Section 48-108 pertaining to Accessory Buildings and Accessory Structures

Director Johnson provided a brief background/history to this Ordinance, the reasoning behind it coming to the Commission and logic behind the amendments keeping future annexations in mind so this will not have to be redone again.

The motion to recommend the Village Board approve Ordinance #25-01 Repeal and Recreate with proposed Municipal Code Section 48-108 Pertaining to Accessory Buildings and Accessory Structures was made by Pres. Heckendorf and seconded by Jon Molkentin.

Vote: 6 ayes, 0 nays. Motion carried.

4. Re-Zoning of Parcel V3_048900J002 – N174 W21400 Alcan Drive – Patriot Fence & Construction, LLC – Village of Jackson

The motion to recommend Village Board approve the Re-Zoning of Parcel V3_048900J002 at N174W21400 Alcan Drive in the Village of Jackson for Patriot Fence and Construction, LLC, was made by Jon Molkentin and seconded by Duane Hafemeister .

Vote: 6 ayes, 0 nays. Motion carried.

5. Conditional Use Request and Site Plan Review– Patriot Fence & Construction, LLC – N174 W21400 Alcan Drive – Mike and Elizabeth Kotecki

The motion to recommend Village Board approve the Conditional Use Request and Site Plan Review for Patriot Fence and Construction, LLC, for the property of Mike and Elizabeth Kotecki located at N174W2400 Alcan Drive, subject to the following conditions:

1. Completion of Phase 2 and Phase 3 of the lay-down areas shall be subject to DNR approval for wetland development, where applicable was made by Tr. Kruepke and seconded by Matt Van Eperen.

Vote: 6 ayes, 0 nays. Motion carried.

6. Review of Extra-Territorial Certified Survey Map - Parcel : T9_052300B - Gene and Ann Kissinger

The motion to recommend Village Board approve the Extra-Territorial Certified Survey Map for Parcel T9_052300B, property of Gene and Ann Kissinger, was made by Matt Van Eperen and seconded by Tr. Kruepke.

Vote: 6 ayes, 0 nays. Motion carried.

7. Review of Extra-Territorial Certified Survey Map - Parcel: T9_049500B - Robert and Nicolette Kearns

The motion to recommend Village Board approve the Extra-Territorial Certified Survey Map for Parcel T9_049500B, property of Robert and Nicolette Kearns, was made by Jon Molkentin and seconded by Duane Hafemeister.

Vote: 6 ayes, 0 nays. Motion carried.

8. Certified Survey Map - Parcel: V3_007900Y - Dittmar Realty

The motion to recommend Village Board approve the Certified Survey Map for Parcel V3_007900Y, property of Dittmar Realty, was made by Pres. Heckendorf and seconded by Matt Van Eperen.

Vote: 6 ayes, 0 nays. Motion carried.

9. Citizens/Village Staff to Address the Plan Commission

Lenny Hanson residing at 3056 Sherman Parc Circle signed in to speak regarding Agenda Item #3, but left prior to the Citizens speaking portion.

10. Adjourn

The motion to adjourn the meeting was made by Tr. Kruepke and seconded by Duane Hafemeister.

Vote: 6 ayes, 0 nays. Motion carried. The meeting adjourned at 7:21 PM.

Respectfully Submitted,
Pam Wolf - Deputy Clerk



Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: March 20, 2025

Agenda Item: # 3

To: Plan Commission

From: Collin Johnson, Director of Inspections/Zoning

Subject: Review of Certified Survey Map for Parcel V3_008700K and Parcel: V3_007900Y - Dittmar Properties, LLC

Background and Analysis:

Dittmar Properties, LLC. seeks Village review and approval of a revised Certified Survey Map (CSM) for a portion of the property identified as Parcel V3_008700L and Parcel V3_007900Y located in the Village of Jackson. The CSM, if approved, would join the two properties and create a new singular parcel consisting of 1.038-acres (45,210 sf) in area.

The property is further described as follows:

A division of Outlot 2 in Certified Survey Map No. 6901 and Lands, being a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

Comprehensive Plan & Zoning Impacts:

The property is designated Multi-Family/High Density Urban Residential under the Village Comprehensive Plan and has multiple zoning designations, including R-1 Single-Family Residential, Planned Unit Development, and R-9 Mobile Home Park.

Site Plan:

See attached location map and draft Certified Survey Map.

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision.

Signage:

N/A

Additional Staff Comments:

Building Inspection/Zoning

- Staff recommends approval of the CSM as submitted.



Taking the lead in Washington County.

Notice Requirements:

Posting on the Agenda

Potential Action:

Motion to recommend the Village Board approve the Certified Survey Map for Parcel: V3_007900Y and Parcel V3_008700K.

Attachments:

1. PC Application
2. Location Map
3. Certified Survey Map (DRAFT)

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

☐ COMMERCIAL ☐ INDUSTRIAL ☐ RESIDENTIAL ☐ OTHER _____

☐ CONDITIONAL USE ☐ PLANNED UNIT DEVELOPMENT ☒ CERTIFIED SURVEY MAP
☐ New ☐ New ☐ CONCEPT PLAN
☐ Amendment ☐ Amendment ☐ COMP. PLAN AMENDMENT
☐ Special Use ☐ Special Use ☐ OTHER _____
(For existing Cond. Use ONLY) (For existing PUD ONLY)

Property Address: Rosewood Lane Unit: _____ Jackson, WI

Parcel #: Lot 1 Lot Size: 41,489 sq. ft. Building Area: _____ sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☐ PUD ☐ Other R-1 Floodplain: Y / N

APPLICANT INFORMATION

Name(s): Dittmar Realty, Inc

Mailing Address: PO Box 99, Menomonee Falls State WI Zip 53052

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

BUSINESS INFORMATION (If New Business)

Legal Business Name: _____

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): Dittmar Properties, LLC

Address: N81 W15111 Appleton Ave, Menomonee Falls State WI Zip 53051

Office: (262) 251-5800 Cell: (414) 870-5819 Fax: (____) _____

Email: cdunn@drilots.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: R.A. Smith, Inc.

Primary Contact: John Casucci

Address: 16745 W Bluemound Rd, Brookfield State WI Zip 53005

Office: (262) 781-1000 Cell: (____) _____ Fax: (____) _____

Email: john.Casucci@rasmith.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: creating a new CSM

Provide a brief overview of proposed use(s) of entire property and/or lease space: Vacant land, in the future may possibly rezone to multifamily

Hours of Operation: _____

Provide a brief overview of proposed daily on-site operations: _____

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: _____

Describe all businesses, properties and other entities located adjacent to the proposed use: mobile home park to the east, single family to the west, multi-family to the north.

Describe any proposed, development, on-site improvements, or other construction/remodeling activities: _____

Describe any proposed grading, and/or stormwater management plan: _____

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____

Describe any proposed on-site security measures including site lighting: _____

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): _____

Describe the projected traffic circulation and impacts: _____

List all setbacks from rights-of-way and property lines and height limitations: _____

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: _____

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

☐ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: _____

If construction is proposed, describe proposed exterior building materials (type, color, etc.): _____

Describe any site-specific features/constraints, etc.: _____

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: _____

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): _____

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: _____

Projected Sewer/Wastewater Usage: _____ gal/year

Projected Water Usage: _____ gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

You MUST sign and date this Application!

Applicant Name (Print):

Carla J Dunn

Applicant Signature:

CJ Dunn

Co-Applicant Name (Print):

CO-Applicant Signature:

Date of Application:

1-31-2025

SUBMIT TO:

Village of Jackson – Building Inspection Dept.
W194 N16660 Eagle Drive
Jackson, WI 53037

PAYMENT INFO:

Payment is required at the time of submittal.

Cash, Checks, or Credit Cards are accepted (fees apply)

(Make checks payable to Village of Jackson)

QUESTIONS?

Zoning Director:

For questions concerning application submittal, zoning, or technical questions.

Phone:

(262) 677-9696 x810

Email:

collin.johnson@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

----- THIS PAGE FOR VILLAGE USE ONLY -----

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: 12/27/24

Amount: \$ 150.00

Payment Type: ☒ CH / CC / CASH

Check/Rcpt. #: 030230

Received By: [Signature]

VILLAGE OF JACKSON

N168W19851 MAIN ST

JACKSON, WI 53037

Receipt Nbr: 293136**Date:** 1/02/2025**Check****RECEIVED
FROM**

DITTMAR REALTY

\$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	150.00
	CSM - ROSEWOOD LN	

TOTAL RECEIVED	150.00
-----------------------	---------------

Receipt Memo: CSM - ROSEWOOD LN/CK#020230

Rosewood Lane



3/10/2025, 8:41:58 AM

- Current Parcel

Override 1

Address Point

Lot Number

Certified Survey Number

Leader Lines
- Parcel Taxkey & Acreage

PLSS Section

PLSS Quarter

Lot

Plat

Certified Survey Map
- Right-of-Way

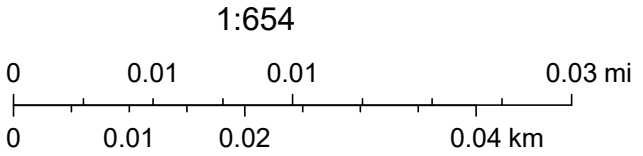
Municipality

Local Road Labels

Local Road

Named Private Drive

Meander Line

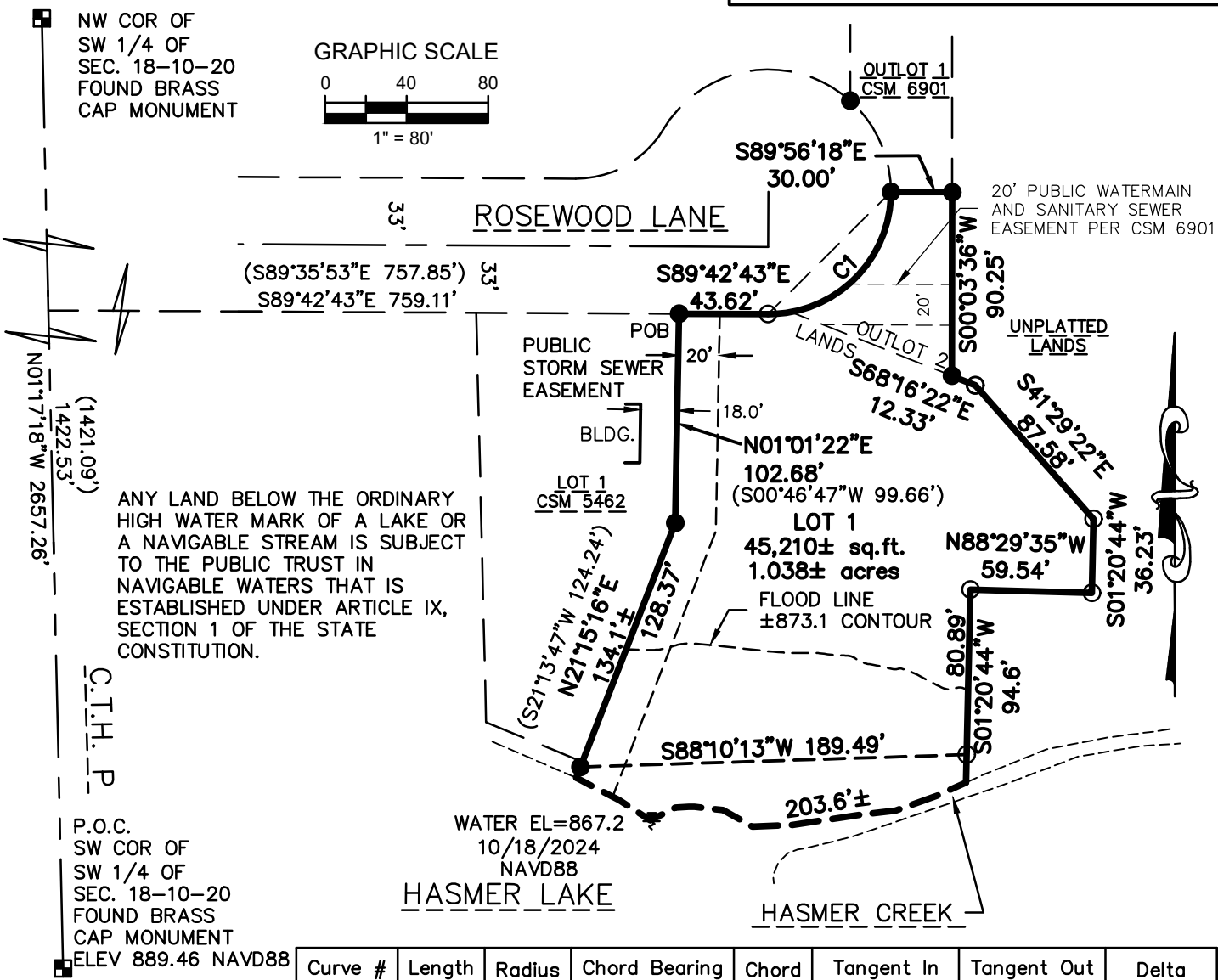


CERTIFIED SURVEY MAP NO. _____

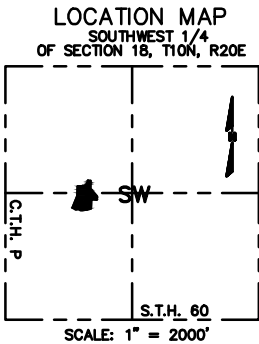
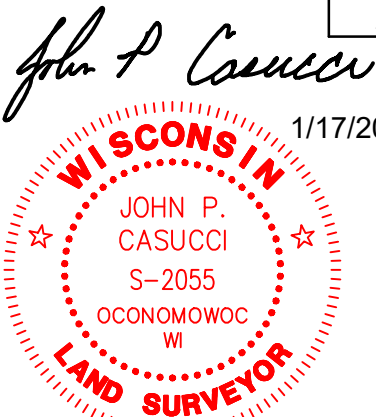
A division of Outlot 2 in Certified Survey Map No. 6901 and Lands, being a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SW. 1/4 OF SECTION 18, T 10 N, R 20 E, WHICH BEARS N01°17'18"W. WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 83/2011).



Curve #	Length	Radius	Chord Bearing	Chord	Tangent In	Tangent Out	Delta
C1	94.49	60.00	N45°10'27"E	85.02	S89°42'43"E	N00°03'36"E	90°13'41"



OWNER:
DITTMAR PROPERTIES LLC
PO BOX 301
JACKSON, WI 53037

SURVEYOR:
JOHN P. CASUCCI

raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CERTIFIED SURVEY MAP NO. _____

A division of Outlot 2 in Certified Survey Map No. 6901 and Lands, being a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
 :SS
WAUKESHA COUNTY }

I, JOHN P. CASUCCI, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a division of a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin, which is bounded and described as follows:

Commencing at the Southwest corner of the Southwest 1/4 of said Section; thence North 01° 17' 18" West along the West line of said 1/4 Section a distance of 1422.53 feet to a point on the Westerly extension of the South line of Rosewood Lane; thence South 89° 42' 43" East along said South line and its extension 759.11 feet to the Northeast corner of Lot 1 in Certified Survey Map No. 5462 and the point of beginning of lands to be described;
thence continuing South 89° 42' 43" East along said South line 43.62 feet to a point; thence Northeasterly along said South line and an arc of a curve to the left with an arc length of 94.49 feet, whose radius is 60.00 feet and whose chord bears North 45° 10' 27" East 85.02 feet to the Southwest corner of Outlot 1 in Certified Survey Map No. 6901; thence South 89° 56' 18" east along the South line of said Outlot 30.00 feet to a point; thence South 00° 03' 36" West 90.25 feet to a point; thence South 68° 16' 22" East 12.33 feet to a point; thence South 41° 29' 22" East 87.58 feet to a point; thence South 01° 20' 44" West 36.23 feet to a point; thence North 88° 29' 35" West 59.54 feet to a point; thence South 01° 20' 44" West 80.89 feet to a point in a meander line; thence South 88° 10' 13" West along said meander line 189.49 feet to a point in the East line of Lot 1 in Certified Survey Map No. 5462; thence North 21° 15' 16" East along said East line 128.37 feet to a point; thence North 01° 01' 22" East along said East line 102.68 feet to the point of beginning.

Including those lands that fall between the meander line and the shore of Hasmer Lake and North bank of Hasmer Creek.

Said land contains 45,210± sq.ft. or 1.038± acres more or less.

THAT I have made the survey, land division and map by the direction of DITTMAR PROPERTIES LLC., owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with provisions of Chapter 236.34 of the Wisconsin Statutes and the Village of Jackson Ordinances in surveying, dividing and mapping the same.

Field date

JOHN P. CASUCCI
PROFESSIONAL LAND SURVEYOR S-2055

CERTIFIED SURVEY MAP NO. _____

A division of Outlot 2 in Certified Survey Map No. 6901 and Lands, being a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

OWNER CERTIFICATE

DITTMAR PROPERTIES LLC., a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation has caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the Ordinances of the Village of Jackson.

DITTMAR PROPERTIES LLC., does further certify that this map is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection: Village of Jackson.

IN Witness Whereof, DITTMAR PROPERTIES LLC., has caused these presents to be signed
by _____, it's _____ on this ____ day of _____, 2025.
DITTMAR PROPERTIES LLC.

PERSONALLY came before me this _____ day of _____, 2025,
_____, the _____ of the above named company, to me known
to be the person who executed the foregoing instrument, and acknowledged that he/she executed the
foregoing instrument as such officer on behalf of the entity, by its authority.

(Notary Seal)

(print name)
Notary Public, State of Wisconsin
My commission expires _____

CERTIFIED SURVEY MAP NO. _____

A division of Outlot 2 in Certified Survey Map No. 6901 and Lands, being a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE

_____, a national banking association, duly organized and existing under and by virtue of the laws of the State of _____, as mortgagee of the above described land, consents to the surveying, dividing, mapping and restricting of the land described on this map and in the surveyor's certificate, and to the certificate of the owner of said land.

Date: _____

Entity Name: _____

Signature: _____

Print Name: _____

Title: _____

STATE OF _____ }
 _____ } SS
 _____ COUNTY }

PERSONALLY came before me this _____ day of _____, 20_____,

_____, the _____ of the above named organization, to me known to be the person who executed the foregoing instrument and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

(Notary Seal)

```
(print name)
```

Notary Public, State of Wisconsin

My commission expires

CERTIFIED SURVEY MAP NO. _____

A division of Outlot 2 in Certified Survey Map No. 6901 and Lands, being a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

VILLAGE OF JACKSON PLANNING COMMISSION APPROVAL

This Certified Survey Map is hereby APPROVED by the Planning Commission of the Village of Jackson on

this _____ day of _____,2025.

Date: _____
Brian J. Heckendorf, Chairperson

VILLAGE OF JACKSON BOARD APPROVAL

This Certified Survey Map is hereby APPROVED by the Village Board of the Village of Jackson on

this _____ day of _____,2025.

Date: _____
Brian J. Heckendorf, Village President

Date: _____
Jen Heidtke, Village Administrator



Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: March 20, 2025

Agenda Item: # 4

To: Plan Commission

From: Collin Johnson, Director of Inspections/Zoning

Subject: Ordinance #25-03 Rezoning of Parcel V3_008700K and a Portion of Parcel V3_007900Y - Dittmar Properties, LLC

Background and Analysis:

Dittmar Properties, LLC. seeks to rezone a portion of their property identified as all of Parcel V3_008700K and a portion of Parcel V3_007900Y located in the Village of Jackson. The parcels were joined under a previously approved Certified Survey Map. Current zoning designations including Planned Unit Development (PUD), Single-Family Residential District, and R-9 Mobile Home Park are assigned to these properties. The owner intends to construct multi-family housing within a single building. Therefore, staff are recommending a rezoning to R-8 Multi-Family District which will allow for the multi-family development to proceed.

The property is further described as follows:

A division of Outlot 2 in Certified Survey Map No.6901 and Lands, being a part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section18, in Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

Comprehensive Plan & Zoning Impacts:

The property is designated Multi-Family/High Density Urban Residential under the Village Comprehensive Plan and currently has multiple zoning designations including R-1 Single-Family Residential, R-9 Mobile Home Park, and Planned Unit Development District.

Site Plan:

See attached location map.

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision.

Signage:

N/A



Taking the lead in Washington County.

Additional Staff Comments:

Building Inspection/Zoning

- Staff recommends approval of the rezoning.

