

AGENDA
VILLAGE BOARD MEETING
Tuesday, September 10, 2019 at 7:30 p.m.
Jackson Village Hall
N168 W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Village Citizen Comment on an Agenda Item (Please Sign In)
4. Public Hearing – Planned Unit Development (PUD) – J & M Ltd. –
Storage Buildings – N168 W19490 Main Street
(Plan Commission Draft Minutes)
5. Public Hearing – Planned Unit Development (PUD) – Final Plat –
Bielinski Homes Inc. – Laurel Springs Addition #1
(Plan Commission Draft Minutes)
6. Committee Member Appointment – Plan Commission
7. Wisconsin State Assembly Report – Representative Rick Gundrum
8. Approval of Minutes for the Village Board Meeting of August 13, 2019
9. Approval of Licenses
 - Operators Licenses:
Main Street Mart: Sabrina M. Larson, Bailee L. Schmidt
Village Mart: Taylor L. Schultz
 - Tattoo/Body Piercing Operators:
Event Horizon: Alissa J. Fischer, Brian R. French
10. Budget & Finance Committee
 - Review of Preliminary Assessment for Chateau Drive and Hickory Lane
Reconstruction Project
 - Resolution #19-25 Preliminary Assessment for Sherman Road Drainage and
Jackson Park Alley Reconstruction Project
(Board of Public Works Draft Minutes)

11. Plan Commission
 - Comprehensive Plan Update – SEWRPC
 - Resolution #19-23 – Terminating the Village of Jackson’s Participation in the Joint Village of Jackson/Town of Jackson Planning Group
 - Resolution #19-24 – Adopting Public Participation Procedures for Amending the Comprehensive Plan for the Village of Jackson
 - Annexation – Morning Meadows – Temporary Zoning – PUD
(Plan Commission Draft Minutes)
12. Ordinance #19-01 – Amending Sex Offender Residency Ordinance (2nd Reading)
13. Ordinance #19-02 – Annexation of Morning Meadows
14. Ordinance #19-03 – Amending Sign Ordinance
15. Resolution #19-26 – Pursue Development of a Joint Public Library with West Bend Community Memorial Library
16. Approval of Mutual Aid Agreement between the Jackson Police Department and the Slinger Police Department – Discussion/Action
17. Board of Public Works
 - No Recommendations
18. Joint Parks & Recreation
 - No Recommendations
19. West Bend School District – Update
20. Proposed Public Safety Building – Update
21. Departmental Reports
22. Mid-Moraine Municipal Association Report
23. Washington County Board Report
24. Greater Jackson Business Alliance Report
25. Citizens to Address the Village Board

26. Closed Session pursuant to Wis. Stats. §19.85(1)(e) Deliberating or negotiating the purchase of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session; regarding potential property purchase

Reconvene into Open Session to Adjourn

27. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Design 2 Construct
 Contact Mark Hertzfeldt Address/ZIP N173W21010 Northwest Passage, Jackson, WI 53037 Phone # 262-677-9933
 E-mail Address mhertzfeldt@design2construct.com E-mail Address where Agenda/Staff comments are to be sent. mhertzfeldt@design2construct.com
 Name of Owner Kurt Kruepke Address/ZIP P.O. Box 477 Phone# -
 Owner Representative/Developer Design 2 Construct
 Proposed Use of Site storage buildings Present Zoning PUD

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>ZIP DRIVE (USB)</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Dan Hernandez Signature  Date 8.1.19
 Office Use: Date Received 8-2-19 Date Paid 8-2-19 Receipt # 220467 Amount Paid \$ 150.00



MEMORANDUM

August 2, 2019

Job Name: Jackson Storage
Job Number: 19-00150
Re.: Plan Commission Submittal
To: Village of Jackson

LETTER OF INTENT

Dear Plan Commission:

It is the Owner's intent to have Design 2 Construct build (2) storage units at northwest side of the existing facility located at N168W19490 Main Street in Jackson.

Storage unit "A" will be 34'x50' with a peak height of 25'-6"

Storage unit "B" will be 30'x141' with a peak height of 14'-7"

Each building will have rentable units with access thru roll up doors.

IMPACT STATEMENT

There will be no water use. There is no waste produced.

Vehicle traffic will be limited to the owner's of the rented units. Units will be accessible 24 hour a day

We anticipate the facility to be open fall/winter 2019.

There will be no hazardous materials, unusual conditions, noises or odors.

Thank you,

J & M Ltd.