Notice Requirements:

- Posting on the agenda
- Notification of all contiguous property owners
- Notification of all other municipalities located within 1000 feet of subject property (Including any non-contiguous.)
- Class II Notice for Public Hearing

Potential Action:

Motion to recommend the Village Board approve the rezoning of Parcel V3_008700K from Planned Unit Development (PUD) District to R-8 Multi-Family District and a portion of Parcel V3_007900Y from R-1 Single-Family Residential and R-9 Mobile Home Park District to R-8 Multi-Family District.

Attachments:

1. PC Application
2. Location Map
3. Ordinance 25-03 (DRAFT) to Rezone Parcel V3_008700K and Parcel V3_007900Y

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

- ☐ COMMERCIAL ☐ INDUSTRIAL ☐ RESIDENTIAL ☐ OTHER _____
- ☐ CONDITIONAL USE ☐ PLANNED UNIT DEVELOPMENT ☐ CERTIFIED SURVEY MAP
- ☐ New ☐ New ☐ CONCEPT PLAN
- ☐ Amendment ☐ Amendment ☐ COMP. PLAN AMENDMENT
- ☐ Special Use ☐ Special Use ☐ OTHER _____
- (For existing Cond. Use ONLY) (For existing PUD ONLY)

Property Address: Rosewood Lane Unit: _____ Jackson, WI

Parcel #: Lot 1 Lot Size: 45,210 sq. ft. Building Area: _____ sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☐ PUD ☐ Other R-1 Floodplain: Y / N

APPLICANT INFORMATION

Name(s): Dittmar Realty, Inc

Mailing Address: PO Box 99, Menomonee Falls State WI Zip 53052

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

BUSINESS INFORMATION (If New Business)

Legal Business Name: _____

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): Dittmar Properties, LLC

Address: N81 W15111 Appleton Ave, Menomonee Falls State WI Zip 53051

Office: (262) 251-5800 Cell: (414) 870-5819 Fax: (____) _____

Email: cdunn@drilots.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: R.A. Smith, Inc.

Primary Contact: John Casucci

Address: 16745 W Bluemound Rd, Brookfield State WI Zip 53005

Office: (262) 781-1000 Cell: (____) _____ Fax: (____) _____

Email: john.Casucci@rasmith.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: Rezone to R8

Provide a brief overview of proposed use(s) of entire property and/or lease space: Construct a 6 family apartment complex.

Hours of Operation: _____

Provide a brief overview of proposed daily on-site operations: _____

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: _____

Describe all businesses, properties and other entities located adjacent to the proposed use: mobile home park to the east, single family to the west, multi-family to the north.

Describe any proposed, development, on-site improvements, or other construction/remodeling activities: _____

Describe any proposed grading, and/or stormwater management plan: _____

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____

Describe any proposed on-site security measures including site lighting: _____

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): _____

Describe the projected traffic circulation and impacts: _____

List all setbacks from rights-of-way and property lines and height limitations: _____

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: _____

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?
☐ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: _____

If construction is proposed, describe proposed exterior building materials (type, color, etc.): _____

Describe any site-specific features/constraints, etc.: _____

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: _____

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): _____

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: _____

Projected Sewer/Wastewater Usage: _____ gal/year

Projected Water Usage: _____ gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

You MUST sign and date this Application!

Applicant Name (Print):

Carla J Dunn

Applicant Signature:

CDunn

Co-Applicant Name (Print):

CO-Applicant Signature:

Date of Application:

2-22-2025

SUBMIT TO:

Village of Jackson – Building Inspection Dept.
W194 N16660 Eagle Drive
Jackson, WI 53037

PAYMENT INFO:

Payment is required at the time of submittal.
Cash, Checks, or Credit Cards are accepted (fees apply)
(Make checks payable to Village of Jackson)

QUESTIONS?

Zoning Director:

For questions concerning **application submittal, zoning, or technical questions.**

Phone:

(262) 677-9696 x810

Email:

collin.johnson@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: 2/27/25
Amount: \$ 425.00
Payment Type: CH / CC / CASH
Check/Rcpt. #: 030511
Received By: [Signature]

VILLAGE OF JACKSON

N168W19851 MAIN ST

JACKSON, WI 53037

Receipt Nbr: 296118

Date: 2/27/2025

Check

RECEIVED
FROM

DITTMAR REALTY

\$425.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	425.00
	DITTMAR REZONE/ROSEWOOD LN/CK#030511	

TOTAL RECEIVED	425.00
----------------	--------

Receipt Memo: DITTMAR REZONE/ROSEWOOD LN/CK#030511

Rosewood Lane



3/10/2025, 8:41:58 AM

- Current Parcel

Override 1

Address Point

Lot Number

Certified Survey Number

Leader Lines
- Parcel Taxkey & Acreage

PLSS Section

PLSS Quarter

Lot

Plat

Certified Survey Map
- Right-of-Way

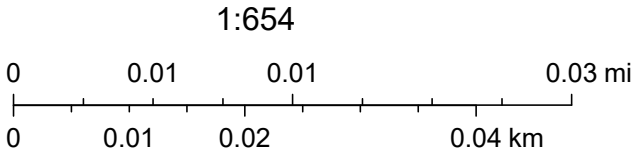
Municipality

Local Road Labels

Local Road

Named Private Drive

Meander Line



ORDINANCE #25-03

TO REZONE ALL OF PARCEL V3_008700K AND A PORTION OF PARCEL V3_007900Y IN THE VILLAGE OF JACKSON AND TO AMEND THE ZONING MAP OF THE VILLAGE OF JACKSON PURSUANT TO SECTION 48.34 OF THE MUNICIPAL CODE

WHEREAS, the Village Board for the Village of Jackson adopted zoning regulations for the Village of Jackson and has amended such regulations from time to time; and

WHEREAS, the zoning regulations, as amended, are codified as Chapter 48 of the Village of Jackson municipal code, which is titled "Zoning"; and

WHEREAS, the Village of Jackson hereby proposes to amend the zoning classification of Parcel: V3__008700K and Parcel: V3_007900Y; and

WHEREAS, the proposed rezoning has been submitted to the Village of Jackson Plan Commission for report and recommendation; and

WHEREAS, the Village of Jackson Plan Commission considered the matter at its meeting on March 20, 2025, and recommended approval; and

WHEREAS, the Village Board conducted a public hearing on April 8, 2025; and

WHEREAS, the Village Plan Commission has recommended to the Village Board that a permanent zoning classification of R-8 Multi-Family District be made; and of the recommendation of the Plan Commission, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, having determined that the zoning classification is consistent with the Village's Comprehensive Plan, and having based its determination on the effect of granting of said zoning on the health, safety, and welfare for the community, and the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as the impact on the surrounding properties as to the noise, dust, smoke, odor and others, has hereby determined that the zoning classification will not violate the spirit or intent the zoning ordinance for the Village of Jackson, will not be hazardous, harmful, noxious, offensive or a nuisance by reason of noise, dust, smoke odor or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the development is conducted pursuant to the following conditions and is in strict compliance with the same.

NOW, THEREFORE BE IT RESOLVED, the Village of Jackson Village Board, Washington County Wisconsin ORDAINS AS FOLLOWS:

Section 1. To amend the zoning designation of the subject properties, as described above, and as further depicted on Exhibit A attached hereto, and described as a portion of Parcel V3_008700K from Planned Unit Development (PUD) to R-8 Multi-Family District and Parcel V3_007900Y, from R-1 Single-Family District and R-9 Mobile Home Park District to R-8 Multi-Family District, and to amend the zoning map of the Village of Jackson to incorporate the zoning of the subject property.

Section 2. Effective Date

This ordinance shall be in full force and effect from and after its passage and posting or publication as provided by law.

The Village Clerk and Village Administrator are hereby authorized and directed to make all changes within the Village of Jackson Code of Ordinances necessary to reflect this Ordinance.

Introduced by:_____

Seconded by:_____

Vote: _____aye _____nay

Passed and approved_____

VILLAGE OF JACKSON

By:_____
Brian J. Heckendorf, Village President

Attest:

Jacqueline Schuh, Village Clerk

Proof of Posting:

I, the undersigned, certify that I posted copies of this Ordinance on posting boards at the Jackson Municipal Complex, Post Office and one other location in the Village.

Village Official

Date

Exhibit A





Taking the lead in Washington County.

STAFF MEMO

Village of Jackson
Plan Commission

Meeting Date: March 20, 2025

Agenda Item: # 5

To: Plan Commission

From: Collin Johnson, Director of Inspections/Zoning

Subject: Conditional Use Request and Site Plan Review - N171W21860 Caymus Court - Design 2 Construct

Background and Analysis:

The proposed development will consist of a 31,240 square foot commercial/industrial building. The building will contain three separate tenant spaces. Roughly 14,000 sf will be occupied by Symplr, a healthcare software company. The site is located on Caymus Court east of County Trunk P in the industrial park.

The proposed building will be constructed with pre-cast concrete panels and include a decorative paint scheme at the main entrance and building perimeter. It features two main entrances along the west facade, and two loading docks and three overhead doors along the east side of the building.

There are twenty-four parking stalls planned for the west side of the building, including three ADA stalls, eight parking stalls at the rear of the building and room for 18 additional future parking stalls. Based on Village parking requirements in Ordinance Section 48-177, 10 spaces are required for office personnel for the current proposed business with an additional 17 spaces required for the warehouse spaces. This is compliant with current code requirements.

The parcel is served by municipal sewer and water utilities as well as a regional stormwater retention pond. An access drive is also provided along the east side of the building for fire department access.

The building will be provided with a complete fire sprinkler system.

Comprehensive Plan & Zoning Impacts:

The parcel is classified as "Industrial" under the Village Comprehensive Plan and zoned Planned Unit Development.

Site Plan:

See attached location map.

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision following a Public Hearing.



Taking the lead in Washington County.

Signage:

N/A

Additional Staff Comments:

Building Inspection/Zoning

- Staff recommends approval of the rezoning.

Notice Requirements:

- Posting on the agenda
- Notification of all contiguous property owners
- Class II Legal Notice for Public Hearing

Potential Action:

Motion to recommend the Village Board approve/deny the Conditional Use Permit for Caymus Court Jackson, LLC-N171W21860 Caymus Court. If approved, it shall be subject to the following conditions:

1. A vegetative buffer consisting of a variety of non-deciduous bushes shall be installed along the east property line to provide a visual buffer between the industrial parcel and the adjacent residential development.
2. Exterior lighting shall consist of full cutoff fixtures. Light shall not spill or encroach onto adjacent residential area.
3. A refuse enclosure shall be provided at the rear of the property.
4. Upon receipt of a written complaint and review by the Plan Commission, this Conditional Use Approval may be subject to additional regulation and/or potential revocation by the Village.

Attachments:

1. Plan Commission Application
2. Location Map
3. Building Plans

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

☐ COMMERCIAL ☒ INDUSTRIAL ☐ RESIDENTIAL ☐ OTHER _____

☒ CONDITIONAL USE

☒ New
☐ Amendment
☐ Special Use
(For existing Cond. Use ONLY)

☐ PLANNED UNIT DEVELOPMENT

☐ New
☐ Amendment
☐ Special Use
(For existing PUD ONLY)

☐ CERTIFIED SURVEY MAP

☐ CONCEPT PLAN
☐ COMP. PLAN AMENDMENT
☐ OTHER _____

Property Address: N171 W21860 CAYMUS WAY JACKSON, WI Unit: Jackson, WI

Parcel #: 008700U Lot Size: 131,721 SF sq. ft. Building Area: 31,240 SF sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☒ PUD ☐ Other _____ Floodplain: Y / ☒ N

APPLICANT INFORMATION

Name(s): Mike Krenz - Design 2 Construct

Mailing Address: N173 W21010 Northwest Passage State WI Zip 53037

Office: (262) 677-9933 Cell: (414) 510-0034 Fax: (262) 677-9934

Email: mkrenz@design2construct.com

BUSINESS INFORMATION (If New Business)

Legal Business Name: Symplr

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: 1550 Innovation Way State WI Zip 53027

Office: (262) 239-9443 Cell: () _____ Fax: () _____

Email: szimmerman@symplr.com

Website: symplr.com

PROPERTY OWNER INFORMATION

Name(s): Group Abbacus 2, LLC

Address: N173 W21010 Northwest Passage State WI Zip 53037

Office: (262) 677-9933 Cell: (262) 224-1333 Fax: (262) 677-9934

Email: jblise@design2construct.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: Groth Design Group

Primary Contact: Peter Damsgaard

Address: N58 W6181 Columbia Road State WI Zip 53012

Office: (262) 377-8001 Cell: (414) 943-2556 Fax: () _____

Email: pdamsgaard@gdg-architects.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: New freestanding industrial building
and associated site construction.

Provide a brief overview of proposed use(s) of entire property and/or lease space: 3 tenant building. Symplr to
occupy approx. 14,117 SF of warehouse and 2,683 SF of office space. Another 2 future tenant buildouts
approx 5,720 SF each to be white box finished.

Hours of Operation: Monday - Friday 6AM-6PM

Provide a brief overview of proposed daily on-site operations: Administration and manufacturing
of hardware and software related to integrated workforce management technology for the
healthcare industry.

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage,
noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and
exterior generators, HVAC, or other stationary mechanical equipment, etc.: None

Describe all businesses, properties and other entities located adjacent to the proposed use: _____
Commercially zoned property to the north, south, and west. Multifamily / Residential to the east.

Describe any proposed, development, on-site improvements, or other construction/remodeling activities: _____
Construction of a new 31,240 SF industrial building, parking lots and other related improvements.

Describe any proposed grading, and/or stormwater management plan: _____
Grading for the proposed development as necessary for the building and parking lot. Storm water will drain to a
common swale easement to regional ponds.

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____
Landscape improvements will follow the attached landscape plan. Please see this document for reference

Describe any proposed on-site security measures including site lighting: Light bollards, light poles and wall packs.

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): _____
Building will be fully sprinkled

Describe the projected traffic circulation and impacts: _____

Traffic will be confined to Camus Way. Typical deliveries for a industrial facility

List all setbacks from rights-of-way and property lines and height limitations: _____

Front yard setback - 40'-0", side yard setback 10'-0" at south property line and 20'-0" easement at north property line,
Rear yard setback 50'-0" easement at east property line. Allowable building height 50'-0"

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: N/A

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

☒ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: Signage to be placed on the building

If construction is proposed, describe proposed exterior building materials (type, color, etc.): _____

Precast concrete wall panels (painted), aluminum storefront entry and windows, hollow metal doors (painted),

Prefinished metal coping and canopy elements. Please refer to the building rendering for color.

Describe any site-specific features/constraints, etc.: _____

All docks and trash enclosure on the backside of the building.

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: _____

Site plan shows 32 parking stalls with 3 provided for ADA and another 18 parking stalls fur future.

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): None

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: _____

Trash will be collected in commercial trash bins which will be contained within the trash enclosure shown

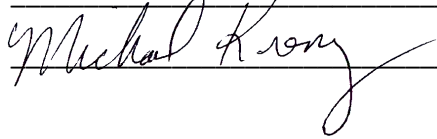
Projected Sewer/Wastewater Usage: TBD gal/year

Projected Water Usage: TBD gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

You MUST sign and date this Application!

Applicant Name (Print): Michael Krenz
Applicant Signature: 
Co-Applicant Name (Print): _____
CO-Applicant Signature: _____
Date of Application: 2/27/2025

SUBMIT TO: **Village of Jackson – Building Inspection Dept.**
W194 N16660 Eagle Drive
Jackson, WI 53037

PAYMENT INFO: **Payment is required at the time of submittal.**
Cash, Checks, or Credit Cards are accepted (fees apply)
(Make checks payable to Village of Jackson)

QUESTIONS?

Zoning Director: For questions concerning **application submittal, zoning, or technical questions.**
Phone: (262) 677-9696 x810
Email: collin.johnson@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ **TEMPORARY** *Expiration Date:* _____, 20____

Plan Commission Approval: *Meeting Date:* _____, 20____

Village Board Approval: *Meeting Date:* _____, 20____

In-House Approval (O-T-C): *Date:* _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: *Date:* _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: _____

Amount: \$ _____

Payment Type: CH / CC / CASH

Check/Rcpt. #: _____

Received By: _____

VILLAGE OF JACKSON

N168W19851 MAIN ST

JACKSON, WI 53037

Receipt Nbr: 296124**Date:** 2/27/2025**Check****RECEIVED
FROM** DESIGN 2 CONSTRUCT

\$175.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	175.00
	PLAN COMM/SIMPLR PC APPLICATION/CK#12085	

TOTAL RECEIVED	175.00
-----------------------	---------------

Receipt Memo: PLAN COMM/SIMPLR PC APPLICATION/CK#12085

Washington County

Owner (s):
D2C/GC JACKSON LLC

Mailing Address:
D2C/GC JACKSON LLC
6938 N SANTA MONICA BLVD
FOX POINT, WI 53217
Request Mailing Address Change

Location:
SW-NW,Sect. 18, T10N,R20E

School District:
6307 - WEST BEND SCHOOL

Tax Parcel ID Number:Tax District:
008700U V3-VILLAGE OF JACKSON

Status:
Active 01-11-2022

Alternate Tax Parcel Number:Government Owned:Acres:

3.0300

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):

PT NW SW CSM 7178 LOT 1 DOC 1475787+1449141

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

N171W21860 CAYMUS CT JACKSON, WI 53037

Tax Payment History for 2024, Washington County

Receipt #	Date	Received Of	Property Tax	Specials	Drainage	Interest	Penalty	Total
458456	1/30/2025	D2C/GC JACKSON LLC	\$1,633.22	\$0.00	\$0.00	\$0.00	\$0.00	\$1,633.22
458465	1/30/2025	D2C/GC JACKSON LLC	\$1,633.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,633.00



February 27, 2025

Development Department
Village of Jackson
W194 N16660 Eagle Drive
Jackson, WI 53037

RE: Caymus Court Spec / Symplr

Introduction:

Included with this project narrative you will find the graphical information regarding the proposed business development located on the vacant lot on Caymus Court in the industrial park. The proposed development will be a relocation of an existing business currently located in the City of Hartford Business Park. The new development will include a new multi-tenant, free-standing 31,240SF square foot single story industrial building and the requisite site development needed to support the new building.

Existing Site:

The existing site is approximately 3.03 acres and is currently vacant. The site frontage is like use business to the north, south and west multi-tenant housing to the east. Vehicular access to the site will be off of Caymus Court.

Plan of Operation:

The intended tenant provides manufacturing of hardware and software for the healthcare industry

The office and warehouse hours are Monday – Friday, 6:00 am – 6:00 pm.

Proposed Building / Site:

The total proposed building is approximately 31,240 square feet. The site design provides 32 total parking spaces (including 3 accessible spaces) located along the western boundary of the site. Site access will remain off Caymus Court.

The building will be constructed using a combination of painted precast concrete, prefinished metal wall panels, prefinished metal canopy element and aluminum storefront glazing systems and entrances.

HVAC units are intended to be located on the roof.

Please refer to the enclosed civil engineering for stormwater design.



Please refer to the enclosed landscape plan for intended site plantings.

Our site lighting design includes lighting levels for the parking lots that provide an adequate level of light utilizing lighted bollards. There are also full cut off wall packs on all four sides off the building.

This is a relocation of a long-standing established use and is consistent with the nature of the surrounding neighborhood. The traffic patterns in the neighborhood are already established and will not be negatively impacted by the new development.

If you have any questions or concerns regarding this proposed development, please feel free to contact our office.

Sincerely,
Michael Krenz



Design 2 Construct

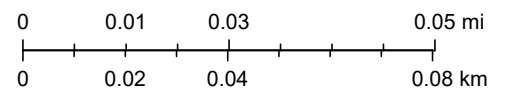
N171 W21860 Caymus Court



3/10/2025, 9:36:00 AM

1:1,477

- | | | |
|-------------------------|----------------------|---------------------|
| Current Parcel | PLSS Boundary | Right-of-Way |
| Override 1 | PLSS Section | Municipality |
| Address Point | PLSS Quarter | Local Road Labels |
| Lot Number | Lot | Local Road |
| Certified Survey Number | Plat | Named Private Drive |
| Parcel Taxkey & Acreage | Certified Survey Map | |





DESIGN
•
CONSTRUCTION

PHONE (262) 677-9933
FAX (262) 677-9934

•

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

BUILDING DESIGN FOR:

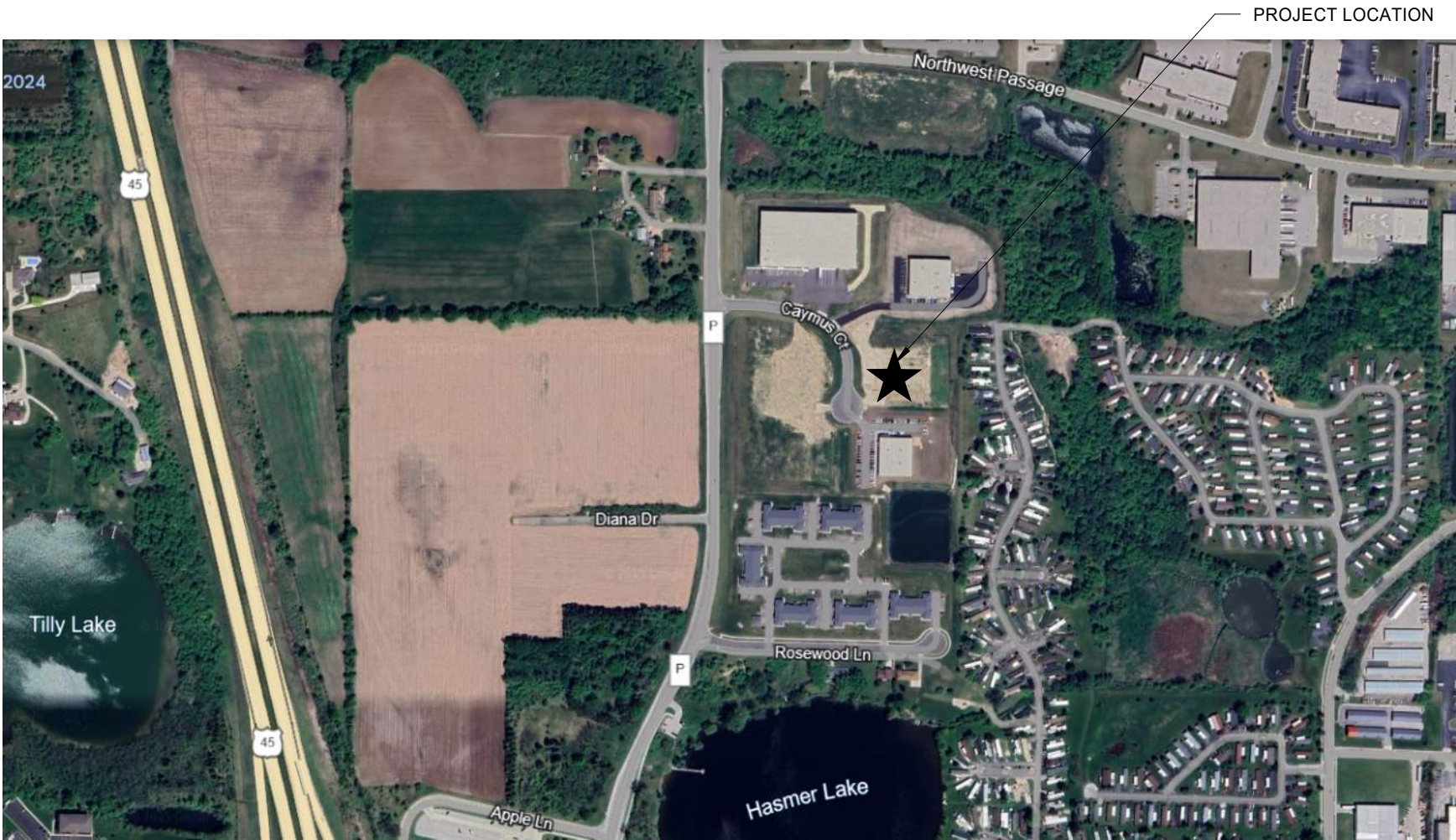
SYMPLR

N171 W21860 CAYMUS WAY
JACKSON, WI 53037

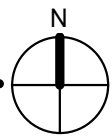
PROJECT DATA:

SHEET INDEX:

	REV DATE	REV DATE
TS TITLE SHEET		
CIVIL		
C100 ABBREVIATIONS & NOTES		
LANDSCAPING		
L100 ABBREVIATIONS & NOTES		
GENERAL		
G1.0 NOTES AND SCHEDULES		
G1.1 NOTES AND SCHEDULES		
G2.0 ACCESSIBILITY INFORMATION		
ARCHITECTURAL		
D2.0 FIRST FLOOR DEMOLITION		
X1.2 MARKETING 11x17		
ARCHITECTURAL		
A1.0 ARCHITECTURAL SITE PLAN		
A2.2 FLOOR PLAN, ENLARGED OFFICE PLAN - OPTION 2		
A3.1 REFLECTED CEILING PLAN - FIRST FLOOR		
A4.2 EXTERIOR ELEVATIONS		
A5.1 BUILDING SECTIONS		
A5.2 WALL SECTIONS		
A5.3 DETAILS		
A6.1 ROOF PLAN - OVERALL		
A7.1 INTERIOR ELEVATIONS		
A8.1 FINISHES & FLOORING PATTERN		
A9.1 FIRST FLOOR - FRAMING PLAN		
A10.1 PERSPECTIVE VIEWS		
E2.1 FIRST FLOOR - DATA AND ELECTRICAL		
STRUCTURAL		
S100 ABBREVIATIONS & NOTES		



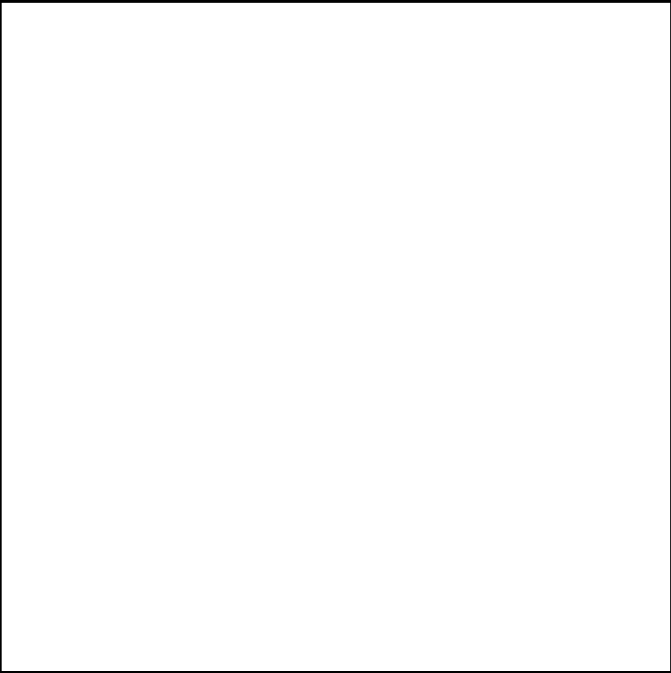
LOCATION MAP



PROJECT CONTACTS

STRUCTURAL CONSULTANT	ARCHITECT	ARCHITECT NAME
	SUPERVISING PROFESSIONAL	
	PROJECT MANAGER	PM NAME
	PROJECT NO.	22-00190
	DATE	02.27.2025
	SEAL	

CIVIL CONSULTANT



LANDSCAPE CONSULTANT

PREV. TRANS. NO.:	0000000
NEW TRANS. NO.:	0000000
REVIEWER:	REVIEWER

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

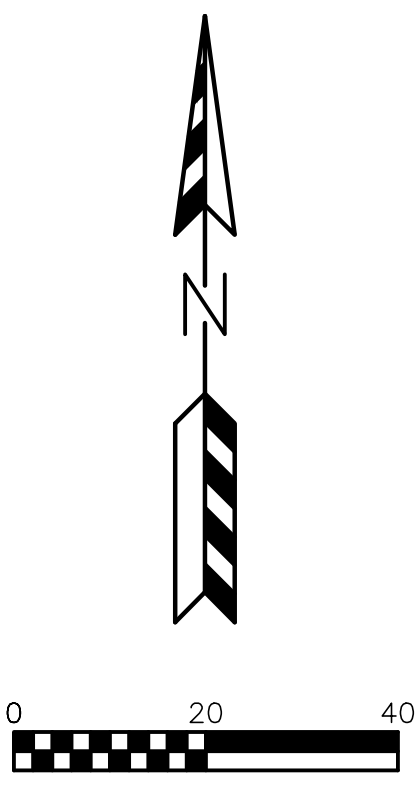
BUILDING DESIGN FOR:
SYMPLR

N171 W21860 CAYMUS WAY
JACKSON, WI 53037

SHEET TITLE
TITLE SHEET

REVISIONS

PROJECT DATA	
DATE	02.27.2025
JOB NO.	22-00190
SET USE	PLAN COMMISSION
DRAWN BY	NAZ
SHEET NO.	TS



- Ⓝ — PARKING STALLS IN A ROW
- Ⓡ — REJECT CURB
- ⓐ — ACCEPT CURB

Site Address: N171W21860 Caymus Court
Legal Description: Lot 1 CSM No. 7178
Site Acreage 3.027 Acres

Current Zoning: PUD

Front	Building
Side	40 feet
Rear	20 feet
	40 feet

Marking Stalls Provided: 32 stalls

Proposed Site Areas		
description	Area (sf)	% Impervious
Building	31,240	23.67
Asphalt/Concrete	49,481	37.49
Impervious	80,721	61.16
Grass/Lawn	51,266	38.84
Total	131,987	100.00

1. DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
2. WHERE CURB ENDS AT CONNECTIONS SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.
3. ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

HEAVY DUTY ASPHALT
8" CRUSHED AGGREGATE BASE COURSE
2 1/4" ASPHALTIC BINDER 3 MT 58-28 S
1 3/4" ASPHALTIC SURFACE 4 MT 58-28 S

 LIGHT DUTY ASPHALT
6" CRUSHED AGGREGATE BASE COURSE
1 3/4" ASPHALTIC BINDER 4 LT 58-28 S
1 1/4" ASPHALTIC SURFACE 5 LT 58-28 S

CONCRETE SIDEWALK & PATIOS
6" CRUSHED AGGREGATE BASE COURSE
4" CONCRETE

CONCRETE PAVEMENT & APRONS
6" CRUSHED AGGREGATE BASE COURSE
7" CONCRETE

[illegible]

PS&E
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:

PROJECT TITLE:
**CAYMUS COUTY SPEC (SYMPLR)
N171W21860 CAYMUS COURT
JACKSON, WI 53037**

PLAN TITLE:

PROPOSED SITE PLAN

DRAWN BY:

WWS

DESIGNED BY:

JDR

CHECKED BY:

PLAN DATE:

2/27/2025

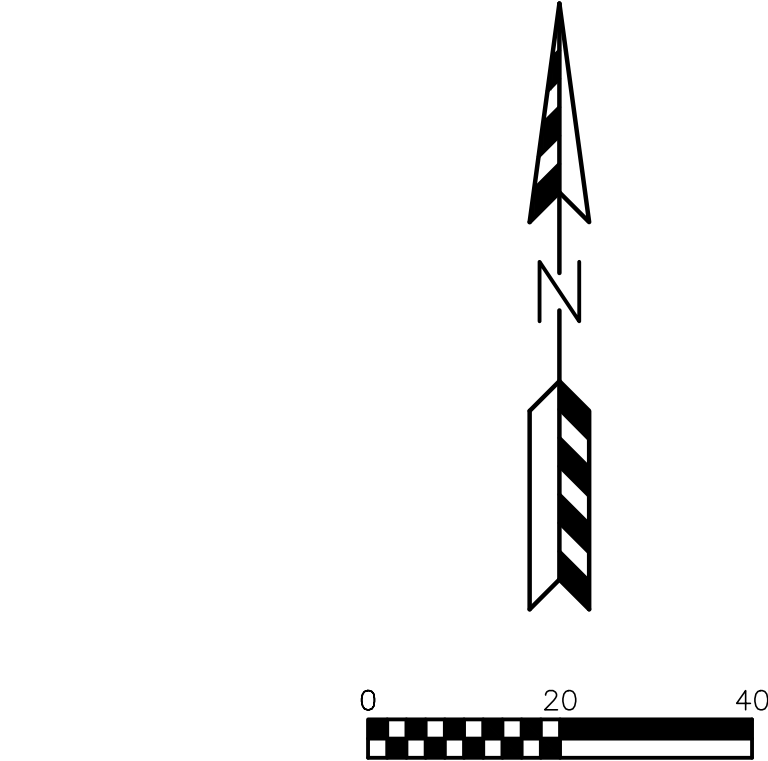
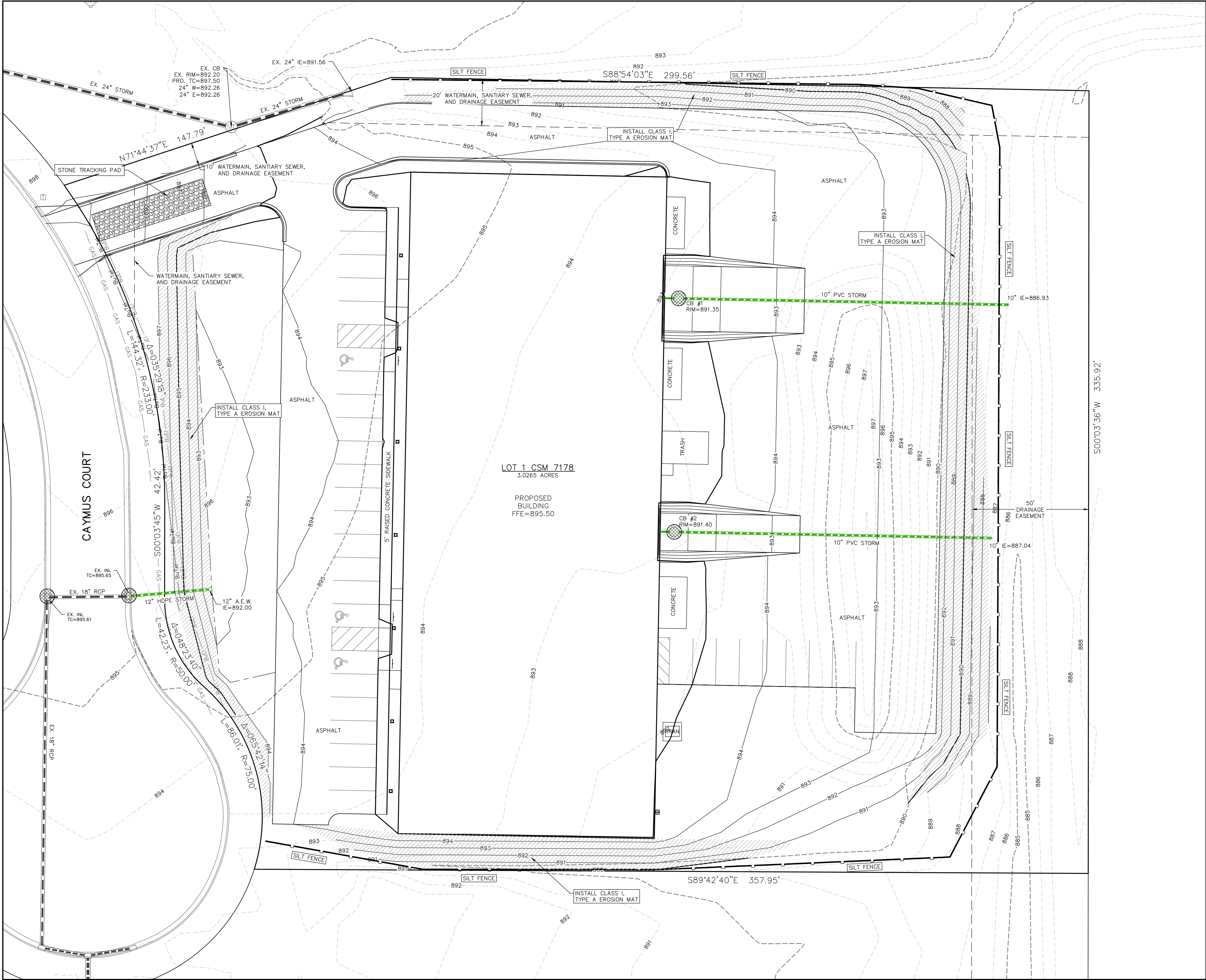
PROJECT NO.

\DE-149-24\

SUBMITTAL

SHEET NO

C1.02



DIGGERSHOTLINE

Dial 811 or (800)242-8511

www.DiggersHotline.com

LEGEND:

- 936 --- EXISTING MINOR CONTOUR.
- 935 --- EXISTING MAJOR CONTOUR.
- 936 --- PROPOSED MINOR CONTOUR.
- 935 --- PROPOSED MAJOR CONTOUR.
- PROPOSED STORM SEWER.
- EXISTING STORM SEWER.
- INSTALL WISDOT TYPE D INLET PROTECTION.
- INSTALL EROSION MATTING.
- INSTALL SILT FENCE.
- INSTALL DITCH CHECK.
- DRAINAGE ARROW.

STAGES OF CONSTRUCTION TIME SCHEDULE:

- APRIL 15, 2025
- INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE VILLAGE OF JACKSON SHALL HAVE A TRACKING PAD.
- APRIL 16, 2025 - SEPTEMBER 1, 2025
- STRIP TOPSOIL WITHIN THE LIMITS OF THE WET DETENTION PONDS AND CONSTRUCT A TEMPORARY STOCKPILE, TO BE SEEDED AND SILT FENCE PLACED AROUND THE PERIMETER.
 - CONSTRUCT BOTH WET DETENTION PONDS. ALL GRADING SHALL DIRECT ALL RUN-OFF TO THE WET DETENTION PONDS THROUGHOUT THE CONSTRUCTION PROCESS.
 - STRIP REMAINING TOPSOIL WITHIN GRADING LIMITS AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES PAGE".
 - BEGIN PROPOSED SITE GRADING - RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.
 - START CONSTRUCTION OF UTILITIES: WATER SERVICE, SANITARY SEWER AND STORM SEWER.
 - CONSTRUCT BUILDING PADS AND BUILDINGS.
 - CONTINUE SITE GRADING.
 - INSTALL BASE COURSES, PROPOSED PAVEMENTS
 - INSTALL LANDSCAPING.
 - APPLY FINAL STABILIZATION TO ENTIRE SITE.

SEPTEMBER 2 - 15, 2025
ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15.
ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)

STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH MNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.

SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.

CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY VILLAGE OF JACKSON PRIOR TO CHANGE.

AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPS SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE

REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPS.