N173 W21010

Northwest Passage

Jackson, WI 53037

Tel: 262.677-9933

Fax: 262.677.9934

SIGNED: *Dan Hernandez*

VILLAGE OF JACKSON

☐ Special Use ☐ Conditional Use ☒ Planned Unit Development

Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☐ Planned Unit Development

Permit to:

Name of Business/Applicant: J & M Ltd

For a property located at (address): N168W19490 Main St., Jackson, WI 53037

Phone number of Business/Applicant: 262-677-4901

For (land use, activity, sign, site plan, other): new unoccupied, storage buildings w/ rentable units

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): none

Hours of Operation: 24 hours

Comprehensive/Master Plan Compatibility: PUD

Building Materials (type, color): metal panel walls and roof, color tbd

Setbacks from rights-of-way and property lines: 27'-8" from R.O.W., 32'-1" from side yard

Screening/Buffering: see plans

Landscape Plan (sizes, species, location): see plans

Signing (dimensions, colors, lighting, location): no signage proposed

Lighting (wattage, style, pole location and height, coverage): no lighting proposed

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),
(sidewalk/pedestrian way width and material): n/a

Storm-water Management: see plans

Erosion Control: see plans

Fire Hydrant Location(s): existing, no new hydrants

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: none

Hazardous Material Storage: none

Alarm Systems: none

Site Features/Constraints: none

Parking (no. of spaces, handicapped parking, and dimensions): n/a

Tree and shrub preservation: tree removal at Northwest property line, see Landscape Plan for new plantings

Setbacks/height limitations: 20' r.o.w. setback, 10' side yard setback

Wastewater Usage Projected: 0 gal/year Water Usage Projected: 0 gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):



DESIGN
•
CONSTRUCTION

PHONE (262) 677-9933
FAX (262) 677-9934

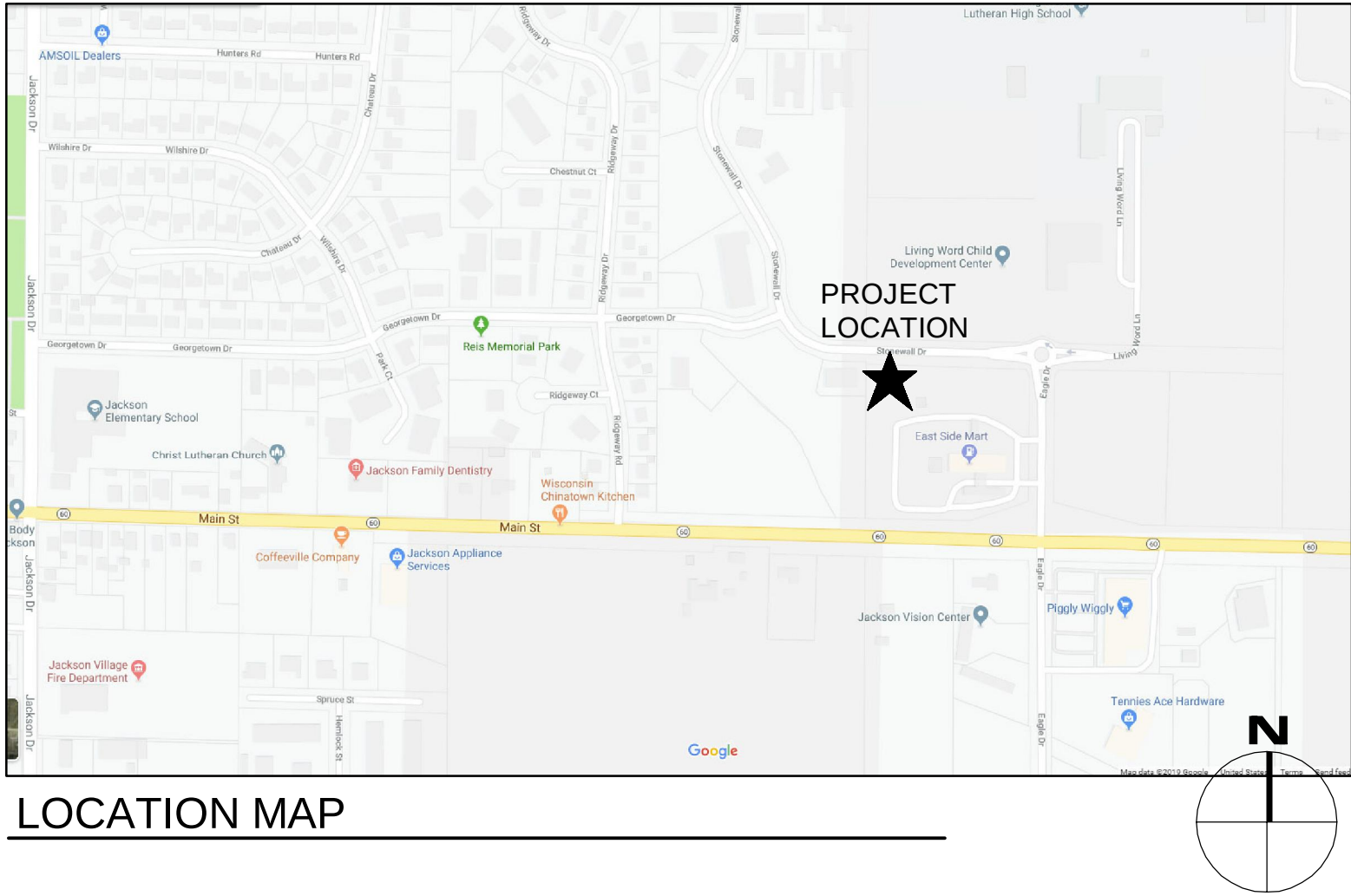
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N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