REVISIONS:	
NO.	DESCRIPTION

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**CAYMUS COUTY SPEC (SYMLPR)
N171W21860 CAYMUS COURT
JACKSON, WI 53037**

PLAN TITLE:
**EROSION
CONTROL
PLAN**

DRAWN BY:

WWS

DESIGNED BY:

JDR

CHECKED BY:

KJP

PLAN DATE:

2/27/2025

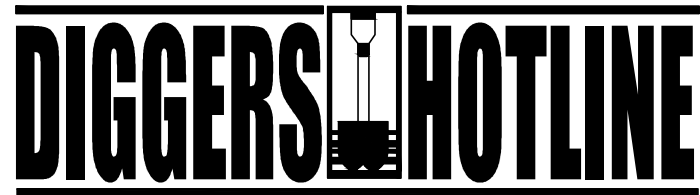
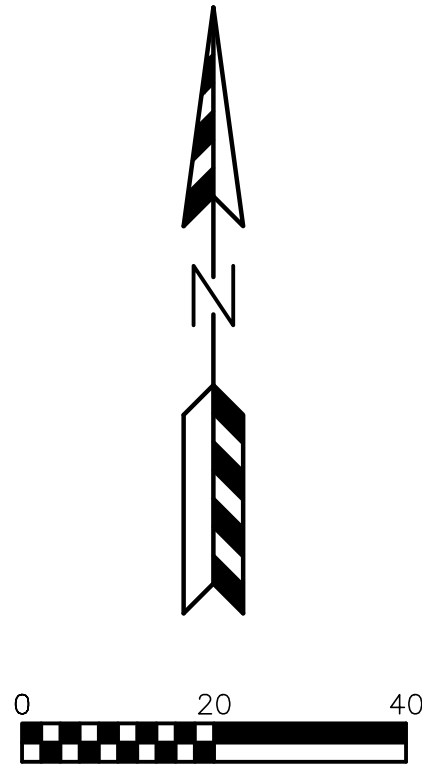
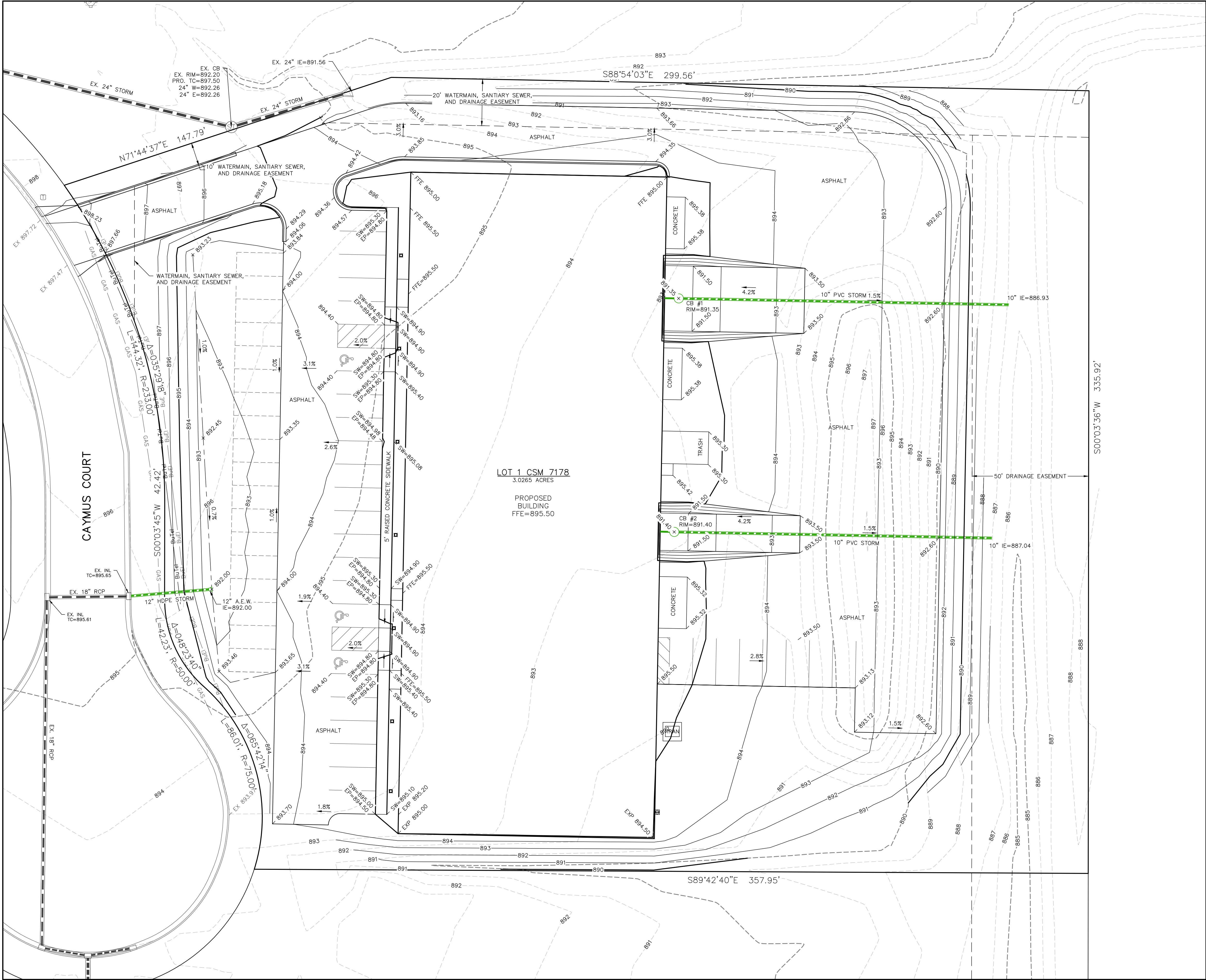
PROJECT NO:

\DE-149-24

SUBMITTAL

SHEET NO:

C1.03



Dial 811 or (800)242-8511
www.DiggersHotline.com

LEGEND:	
---	EXISTING MINOR CONTOUR.
----	EXISTING MAJOR CONTOUR.
---	PROPOSED MINOR CONTOUR.
----	PROPOSED MAJOR CONTOUR.
- EX 934.23	EXISTING SPOT ELEVATION.
- 934.23	PROPOSED CURB FLANGE ELEVATION.
- TC 934.23	PROPOSED TOP OF CURB ELEVATION.
- SW 934.23	PROPOSED SIDEWALK ELEVATION.
- EP 934.23	PROPOSED EDGE OF PAVEMENT ELEVATION.
- EXP 934.23	PROPOSED BUILDING EXPOSURE ELEVATION.
- FFE 934.23	PROPOSED BUILDING FIRST FLOOR ELEVATION.
-----	PROPOSED STORM SEWER.
-----	EXISTING STORM SEWER.

REVISIONS:	
NO.	DESCRIPTION

PSE
PARISH SURVEY & ENGINEERING
1122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**CAYMUS COUTY SPEC (SYMLR)
N171W21860 CAYMUS COURT
JACKSON, WI 53037**

PLAN TITLE:
**GRADING
PLAN**

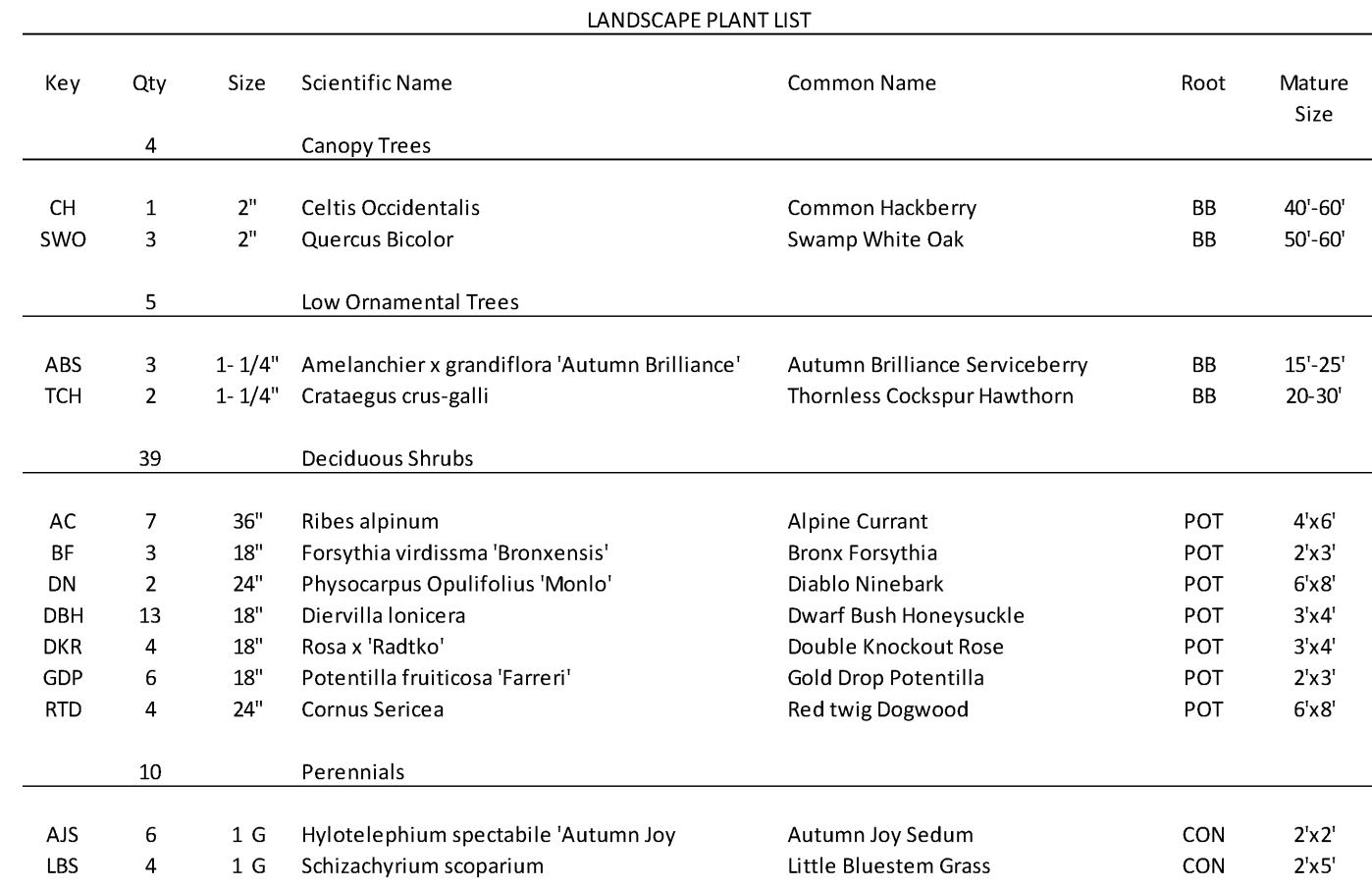
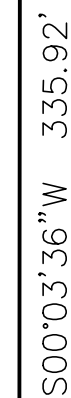
DRAWN BY:
JDR
DESIGNED BY:
JDR
CHECKED BY:
KJP

PLAN DATE:
2/27/2025

PROJECT NO:
\DE-149-24

SUBMITTAL

SHEET NO:
C1.04



PROJECT TITLE:

CAYMUS COUTY SPEC (SYMPLR)
N171W21860 CAYMUS COURT
JACKSON, WI 53037

PLAN TITLE:

LANDSCAPE PLAN

DRAWN BY:
WWS

DESIGNED BY:
JDR

CHECKED BY:
KJP

PLAN DATE:
2/27/2025

PROJECT NO:
\DE-149-24

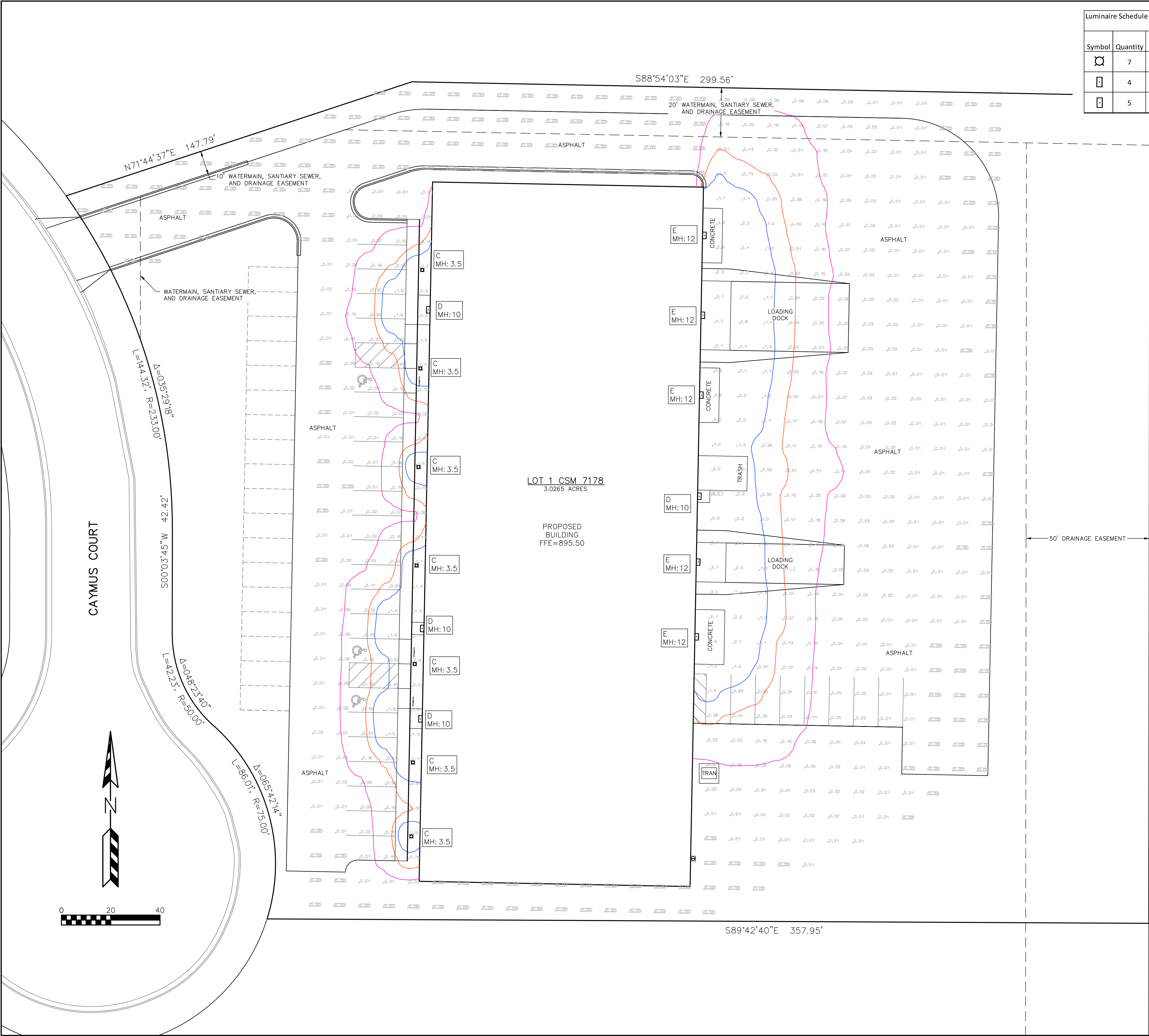
SUBMITTAL

SHEET NO:

C1.06

[illegible]

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Luminaire Schedule								
Symbol	Quantity	Label	Manufacturer	Description	Model Number	Lum Lumens	Lum Watts	LLF
	7	C	COOPER LIGHTING INVUE	ARBOR BOLLARD	ABB-B2-LED-D1-A	835	23	0.9
	4	D	COOPER LIGHTING LUMARK	AXCENT WALLPACK	AXCCS2A	2,560	21	0.9
	5	E	COOPER LIGHTING LUMARK	PREVAIL WALL LUMINARIE	PRV-P-PA1A-740-U-T4W	4,348	31	0.9

Calculation Summary						
Calc Type	Units	Average	Max	Min	Avg/Min	Max/Min
Illuminance	Fc	0.38	8.47	0.00	N/A	N/A

NOTES:
1) STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE
2) NOT A CONSTRUCTION DOCUMENT, FOR DESIGN PURPOSES ONLY
3) STANDARD INDOOR CALC POINTS @ 30 A.F.F. UNLESS NOTED OTHERWISE
4) STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE
5) PSE, LLC ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS, ETC.



FIXTURE C



FIXTURE D



FIXTURE E

REVIEWS:	
NO.	DESCRIPTION

PSE

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PROJECT TITLE:
**CAYMUS COUTY SPEC (SYMLPR)
N171W21860 CAYMUS COURT
JACKSON, WI 53037**

PLAN TITLE:
LIGHTING PLAN

DRAWN BY:
JDR
DESIGNED BY:
JDR
CHECKED BY:
KJP

PLAN DATE:
2/27/2025

PROJECT NO:
\DE-149-24

SUBMITTAL

SHEET NO:

C1.07

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES:

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360.382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL:

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTION OF THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE. AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/- 1" FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHED OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
11. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
12. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
13. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
14. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
15. ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

SPECIFICATIONS FOR PRIVATE UTILITIES:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATER MAIN SHALL BE WET TAPPED WITH A STAINLESS STEEL TAPPING SLEEVE.
3. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES AND IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN IN THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUT CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE (PER STANDARD SPECIFICATIONS). MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE-CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE ADSHYLOPLAST OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERT A WYE OR EQUIVALENT. LAST (3) THREE JOINTS SHALL BE RESTRAINED WITH RODS. PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERT A WYE OR EQUIVALENT. A MINIMUM OF 6" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6" COVER IS REQUIRED FOR ALL WATER MAIN. VALVES SHALL BE NON RISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO.8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END IN ACCORDANCE WITH 182.0715(2R) OF STATE STATUTES.
10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATER MAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
12. ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
13. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE VILLAGE OF JACKSON AND WISCONSIN DSPS STANDARDS.
14. THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
15. MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
16. ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
17. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.
18. ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY REQUIRES A PERMIT FROM THE VILLAGE OF JACKSON PUBLIC WORKS DEPARTMENT.

SPECIFICATIONS FOR PAVING:

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1-1/4" INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 LT 58-28 S IS REQUIRED UNLESS NOTED OTHERWISE A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. TACK COAT SHALL BE IN ACCORDANCE WITH THE SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.05 GAL/SY.
6. CONCRETE FOR CURB, DRIVEWAYS, WALKS, LOADING DOCKS AND NON-FLOOR SLABS SHALL CONFORM TO THE LATEST VERSION OF SECTION 415 OF THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION. CONCRETE SHALL BE GRADE A, ASTM C-94, 6 BAG MIX WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED. LOADING DOCKS SHALL HAVE REINFORCING CONSISTING OF NOVOMESH 950 FIBER MESH OR #4 BARS AT 24" ON CENTER EACH WAY PER SECTION 415.2.2 OF THE STANDARD SPECIFICATIONS.
7. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH WISCONSIN DOT SECTION 646 OF THE STANDARD SPECIFICATIONS AND WITH LOCAL CODES. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:

PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
ADA SYMBOLS: WHITE

RESTORATION NOTES:

1. ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.
2. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
3. ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

REVISIONS:	
NO.	DESCRIPTION



PROJECT TITLE:
**CAYMUS COUTY SPEC (SYMPLR)
N171W21860 CAYMUS COURT
JACKSON, WI 53037**

PLAN TITLE:

CONSTRUCTION NOTES

DRAWN BY:

WWS

DESIGNED BY:

JDR

CHECKED BY:

KJP

PLAN DATE:

2/27/2025

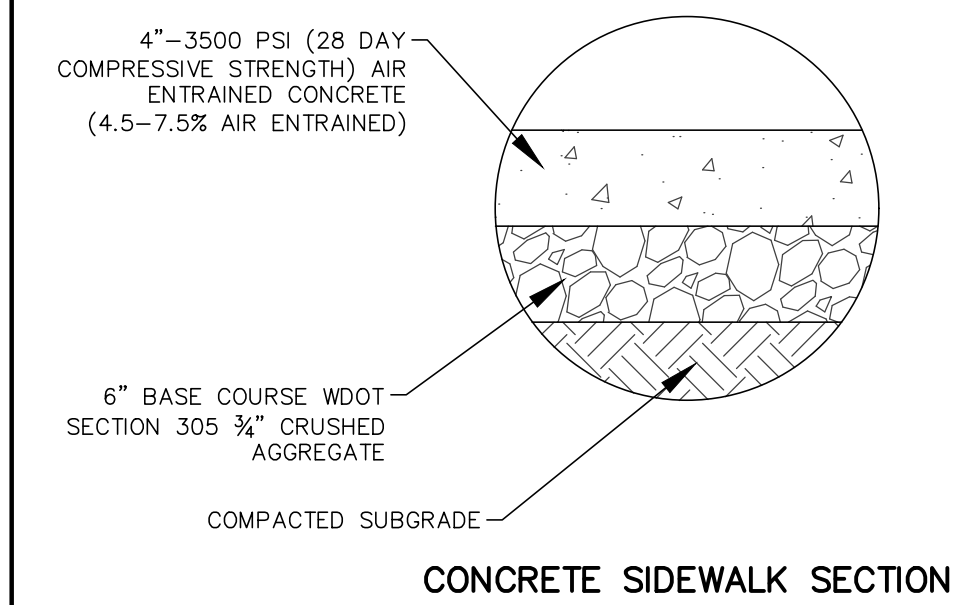
PROJECT NO:

\DE-149-24

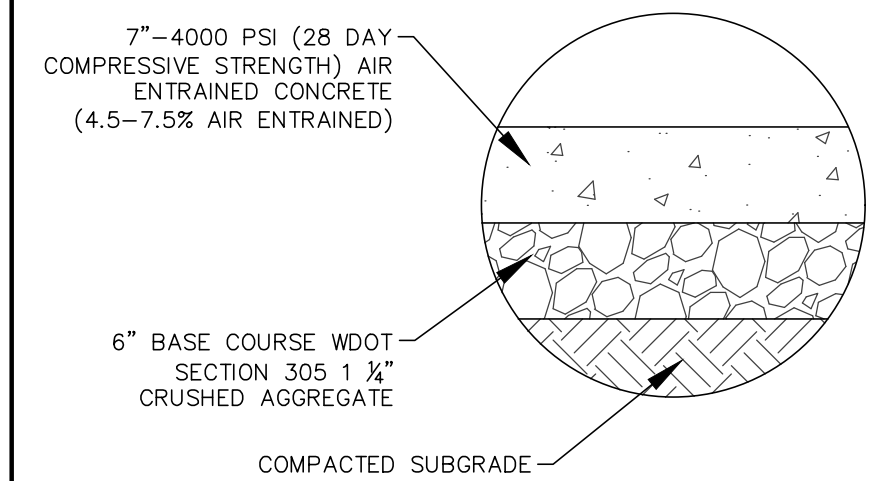
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SHEET NO:

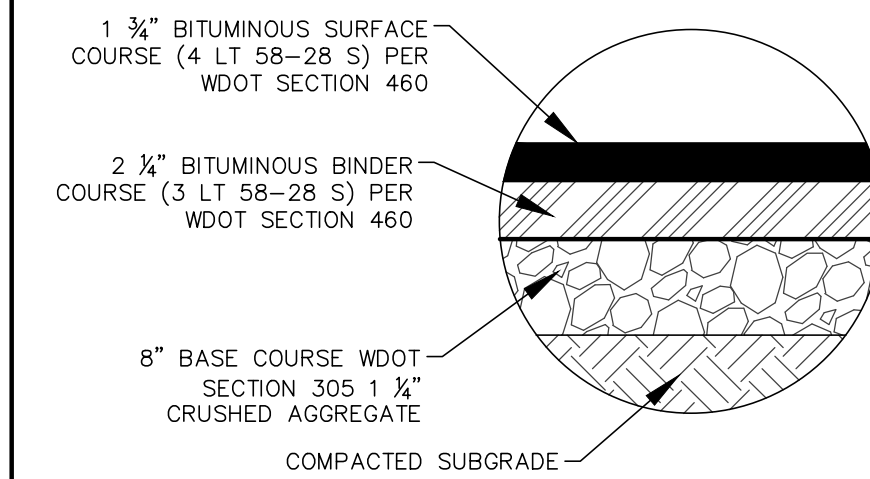
C2.01



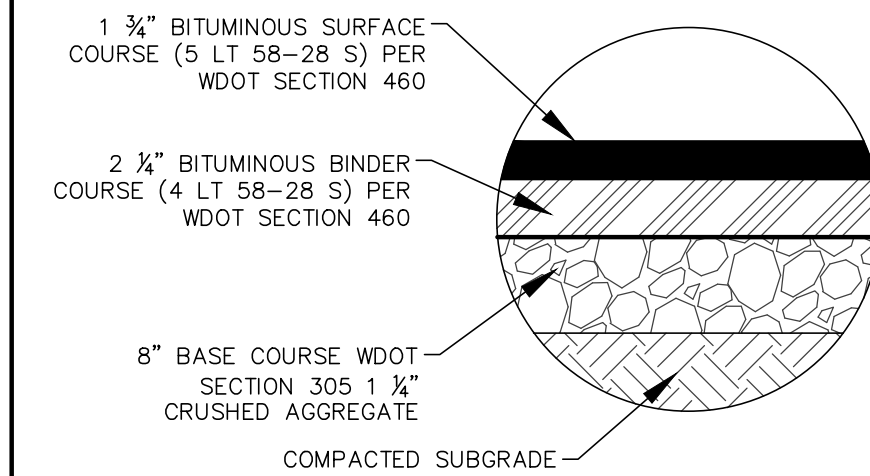
CONCRETE SIDEWALK SECTION



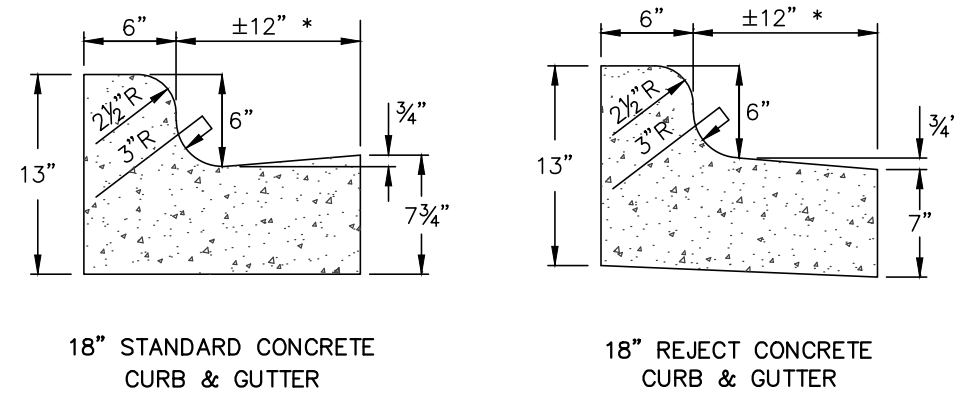
CONCRETE PAVEMENT & APRONS (HEAVY DUTY)



ASPHALT PAVEMENT SECTION



ASPHALT PAVEMENT SECTION (HEAVY DUTY)



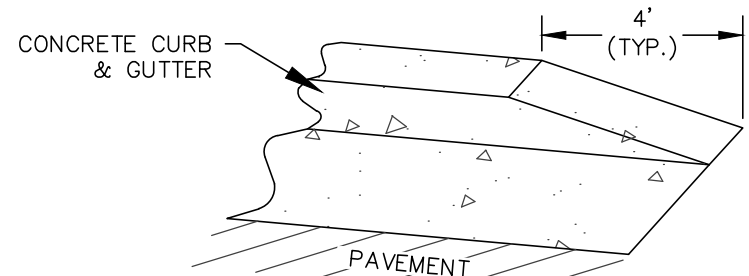
18" STANDARD CONCRETE CURB & GUTTER

18" REJECT CONCRETE CURB & GUTTER

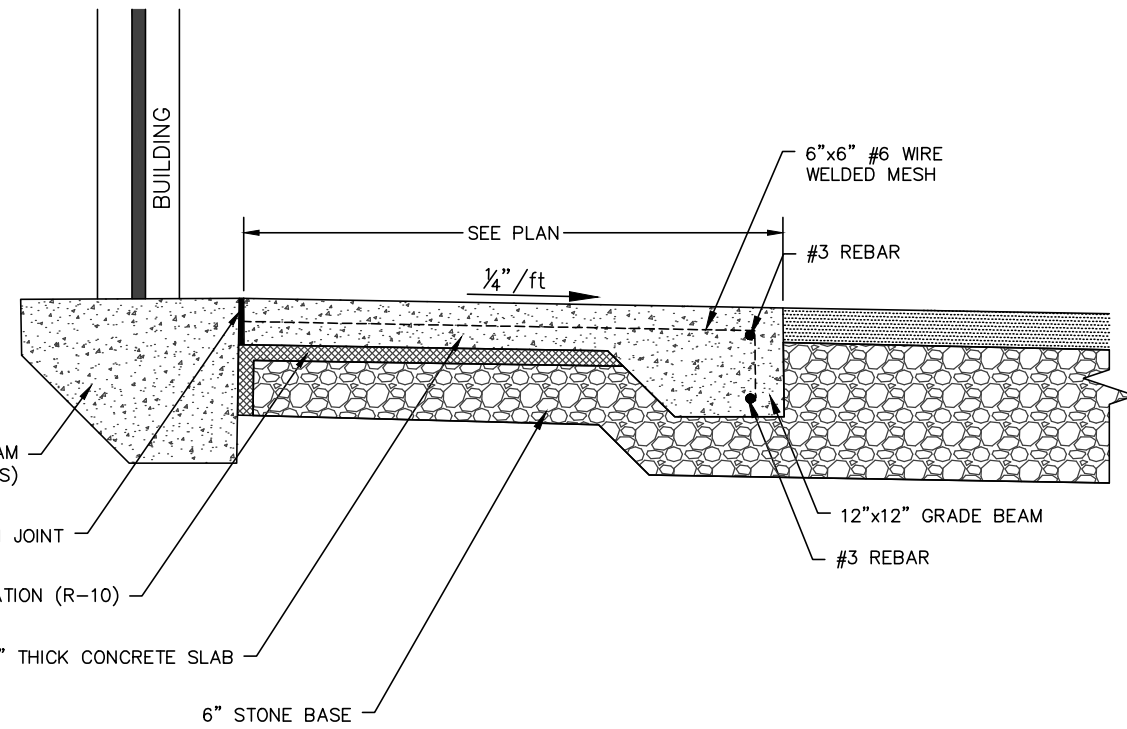
GENERAL NOTES:

1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
2. * CURB APRON ±12" TO FIT STANDARD CURB MACHINE

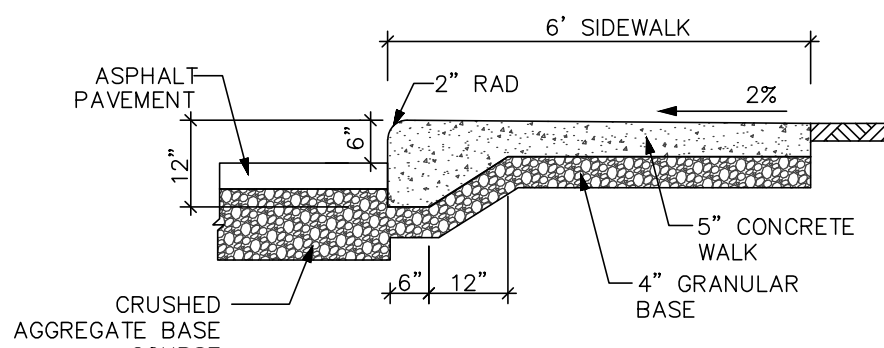
18" CURB AND GUTTER DETAILS



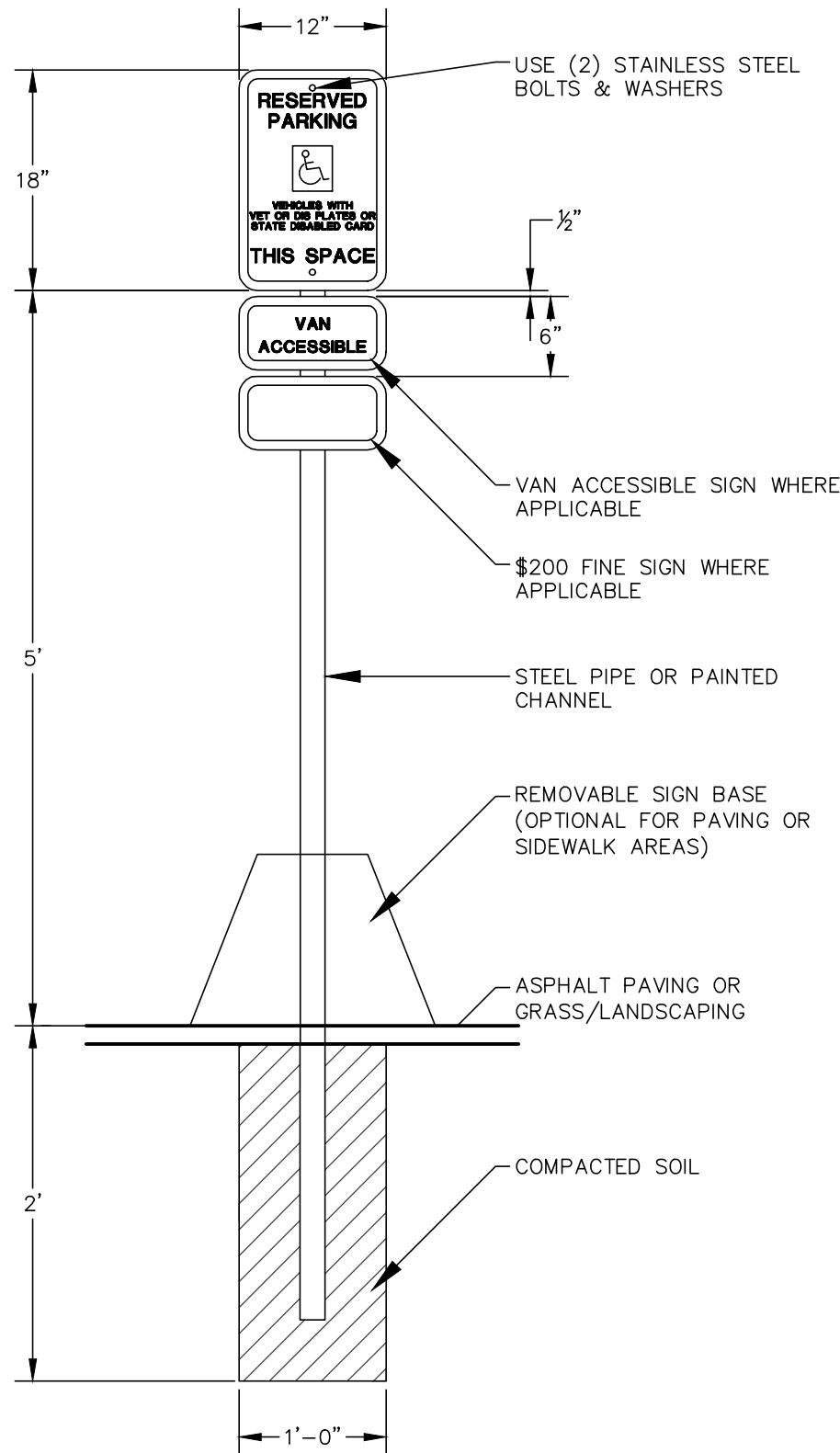
CURB TAPER DETAIL



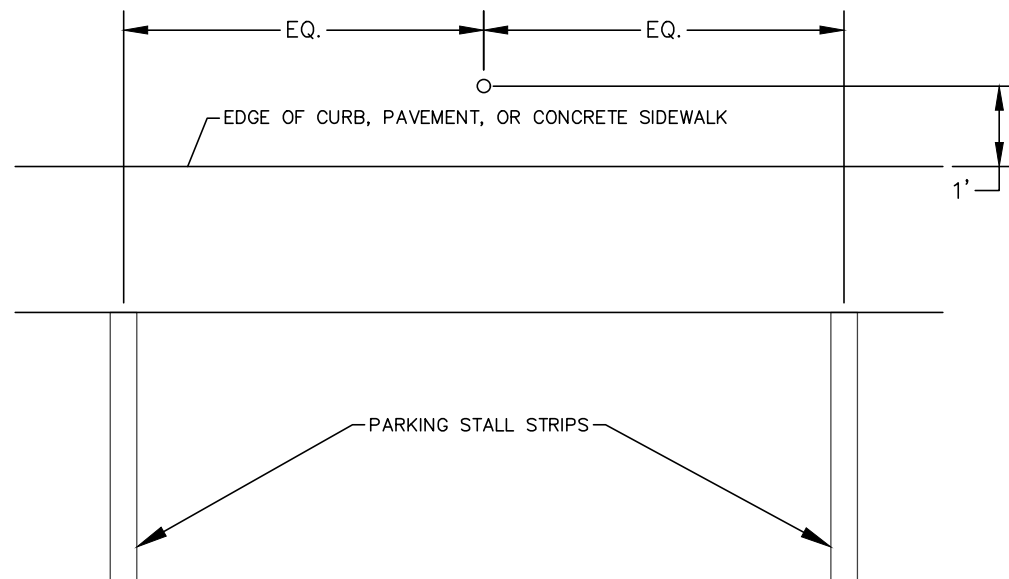
CONCRETE APRON AT OVERHEAD DOOR



RAISED SIDEWALK DETAIL

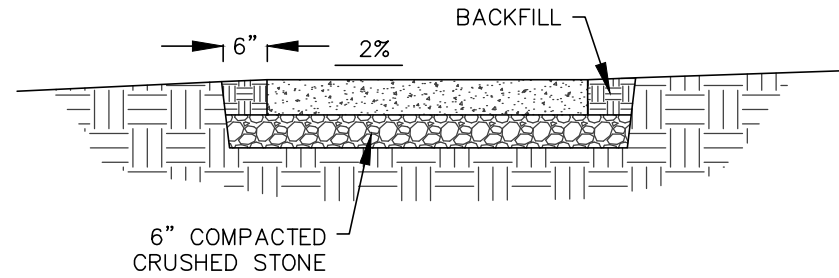


NOTE: SIGN SHALL COMPLY WITH CURRENT STATE AND ADA GUIDELINES

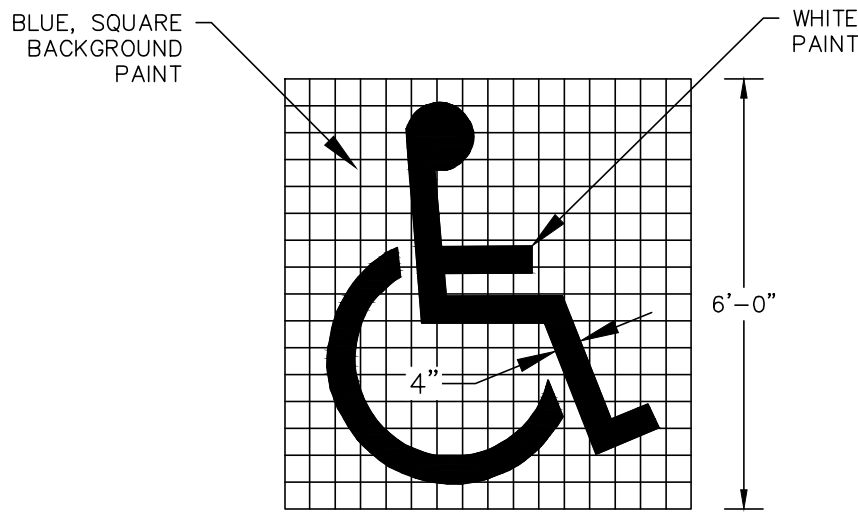


PARKING STALL PLAN VIEW

ADA COMPLIANT ACCESSIBLE SIGN DETAIL



4" CONCRETE SIDEWALK



NOTE: GRID FOR LAYOUT PURPOSES ONLY
ADA COMPLIANT ACCESSIBLE STALL PAINTED SYMBOL
NOT TO SCALE

REVISIONS:	
NO.	DESCRIPTION

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:
**CAYMUS COUTY SPEC (SYMLR)
N171W21860 CAYMUS COURT
JACKSON, WI 53037**

PLAN TITLE:
SITE DETAILS

DRAWN BY:
WWS
DESIGNED BY:
JDR
CHECKED BY:
KJP

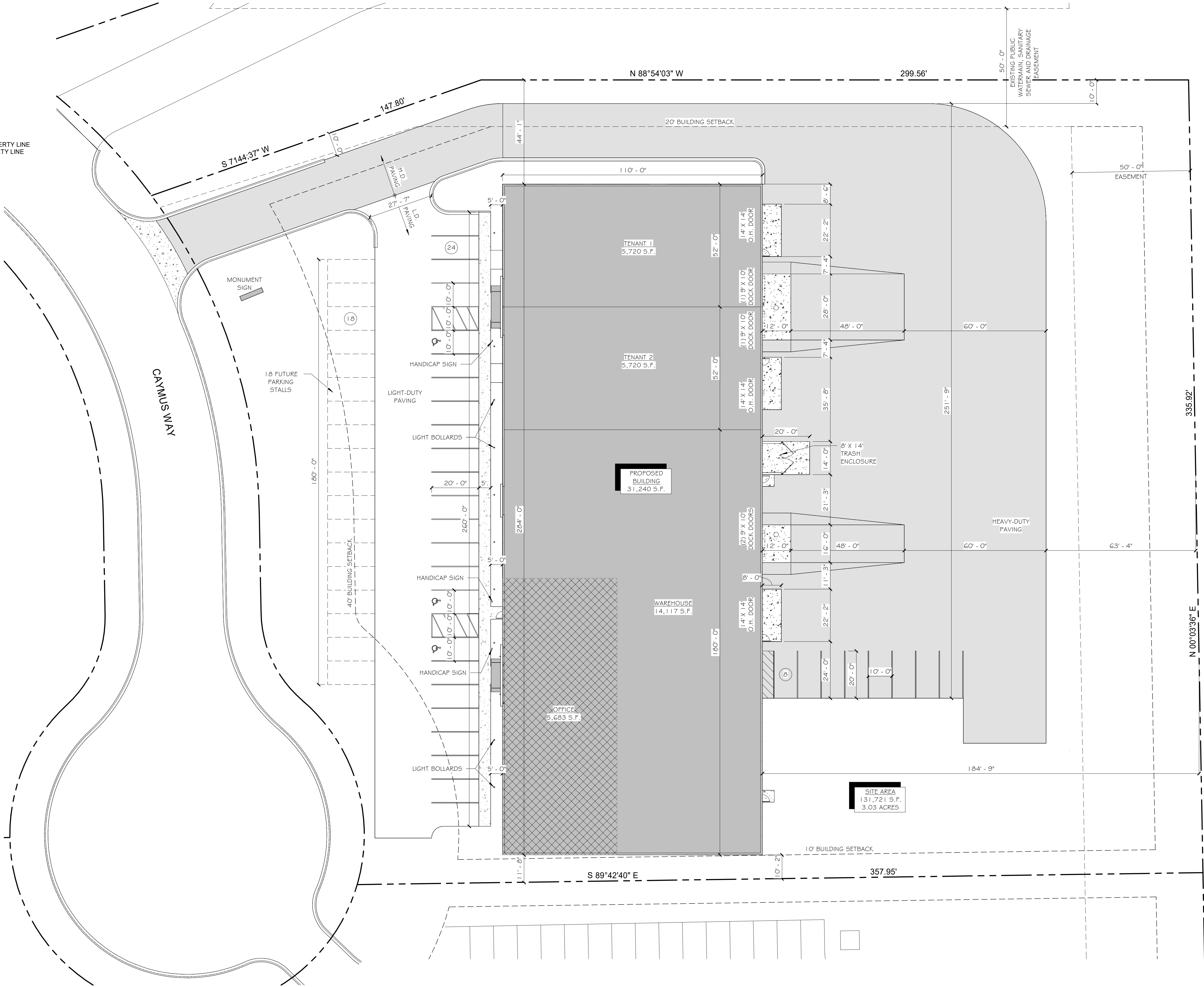
PLAN DATE:
2/27/2025
PROJECT NO:
\DE-149-24

SUBMITTAL

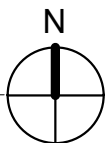
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SITE DATA:

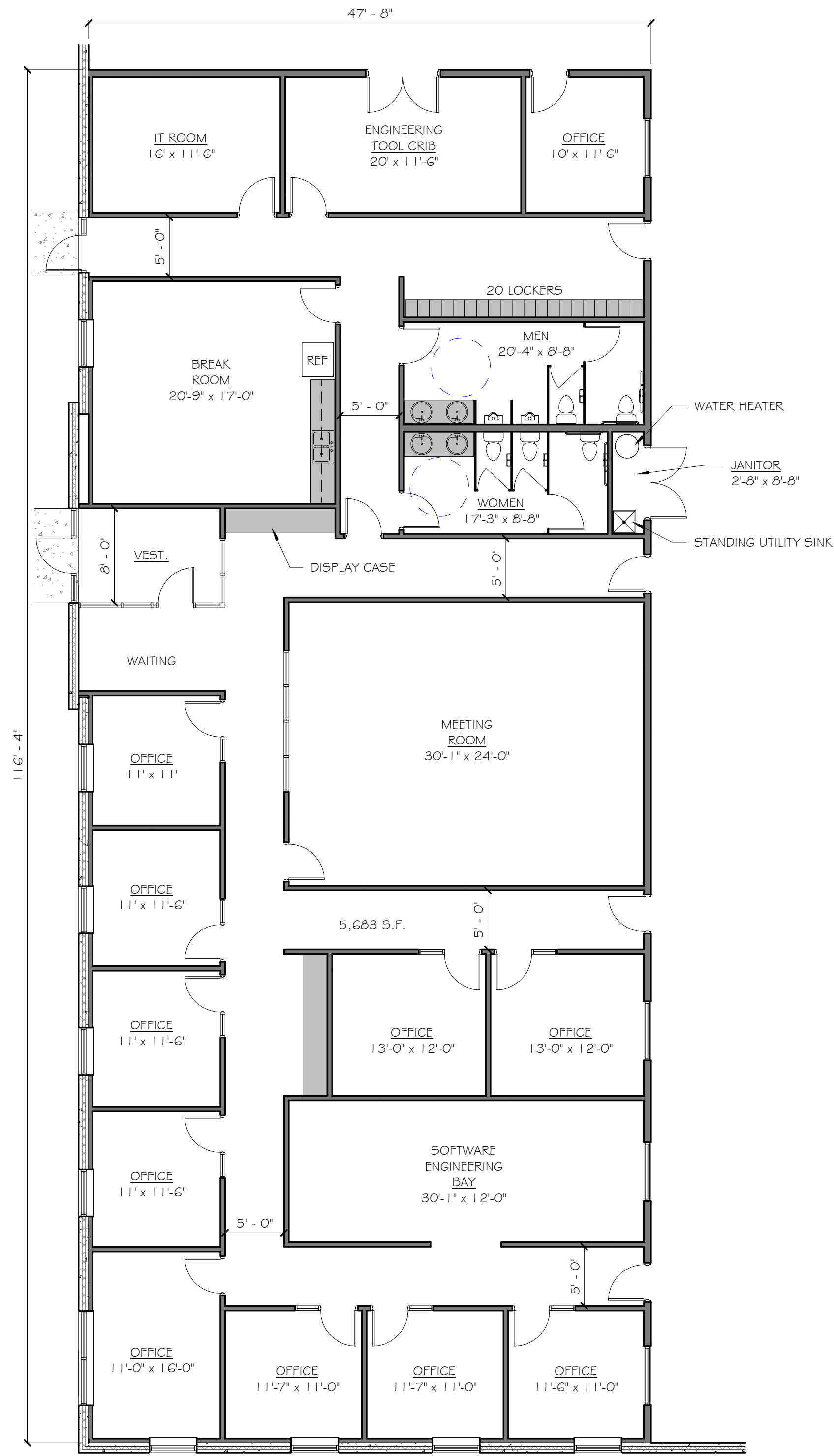
SITE AREA:	131,721 S.F. 3.03 ACRES
AREA OF PROPOSED BUILDING:	31,240 SF (23.7% OF SITE)
TOTAL HARD SURFACE AREA:	49,700 SF (37.7% OF SITE)
CONCRETE AREA:	2,817 SF
HEAVY DUTY PAVING:	35,051 SF
LIGHT DUTY PAVING:	11,832 SF
LINEAR FEET OF CURB:	358'
TOTAL GREEN SPACE AREA:	50,077 SF (38% OF SITE)
ZONING DISTRICT:	PUD
ALLOWABLE BUILDING HEIGHT:	50'-0"
FRONT YARD SETBACK:	40'-0" @ SOUTH PROPERTY LINE
SIDE YARD SETBACK:	20'-0" EASEMENT @ NORTH PROPERTY LINE
REAR YARD SETBACK:	50'-0" EASEMENT @ EAST PROPERTY LINE
PARKING STALL REQUIREMENTS:	32 (INCL. H.C. STALLS)
TOTAL PARKING PROVIDED:	2
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	18
FUTURE PARKING:	



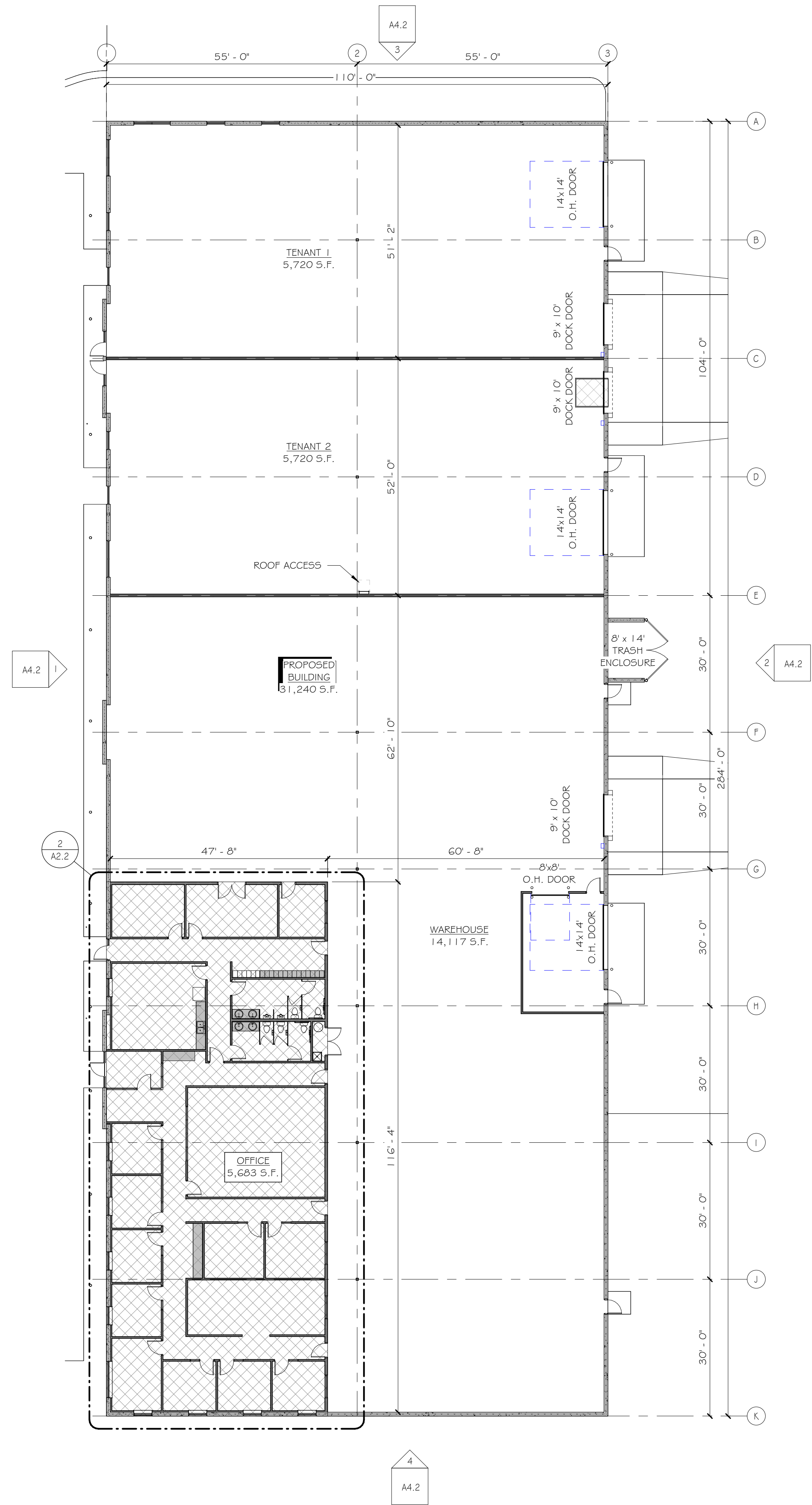
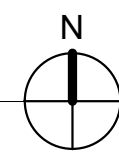
1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"



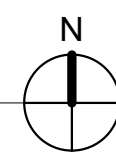
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2 ENLARGED OFFICE PLAN
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
SCALE: 1/16" = 1'-0"



SHEET TITLE

FLOOR PLAN, ENLARGED
OFFICE PLAN - OPTION 2

REVISIONS

PROJECT DATA

DATE 02.27.2025
JOB NO. 22-00190
SET USE PLAN COMMISSION
DRAWN BY TJD
SHEET NO.

A2.2

ELEVATION NOTE LEGEND

- 01 PAINTED PRECAST - MAIN COLOR
02 PAINTED PRECAST - SECONDARY COLOR
03 ANNODIZED ALUMINUM STOREFRONT
04 PREFINISHED METAL ROOF EDGE TRIM
05 HOLLOW METAL DOOR
06 OVERHEAD DOOR
07 LOADING DOCK DOOR
08 TRASH ENCLOSURE
09 CONCRETE FOUNDATION
10 PAINTED PRECAST - THIRD COLOR
11 METAL CANOPY



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:
SYMLR

N171 W21860 CAYMUS WAY
JACKSON, WI 53037

SHEET TITLE

EXTERIOR ELEVATIONS

REVISIONS

PROJECT DATA

DATE

02.27.2025

JOB NO.

22-00190

SET USE

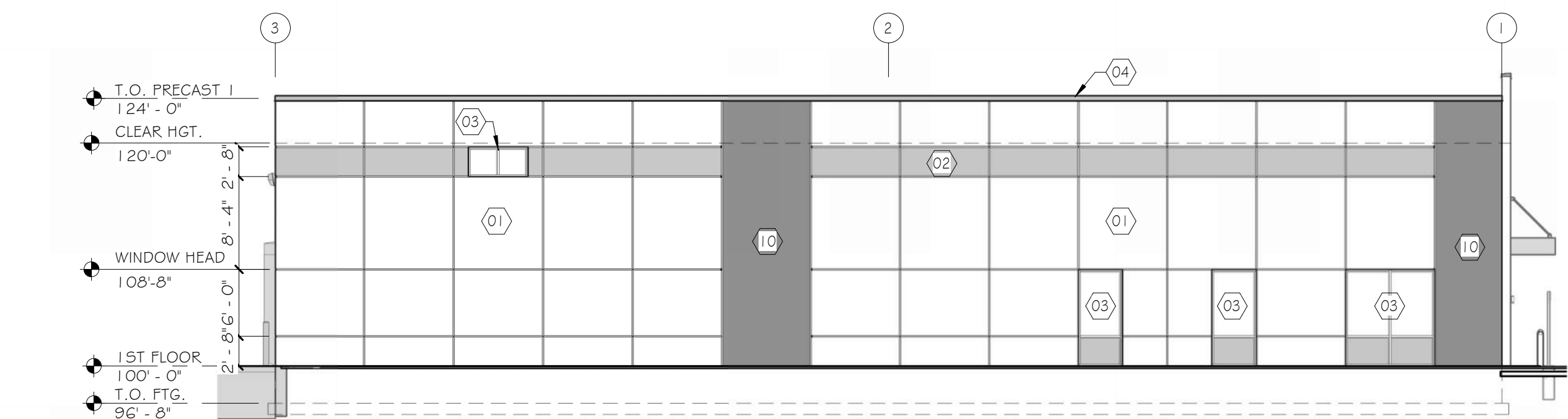
PLAN COMMISSION

DRAWN BY

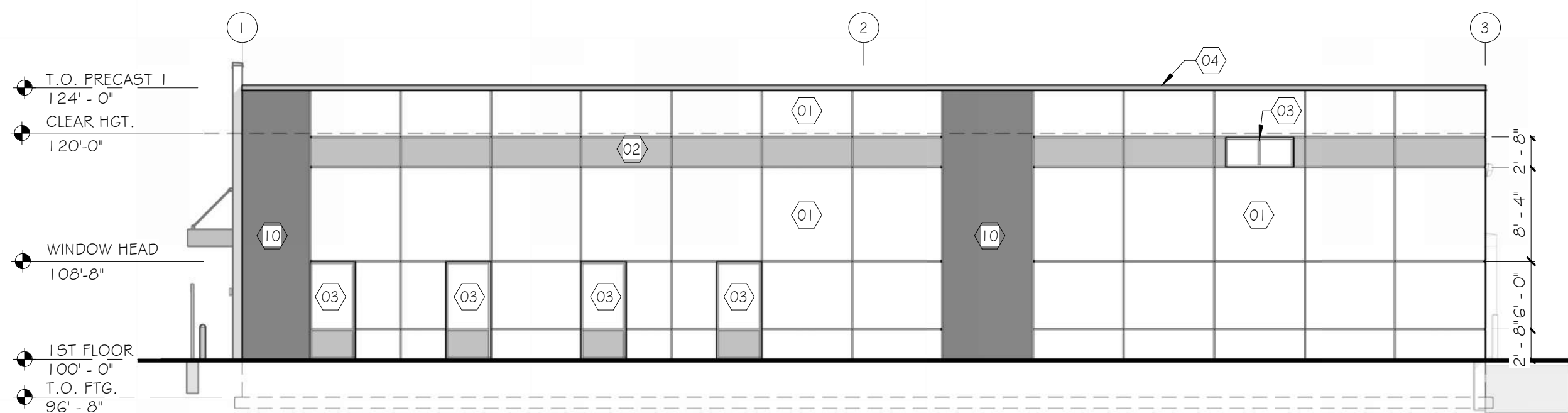
TJD

SHEET NO.

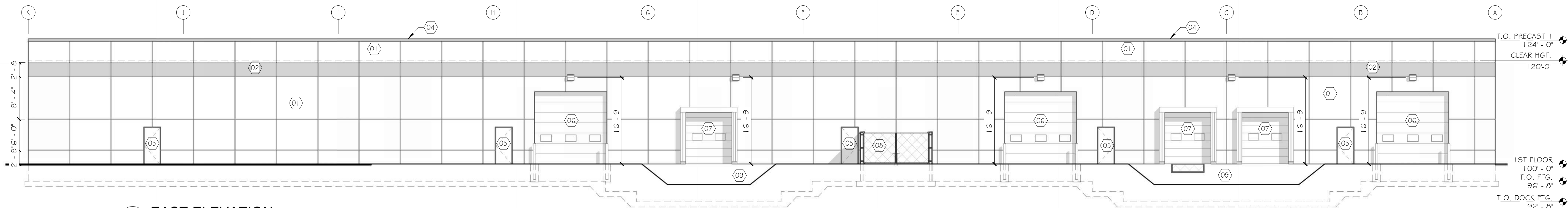
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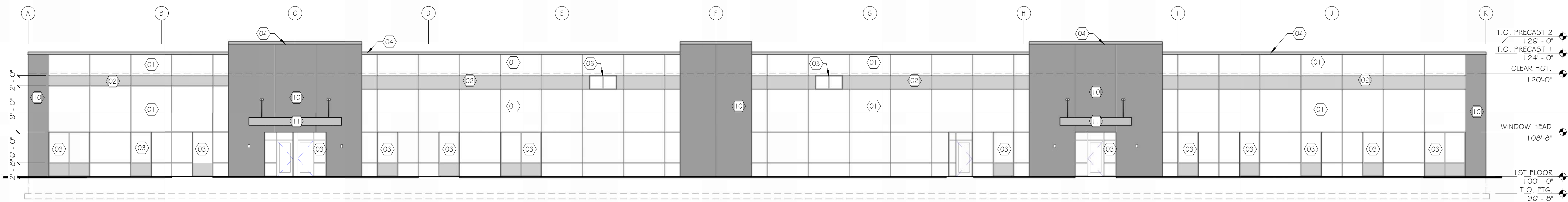
3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 WEST (FRONT) ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING (REAR) PERSPECTIVE
SCALE:



1 BUILDING (FRONT) PERSPECTIVE
SCALE:

BUILDING DESIGN FOR:
SYMLR
N171 W21860 CAYMUS WAY
JACKSON, WI 53037

SHEET TITLE

PERSPECTIVE VIEWS

REVISIONS

PROJECT DATA

DATE

02.27.2025

JOB NO.

22-00190

SET USE

PLAN COMMISSION

DRAWN BY

DLH

SHEET NO.

A10.1





Project		Catalog #		Type	
Prepared by		Notes		Date	



Invue

ABB Arbor Bollard

Pathway Luminaire

Product Features



- Interactive Menu**
 - Order Information page 2
 - Product Specifications page 2
 - Optical Distributions page 3

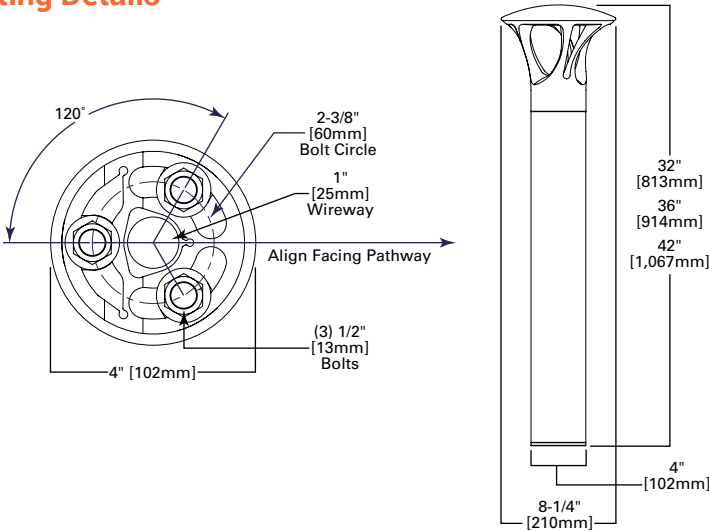
Product Certifications



Quick Facts

- Complimentary to Arbor post top
- Two piece cast aluminum housing and extruded aluminum shaft
- WaveStream LED optics
- Symmetric and asymmetric distributions
- 4000K @ 70 CRI standard, 3000K @ 80 CRI optional
- 0-10V dimming driver standard
- Optional integrated sensor for on/off or bi-level dimming

Dimensional and Mounting Details



Ordering Information

SAMPLE NUMBER: ABB-B2-LED-42-D1-A-GM

Product Family	Lumen Output ¹	CRI / CCT ¹²	Source	Nominal Height	Voltage	Distribution	Color
ABB =Arbor Bollard BAA-ABB =Arbor Bollard Buy American Act Compliant 10	B1 =Mid Lumen Output B2 =High Lumen Output	[Blank] =70 CRI / 4000K CCT 8027 =80 CRI / 2700K CCT 8030 =80 CRI / 3000K CCT ⁶	LED	30 =32" 36 =36" 42 =42"	D1 =Dimming Driver (120-277V) ² 347 =347V ³ 480 =480V ^{3,4}	A =Asymmetric S =Symmetric	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White CC =Custom Color ⁵
Options (Add as Suffix)				Accessories (Order Separately) ⁷			
8030 =80 CRI / 3000K CCT ⁶ HA =High Ambient ⁷ MS/DIM-H8 =Motion Sensor for Dimming or Bi-Level Operation (Horizontal Detection) ⁸ MS/DIM-2H8 =Twin Motion Sensors for 360° Dimming or Bi-Level Operation (Horizontal Detection) ⁸ DIM =0-10V Dimming Driver Leads Brought Out from Fixture				ABAnchor =Anchor Bolt Kit and Template ⁹ ISHH =Wireless Configuration Tool for Integrated Sensor (Occupancy Sensor Settings)			
NOTES: 1. Standard 4000K CCT nominal 70 CRI. 2. Dimming driver standard. 3. Requires the use of a step down transformer. 4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems). 5. RAL and custom color matching available. Consult your lighting representative at Cooper Lighting Solutions for more information. 6. Extended lead times apply. Use dedicated IES files when performing layouts. 7. 50°C ambient rating. 8. The ISHH configuration tool is required to adjust parameters including high and low dimming levels, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information. 9. Contact your customer service representative at Cooper Lighting Solutions for advance shipping. 10. Only product configurations with this designated prefix are built to be compliant with the Buy American Act of 1933 (BAA). Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 11. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 12. DarkSky approved, 3000K CCT and warmer only							

Product Specifications

Construction

- TOP HOUSING: cast aluminum top for superior strength and thermal performance with an IP66 rating.
- SHAFT: 4" OD extruded aluminum with 0.188" thick wall. Fastens to base with stainless steel hardware.
- BASE: extruded aluminum base mounts to foundation using 3 anchor bolts. A 1/2" thick neoprene leveling pad is fitted to the bottom of the base to compensate for minor deviations in the concrete pad and to reduce water and dirt intrusion.

Optics

- General purpose symmetric distribution is available using WaveStream LED optical technology.
- The acrylic waveguide is precision manufactured for excellent light control.
- Offered standard in 4000K (+/- 275K) CCT, other CCT options are available. DarkSky approved for 3000K CCT and warmer.

Electrical

- LED driver(s) are mounted to electrical tray for easy installation and maintenance for 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation
- Offered standard with 0-10V dimming driver and Cooper Lighting Solutions' proprietary circuit module designed to withstand 10kV of transient line surge.
- Luminaire is suitable for ambient temperature applications from -30°C (-22°F) to 40°C (104°F) and IP66 rated against the ingress of dust and water.

Controls

- The Arbor Bollard options are designed to be simple and costeffective ASHRAE and California Title 24 compliant solutions.
- An integrated dimming and occupancy sensor is a standalone control option available in on/off (MSP) and bi-level dimming (MSP/DIM) operation. An optional handheld remote (ISHH) allows custom programming to suit all needs.

Mounting

- Luminaire is mounted to 3 x 1/2" anchor bolts on a 2-3/8" bolt circle to with stand a 600 pound overturn moment. Order anchor bolts and installation template separately (ABAnchor).

Finish

- Cooper Lighting Solutions utilizes premium ultra-weatherable TGIC based polyester powder coatings that are specifically formulated to withstand extended outdoor exposure.
- RAL and custom color matches available. Additional charges and lead time apply.
- Finish is compliant with ASTM B117 3000hr salt spray standard.
- Options to meet Buy American Act requirements.

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Optical Distributions

Power and Lumens

Lumen/Distribution	B1 Symmetric	B2 Symmetric	B1 Asymmetric	B2 Asymmetric
Drive Current				
Power Wattage (Watts)	16W	32W	11W	23W
Input Current (mA) @ 120V	140	270	100	200
Input Current (mA) @ 208V	80	160	60	120
Input Current (mA) @ 240V	70	140	50	100
Input Current (mA) @ 277V	60	120	40	90
Power Wattage (Watts)	19W	37W	13W	27W
Input Current (mA) @ 347V	60	110	40	80
Input Current (mA) @ 480V	180	320	120	240
Optics				
Lumens	717	1,276	472	848
Bug rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G2

Lumen Maintenance

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Calculated L70 (HOURS)
25°C	>94%	>350,000
40°C	>93%	>250,000
50°C	>90%	>170,000

Note: Maintenance data applies to the highest drive current and represents the worst case at the highest wattage.

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
50°C	0.97

Color Temperature

Color Temperature (CCT)	CRI (Nominal)	Multiplier (Hours)
4000	70	1.00
3000	80	0.87

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Axcent

Wall Mount Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Product Specifications [page 4](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 6](#)

Quick Facts

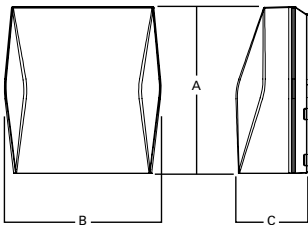
- Available in 12W - 116W (1,800 - 16,000 lumens) models
- Full cutoff and refractive lens models available
- Energy and maintenance savings up to 95% compared to HID
- Energy efficient illumination results in up to 177LPW
- Replaces 70W up to 450W HID equivalents

Connected Systems

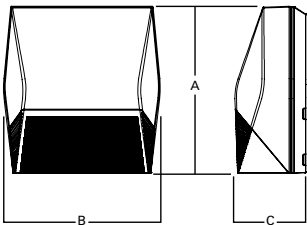
- WaveLinx PRO Wireless
- WaveLinx LITE Wireless
- Enlighted

Dimensional Details

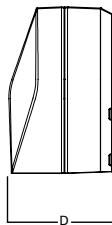
Full Cutoff



Refractive Lens



Deep Back Housing



Dimensional Data

	AXCS Small	AXCL Large
A	8" [202mm]	11-1/2" [292mm]
B	7-1/2" [190mm]	10-3/4" [273mm]
C	3-5/8" [94mm]	4-7/8" [124mm]
D	6-1/8" [155mm]	7-1/8" [181mm]

Ordering Information

SAMPLE NUMBER: **AXCS1A-AP-347V**

Domestic Preferences ²⁷	Model Series ¹	LED Color Temperature	Color	Options (Add as Suffix)
[Blank] =Standard BAA =Buy American Act TAA =Trade Agreements Act	Full Cutoff AXCS1A =12W AXCS2A =16W AXCS3A =23W AXCS4A =38W AXCS5A =45W AXCL6A =50W AXCL8A =66W AXCL10A =89W AXCL12A =116W Refractive Lens AXCS1ARL =12W AXCS2ARL =16W AXCS3ARL =23W AXCS4ARL =38W AXCS5ARL =45W AXCL6ARL =50W AXCL8ARL =66W AXCL10ARL =89W AXCL12ARL =116W	[Blank] =4000K, Neutral C =5000K, Cool W =3000K, Warm	[Blank] =Carbon Bronze (Standard) WT =Summit White BK =Black AP =Grey GM =Graphite Metallic DP =Dark Platinum	347V =347V ² 480V =480V ² PC1 =Photocontrol 120V ^{3, 4, 5} PC2 =Photocontrol 208-277V, 347V, 480V ^{4, 5, 6} PC =Photocontrol 120-277V, 347V, 480V ^{4, 7, 8} KKIT =Knuckle Floodlight Mount ⁷ TRNKIT =Trunnion Floodlight Mount SFKIT =Slipfitter Floodlight Mount PMAKIT =Pole Mount Arm WPS2XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height ^{4, 9, 10, 11} WPS4XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height ^{4, 9, 10, 11} WLS2XX =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{4, 9, 10, 11} WLS4XX =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{4, 9, 10, 11} LWR-LW =Enlighted Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{4, 9, 12} LWR-LN =Enlighted Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{4, 9, 12} MSP/DIM-L12 =Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height ^{4, 9, 13} MSP/DIM-L30 =Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height ^{4, 9, 13} MSP-L12 =Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height ^{4, 9, 13} MSP-L30 =Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height ^{4, 9, 13} CBP =Cold Weather Battery Pack ^{3, 14, 15, 16, 17, 18} CBP-CEC =Cold Weather Battery Pack, CEC compliant ^{3, 14, 15, 16, 17, 18} 10K =10kV/10kA Surge Protection HA =50°C High Ambient ^{15, 19} GRF =Glare Reducing Lens ²⁰ AHD145 =After Hours Dim, 5 Hours ^{5, 21} AHD245 =After Hours Dim, 6 Hours ^{5, 21} AHD255 =After Hours Dim, 7 Hours ^{5, 21} AHD355 =After Hours Dim, 8 Hours ^{5, 21}
Accessories (Order Separately) ^{22, 28}				
VS/AXCS-XX =Vandal Shield Axcent Small ^{7, 23} VS/AXCS-MS =Vandal Shield Axcent Small (With Motion Sensor) ^{7, 23} WG/AXCS =Wire Guard Axcent Small ⁷ WG/AXCS-MS =Wire Guard Axcent Small (With Motion Sensor) ⁷ VS/AXCL-XX =Vandal Shield Axcent Large ^{5, 23} VS/AXCL-MS =Vandal Shield Axcent (With Motion Sensor) ^{5, 23} WG/AXCL =Wire Guard Axcent Large ⁵ WG/AXCL-MS =Wire Guard Axcent (With Motion Sensor) ⁵ BB/AXC =Axcent Lumen Select Back Box, Carbon Bronze ²⁴ BB/AXC-PC =Axcent Lumen Select Back Box with PC, Carbon Bronze ^{24, 25} BB/AXC-WT =Axcent Lumen Select Back Box, Summit White ²⁴ BB/AXC-WT-PC =Axcent Lumen Select Back Box with PC, Summit White ^{24, 25}				
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Transformer used only when ordered with motion sensor or AXCS1 through AXCS5 or AXCL6 fixture wattages. 3. Not available in 347 or 480 VAC. 4. Button photocontrol and any motion sensor (MSP or LWR) not offered together. 5. Only available on AXCL6-AXCL12 models. 6. Used with 277, 347, and 480 VAC options. 7. Only available on AXCS1-AXCS5 models. 8. This configuration may contain materials that are not RoHS compliant. Contact your lighting representative for more information. 9. Uses deep back housing. 10. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information. 11. Replace XX with sensor color (WH, BZ, or BK). 12. Enlighted wireless sensors are factory installed and require network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See website for application information. 13. The ISHH-01 accessory is required to adjust parameters. 14. Ambient operating temperature -20°C to 25°C for AXCL6 through AXCL10. Ambient operating temperature -20°C to 30°C on AXCS4 models. Ambient operating temperature -20°C to 40°C on AXCS1 through AXCS3 models. 15. Not available with AXCS5 or AXCL12 models. 16. Uses deep back housing for AXCS1, AXCL2, AXCS3, and AXCS4 models. 17. Not to be mounted in upwards / inverted orientation. Downlight wall mount only for AXCS1 through AXCS4. 18. CBP cannot be used with PC and motion sensor (MSP or LWR). CBP can be used with PC or motion sensor (MSP or LWR). 19. Can not be ordered with CBP or PC options. 20. Use dedicated IES files on product website for lumen values and distributions. 21. Requires the use of PC1 or PC2 button photocontrol. See After Hours Dim supplemental guide for additional information. 22. Replace XX with color designation. 23. For use with full cutoff lens configurations only. 24. Lumen Select functionality not available in conjunction with any motion sensor option (MSP or LWR). Photocontrol back box not available with any photocontrol or motion sensor options (PC, MSP or LWR). 25. Photocell only operates at 120-277V input voltages. Not for use with 347 or 480V systems. 26. This tool enables adjustment to parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 27. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 28. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.				

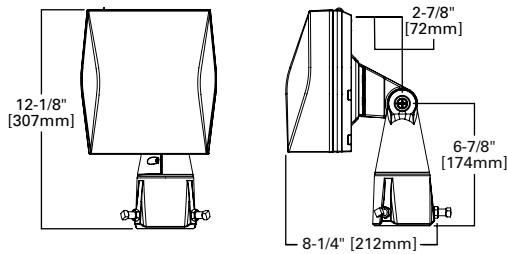
Stock Ordering Information

Model Series ¹			
Full Cutoff		Refractive Lens	
AXCS1A =12W	AXCL10A =102W	AXCS1ARL =12W	AXCL10ARL =89W
AXCS2A =16W	AXCL12A =123W	AXCS2ARL =16W	AXCL12ARL =116W
AXCS3A =23W	AXCL6A-347V =50W	AXCS3ARL =23W	AXCL6ARL-347V =50W
AXCS4A =38W	AXCL8A-347V =66W	AXCS4ARL =38W	AXCL8ARL-347V =66W
AXCS5A =45W	AXCL10A-347V =89W	AXCS5ARL =45W	AXCL10ARL-347V =89W
AXCL6A =56W	AXCL12A-347V =116W	AXCL6ARL =50W	AXCL12ARL-347V =116W
AXCL8A =72W		AXCL8ARL =66W	

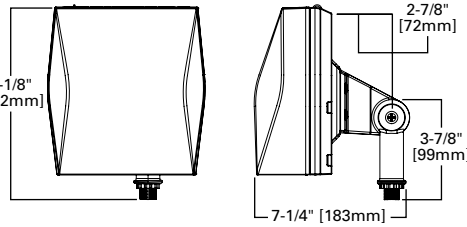
Note: All stock configurations are 4000K color temperatures, standard Carbon Bronze finish, and wall mount configuration.

Mounting Details

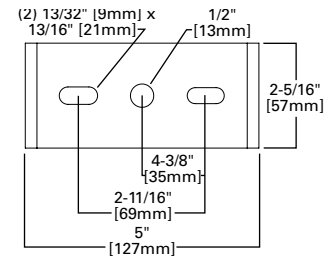
Slipfitter Mount (Small)
Tenon OD: 2-3/8" | EPA: 0.60



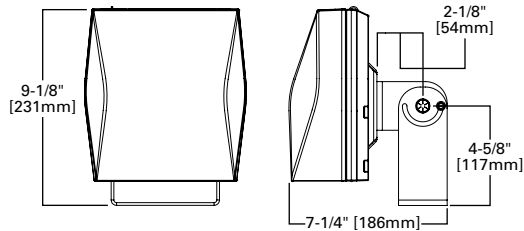
Knuckle Mount (Small)



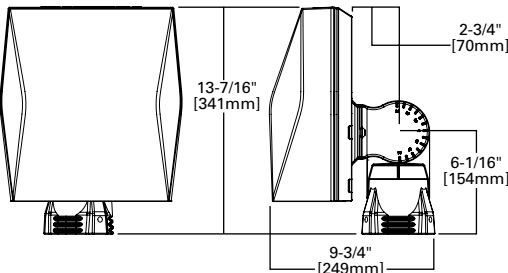
Trunnion Mount Detail



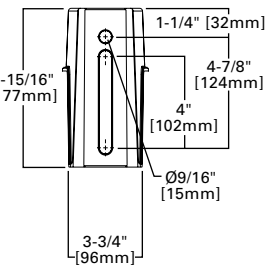
Trunnion Mount (Small)



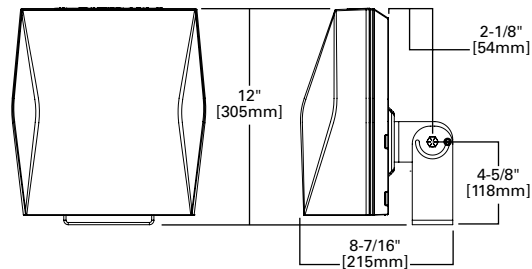
Slipfitter Mount (Large)
Tenon OD: 2-3/8" to 2-7/8" | EPA: 1.10



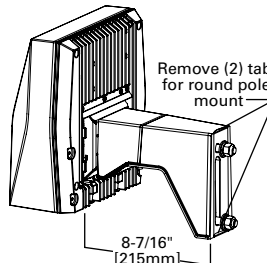
Pole Mount Arm Drill Pattern



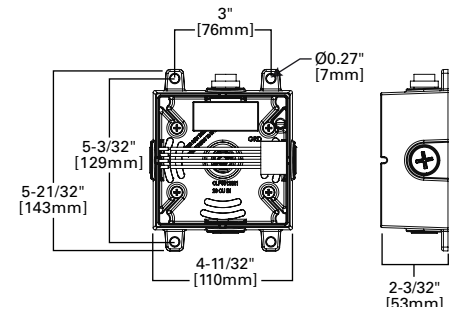
Trunnion Mount (Large)



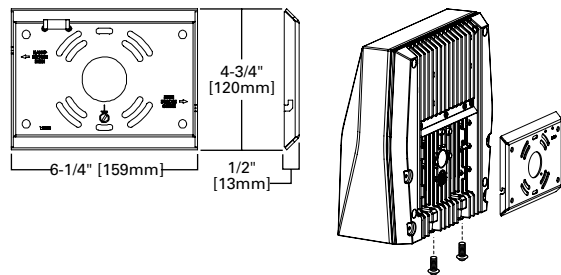
Pole Mount Arm (Large)
EPA: 1.10



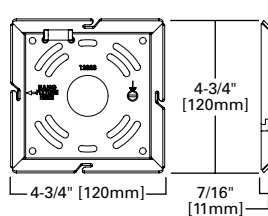
Lumen Select Back Box



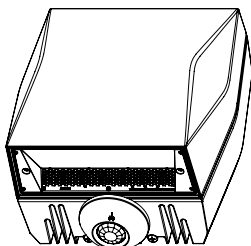
Wall Mount Plate Detail (Large)



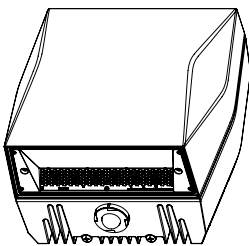
Wall Mount Plate Detail (Small)



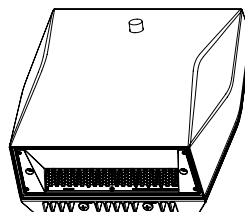
Enlighted Sensor



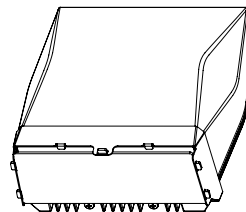
Occupancy Sensor



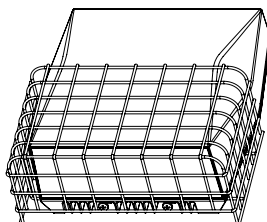
Button Photocontrol



Vandal Shield



Wire Guard



Product Specifications

Construction

- Die-cast aluminum housing
- External back fin design extracts heat from the surface to thermally optimize design for longer luminaire life

Optics

- Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
- Silicone-sealed optical LED chamber
- Acrylic refractive or full cutoff lens options for Type IV distributions

Electrical

- Standard universal voltage (120-277V, 50/60Hz)
- Driver incorporates 6kV surge protection
- -40°C minimum operating temperature
- 40°C maximum operating temperature
- <20% total harmonic distortion
- 0-10V dimming driver is standard with leads external to the fixture

Mounting

- Steel wedge mounting plate fits directly to 4" standard j-box or directly to wall with the "Hook-N-Lock" mechanism
- Stainless steel set screws
- Lumen Select Back Box accessory offers four 1/2" NPT conduit entry wire ways. Resistor Pack combinations allow field-dimming of 75% or 50% when connected to luminaire dimming leads
- Not suitable for indoor use when installed in inverted/uplight orientation

Emergency Egress

- Optional integral cold weather battery emergency egress includes emergency operation test switch, an AC-ON indicator light and a premium, maintenance-free battery pack
- The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

- Small fixture=5 lbs. [2.36 kgs.]
- Small with sensor or CBP=10 lbs. [4.40 kgs.]
- Large fixture=12 lbs. [5.45 kgs.]
- Large with sensor or CBP=17 lbs. [7.73 kgs.]
- Large with sensor & CBP=21 lbs. [9.54 kgs.]

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens (Axcent Small)

Light Engine		AXCS1A	AXCS2A	AXCS3A	AXCS4A	AXCS5A
Power (Watts)		12	16	23	38	45
Input Current @ 120V (A)		0.10	0.13	0.19	0.32	0.38
Input Current @ 240V (A)		0.05	0.07	0.10	0.16	0.19
Input Current @ 277V (A)		0.04	0.06	0.08	0.14	0.16
Input Current @ 347V (A)		0.03	0.05	0.07	0.11	0.13
Input Current @ 480V (A)		0.03	0.03	0.05	0.08	0.09
Configuration						
Full Cutoff	4000K/5000K Lumens	1,786	2,589	3,551	5,500	6,348
	3000K Lumens	1,509	2,188	3,001	4,648	5,365
	BUG Rating	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G1	B2-U0-G1
Refractive Lens	4000K/5000K Lumens	1,894	2,745	3,765	5,832	6,731
	3000K Lumens	1,600	2,320	3,182	4,928	5,688
	BUG Rating	B1-U3-G2	B1-U3-G2	B1-U3-G2	B1-U4-G3	B1-U4-G3

Power and Lumens (Axcent Large)

Light Engine		AXCL6A	AXCL8A	AXCL10A	AXCL12A
Power (Watts)		50	66	89	115
Input Current @ 120V (A)		0.41	0.54	0.74	0.96
Input Current @ 240V (A)		0.21	0.27	0.37	0.48
Input Current @ 277V (A)		0.18	0.24	0.32	0.42
Input Current @ 347V (A)		0.14	0.19	0.26	0.33
Input Current @ 480V (A)		0.10	0.14	0.19	0.24
Configuration					
Full Cutoff	4000K Lumens	7,594	9,716	12,719	16,302
	5000K Rating	7,501	9,598	12,564	16,103
	3000K Lumens	6,502	8,319	10,890	13,958
	BUG Rating	B2-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G2
Refractive Lens	4000K Lumens	7,809	10,331	13,665	16,637
	5000K Rating	7,714	10,205	13,498	16,434
	3000K Lumens	6,686	8,845	11,700	14,244
	BUG Rating	B1-U4-G4	B2-U5-G5	B2-U5-G5	B2-U5-G5

Energy and Performance Data

Power and Lumens (Small + CBP)

Light Engine		AXCS1A	AXCS2A	AXCS3A	AXCS4A
Power (Watts)		16	20	27	42
Input Current @ 120V (A)		0.13	0.17	0.23	0.35
Input Current @ 240V (A)		0.07	0.08	0.11	0.18
Input Current @ 277V (A)		0.06	0.07	0.10	0.15
Configuration					
Full Cutoff	4000K/5000K Lumens	742	792	789	644
	3000K Lumens	627	670	667	545
Refractive Lens	4000K/5000K Lumens	787	841	837	684
	3000K Lumens	664	710	708	655

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

Power and Lumens (Large + CBP)

Light Engine		AXCL6A	AXCL8A	AXCL10A
Power (Watts)		54	70	93
Input Current @ 120V (A)		0.45	0.58	0.77
Input Current @ 240V (A)		0.22	0.29	0.38
Input Current @ 277V (A)		0.19	0.25	0.33
Configuration				
Full Cutoff	4000K/5000K Lumens	141*10W=1410		
	3000K Lumens	122*10=1220		
Refractive Lens	4000K/5000K Lumens	151*10=1510		
	3000K Lumens	131*10=1310		

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

Power and Lumens Multipliers
(Lumen Select Back Box + Axcent Small)

Configuration		~75% Nominal Output	~50% Nominal Output
Catalog Number	Material Number	Connect per Installation Instructions	
AXCS1A*	13109741 or 13109939 or Other	74%	50%
AXCS2A*	13109698 or 13109938 or Other	74%	50%
AXCS3A*	13109697 or 13109937 or Other	74%	50%
AXCS4A*	13109695 or 13109936	75%	40%
AXCS4A*	13495299 or 13495470 or Other	72%	50%
AXCS5A*	13109652 or 13109935	75%	40%
AXCS5A*	13495471 or 13495472 or Other	72%	50%

Power and Lumens Multipliers
(Lumen Select Back Box + Axcent Large)

Configuration		~75% Nominal Output	~50% Nominal Output
Catalog Number	Material Number	Connect per Installation Instructions	
AXCL6A*	13645910 or 13645979	69%	47%
AXCL8A*	13645970 or 13645984	69%	47%
AXCL10A*	13645971 or 13645989	69%	47%
AXCL12A*	13645972 & 13645993	72%	49%

Lumen Maintenance (Axcent Small)

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)
Up to 3A	
25°C	88%
40°C	87%
50°C	87%
Up to 4A	
25°C	88%
40°C	87%
50°C	87%
Up to 5A	
25°C	87%
40°C	86%

Lumen Maintenance (Axcent Large)

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)
Up to 8A	
25°C	89%
40°C	87%
50°C	86%
Up to 10A	
25°C	88%
40°C	86%
50°C	85%
Up to 12A	
25°C	85%
40°C	82%

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.97

Control Options

0-10V This fixture is offered standard with 0-10V dimming driver(s) for use with a lighting control panel or other control method.

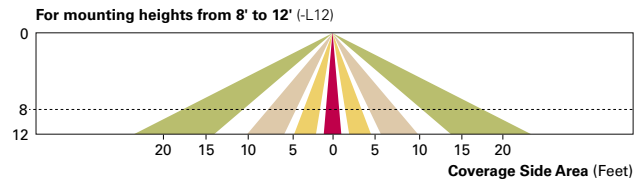
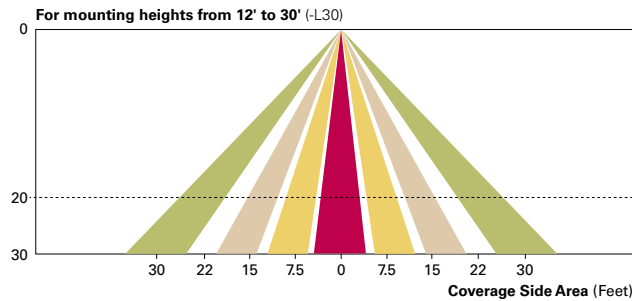
Photocontrol (PC1, PC2 and PC) Optional button-type photocontrol provides a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels.

After Hours Dim (AHD) This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MSP/DIM-LXX and MSP-LXX) These sensors are factory installed in the luminaire housing. When the MSP/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MSP/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of ten minutes. The MSP-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity.

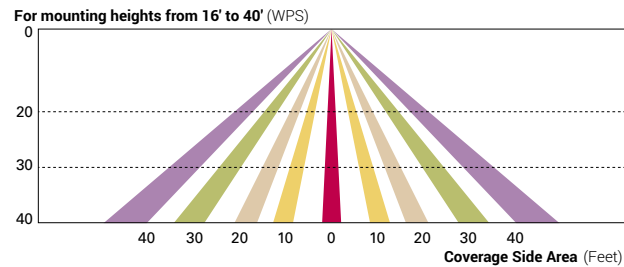
These occupancy sensors includes an integrated photocell that can be activated with the ISHH-01 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is ON. The ISHH-01 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-30'.

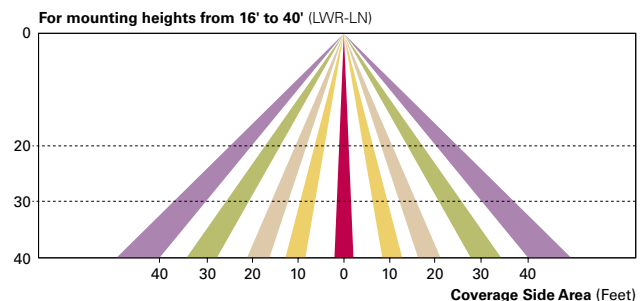
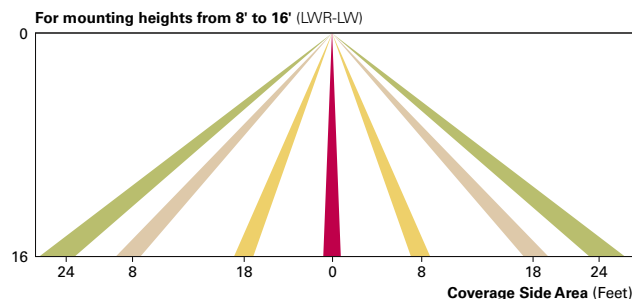


WaveLinx Wireless Control and Monitoring System The WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Enlighted System is a connected lighting solution that combines LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of other resources beyond lighting.



Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail Petite Discrete Wall

Wall Mount Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

Quick Facts

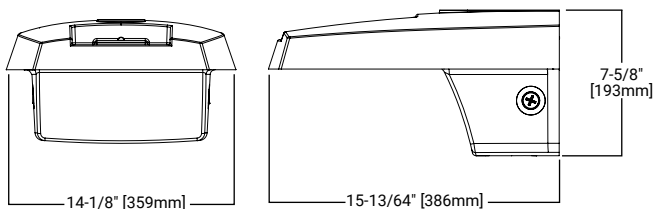
- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 11,300 lumens (30W - 90W)
- Replaces 70W up to 250W HID equivalents
- Efficacies up to 147 lumens per watt
- Surface mount configuration with standard conduit entry

Connected Systems

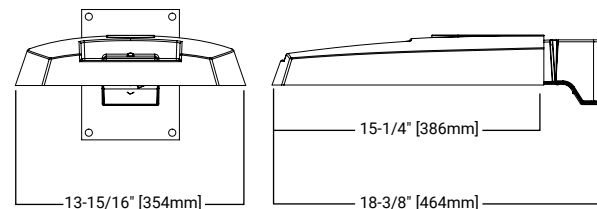
- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details

Surface Mount (SM)



Wall Mount (WM)



NOTES:

1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

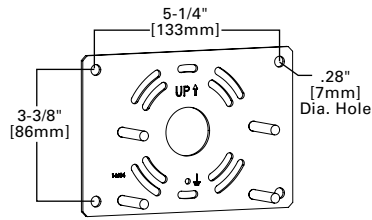
Ordering Information

SAMPLE NUMBER: **PRV-P-PA1B-740-U-T4W-SM-BZ**

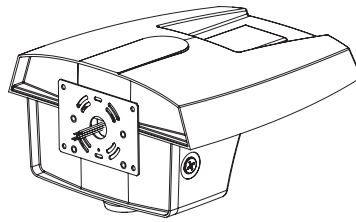
Product Family ¹	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish
	Configuration	Drive Current ²					
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Compliant ²² TAA-PRV-P =Prevail Petite TAA Compliant ²²	PA1 =1 Panel, 24 LED Rectangle	A =400mA Nominal B =700mA Nominal C =950mA Nominal D =1200mA Nominal	740 =70CRI, 4000K 730 =70CRI, 3000K 750 =70CRI, 5000K	U = Universal, 120-277V H = High Voltage, 347-480V 1 =120V 2 =208V 3 =240V 4 =277V 8 =480V ^{3, 23} 9 =347V DV =Duravolt, 277-480V	T2R =Type II Roadway T2U =Type II Urban T3 =Type III T4W =Type IV Wide 5WQ =Type V Square Wide	SM =Surface Wall Mount WM =Wall Mount Arm	BZ =Bronze AP =Grey BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)					Accessories (Order Separately) ^{17, 18}		
10K =10kV UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device 2L =Two-Circuit Light Engine ¹⁹ F =Single Fuse (Used with Voltages 120, 277 or 347V) FF =Double Fuse (Used with Voltages 208, 240 or 480V) EBP =Emergency Battery Pack (Ambient Temp, 0° to 40°C) ^{4, 5} CBP =Cold Weather Emergency Battery Pack (Ambient Temp, -20° to 40°C) ^{4, 5} CBP-CEC =Cold Weather Emergency Battery Pack, CEC Compliant (Ambient Temp, -20° to 40°C) ^{4, 5} HSS =House Side Shield (Factory Installed) ⁶ HA =50°C High Ambient Temperature ⁷ CC =Coastal Construction ⁸ BPC =Button Photocontrol ⁹ PR =NEMA 3-PIN Twistlock Photocontrol Receptacle ^{9, 10} PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ^{9, 10} FADC =Field Adjustable Dimming Controller ²⁴ MS/DIM-L08 =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting ^{9, 11, 12} MS/DIM-L20 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting ^{9, 11, 12} MS/DIM-L40W =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting ^{9, 11, 12} SPB1 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting ^{9, 11, 13} SPB2 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting ^{9, 11, 13} SPB4 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting ^{9, 11, 13} WPS2XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{9, 11, 14, 15, 16} WPS4XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{9, 11, 14, 15, 16} WLS2XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{9, 11, 14, 15, 16} WLS4XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{9, 11, 14, 15, 16}					HSS-HP =House Side Shield, Horizontal Panel ⁷ OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁰ WOLC-7P-10A =WaveLinX Outdoor Control Module (7-PIN) ²¹		
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 3. 480V not to be used with ungrounded or impedance grounded systems. 4. Only available on Surface Wall Mount (SM) mounting. 5. Must use with Universal (U) voltage only. Not available with other voltage options. Not available with PA1D light engine. 6. House Side Shield not for use with 5WQ distribution. 7. Not available with EBP, CBP, or CBP-CEC options. Not available with PA1D light engine. 8. Salt spray tested to over 5,000-hours per ASTM B117 with a scribe rating of 9 per ASTM D1654. Also achieves 7,000-hour rating per ASTM B117 with a scribe rating of 4 per ASTM D1654. Extended lead times may apply. 9. Option is not available with other controls: photocontrols (BPC), photocontrol receptacles (PR or PR7), or controls systems (MS). 10. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Option not available with High Voltage (H). Must specify Universal (U), 347V (9), or 480V (8) voltage. 12. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 13. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 14. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 15. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinX system and software and requires system components to be installed for operation. See website for more WaveLinX application information. 16. Replace XX with sensor color (WH, BZ or BK). 17. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 18. Replace XX with paint color. 19. Controls and/or emergency battery packs operate only one of the two circuits when 2L is specified. 20. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 21. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS). Only for use at 120-347V. 22. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 23. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 24. Cannot be used with PR7 or other motion response control options.							

Mounting Details

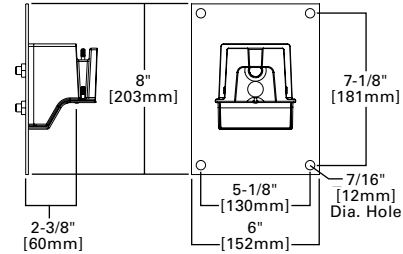
Surface Mount Plate (SM)



Surface Mount Assembly (SM)



Wall Mount (WM)



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Surface Mount (SM) offers two 1/2" NPT conduit entry plugs
- Not suitable for inverted mount installation

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor

- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge
- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels. Comes pre-set to the highest position at the lumen output selected.

Typical Applications

Outdoor, Pedestrian Pathways, Building Entrances, Loading Docks, Perimeter Parking Lots

Finish

Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

Prevail Petite (with CBP): 21 lbs. (9.53 kgs.)

Warranty

Five year limited warranty, consult website for details.
www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens

Light Engine		PA1A	PA1B	PA1C	PA1D
Power (Watts)		31	53	72	93
Drive Current (mA)		375	670	930	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78
Input Current @ 277V (A)		0.12	0.20	0.28	0.35
Input Current @ 347V (A)		0.10	0.17	0.23	0.29
Input Current @ 480V (A)		0.07	0.13	0.17	0.22
Distribution					
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens per Watt	147	139	132	121
	3000K Lumens ¹	4,103	6,705	8,647	10,291
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2
	Lumens per Watt	121	115	109	100
	3000K Lumens ¹	3,394	5,547	7,154	8,514
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
	Lumens per Watt	146	139	131	121
	3000K Lumens ¹	4,095	6,691	8,630	10,271
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	Lumens per Watt	106	101	95	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
	Lumens per Watt	145	138	130	119
	3000K Lumens ¹	4,046	6,612	8,528	10,150
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens per Watt	111	105	100	91
	3000K Lumens ¹	3,102	5,069	6,538	7,781
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	142	135	127	117
	3000K Lumens ¹	3,960	6,471	8,346	9,932
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens per Watt	108	103	97	89
	3000K Lumens ¹	3,022	4,938	6,369	7,580
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	146	139	131	121
	3000K Lumens ¹	4,095	6,693	8,632	10,273

NOTES:
1. For 3000K or HSS BUG Ratings, refer to published IES files.

Power and Lumens: Emergency Configurations

Light Engine		PA1A	PA1B	PA1C
Power (Watts) ¹		37	59	78
Input Current @ 120V (A)		0.33	0.52	0.68
Input Current @ 277V (A)		0.16	0.24	0.31
Distribution ²				
Type II Roadway	4000K/5000K Lumens	2,035		
	3000K Lumens	1,853		
Type II Urban	4000K/5000K Lumens	2,030		
	3000K Lumens	1,849		
Type III	4000K/5000K Lumens	2,007		
	3000K Lumens	1,827		
Type IV Wide	4000K/5000K Lumens	1,964		
	3000K Lumens	1,788		
Type V Square Wide	4000K/5000K Lumens	2,031		
	3000K Lumens	1,849		

NOTES:
1. Power and current based on full power consumption while EBP or CBP is charging.
2. Estimated lumen outputs while luminaire is operating in emergency mode only at full charge.

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 663,000

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

FADC Settings

FADC Position	Lumen Multiplier
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Lumen Multiplier

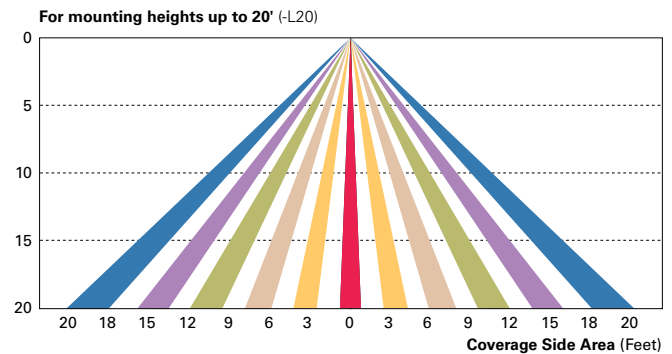
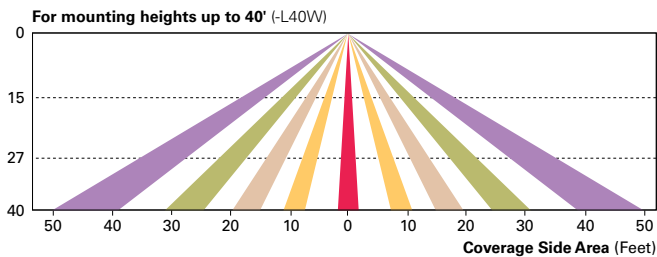
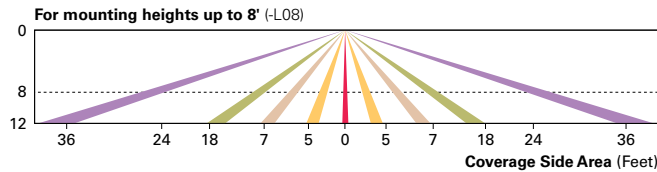
Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation (MS-LXX) is selected, the luminaire will turn off after five minutes of no activity. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