BUILDING DESIGN FOR:

JACKSON STORAGE
N168W19490 MAIN STREET
JACKSON, WI 53037

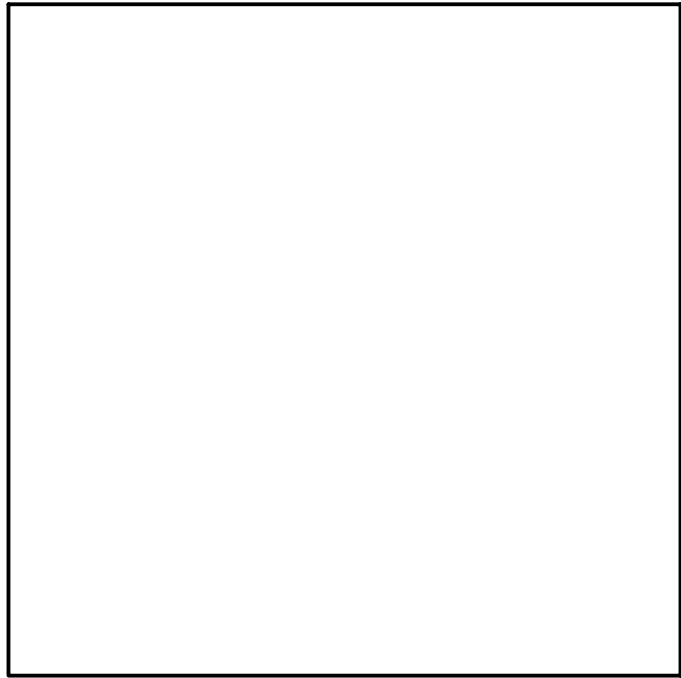
PROJECT DATA: SHEET INDEX:

BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE	TS	TITLE SHEET
OCCUPANCIES:	STORAGE: S-1	C-101	CIVIL DRAWINGS
CLASS OF CONSTRUCTION:	TYPE VB	C-103	EXISTING CONDITIONS PLAN
NO. OF STORIES:	ONE		GRADING AND EROSION CONTROL PLAN
BUILDING IS:	NON-SPRINKLERED		ARCHITECTURAL
BUILDING TYPE:	STORAGE	A1.0	SITE PLAN
AREAS (GROSS): BUILDING "A" STORAGE	1,700 SF	A2.1	BUILDING "A" AND BUILDING "B" FLOOR PLANS
AREAS (GROSS): BUILDING "B" STORAGE	4,230 SF	A4.1	BUILDING "A" ELEVATIONS
AREAS (GROSS): BUILDING "B" STORAGE (WORST CASE):	9,000 SF	A4.2	BUILDING "B" ELEVATIONS
		1 of 1	LIGHTING
			PHOTOMETRIC PLAN



PROJECT CONTACTS

CIVIL CONSULTANT	ARCHITECT
QUAM ENGINEERING	MARK HERTZFELDT
122 WISCONSIN STREET	
WEST BEND, WI 53095	PROJECT MANAGER
KEVIN PARISH	TBD
kjparish@sbcglobal.net	PROJECT NO.
OFF: (262) 353-9766	19-00150
	DATE
	08.02.2019
	SEAL



PREV. TRANS. NO.: N/A
NEW TRANS. NO.: N/A
REVIEWER: N/A

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:

JACKSON STORAGE

N168W19490 MAIN STREET

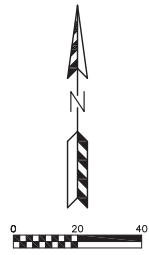
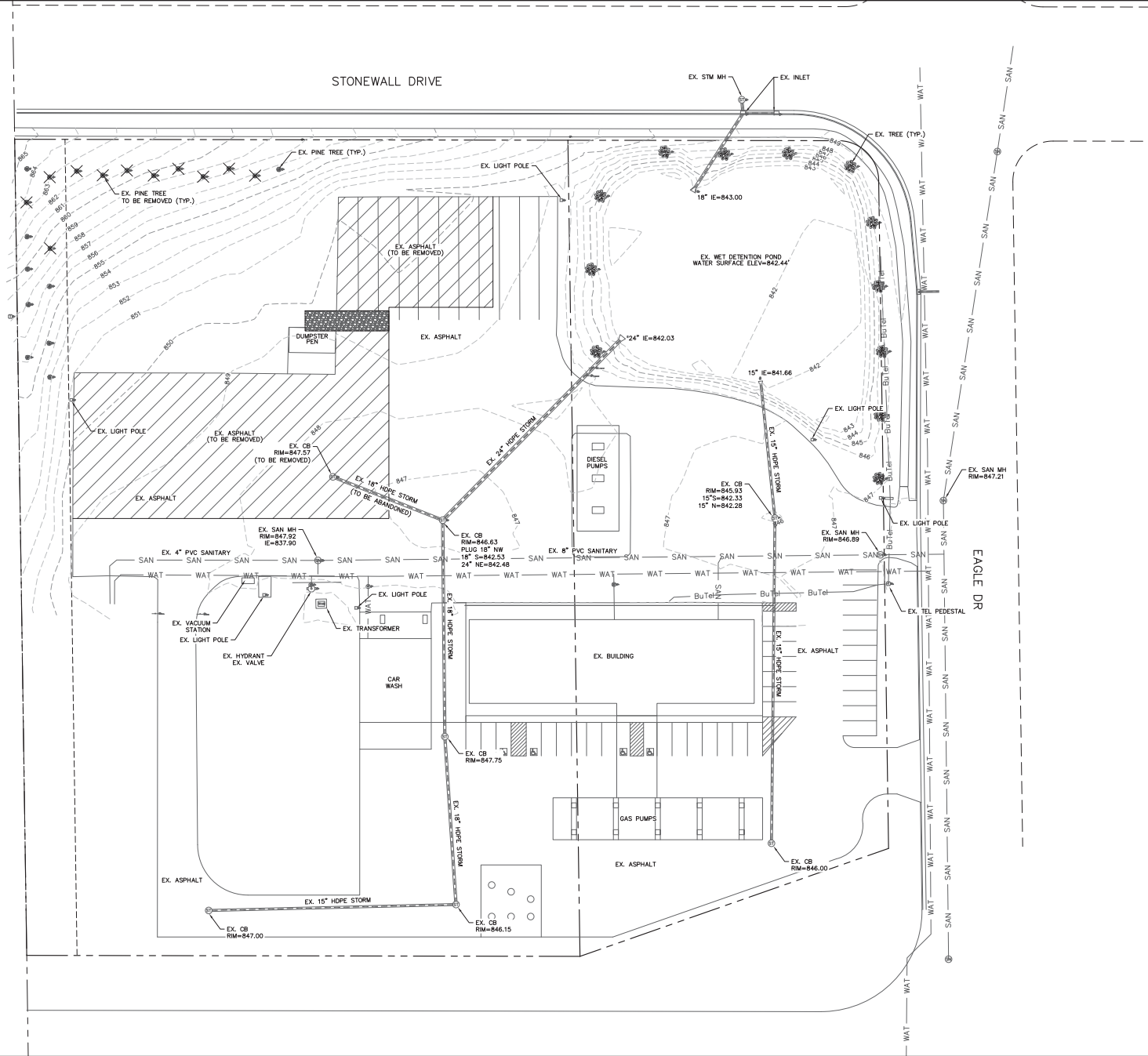
JACKSON, WI 53037

SHEET TITLE
TITLE SHEET

REVISIONS

PROJECT DATA
DATE
08.02.2019
JOB NO.
19-00150
SET USE
PLAN COMMISSION
FILE NAME
A1-TS
DRAWN BY
DLH
SHEET NO.

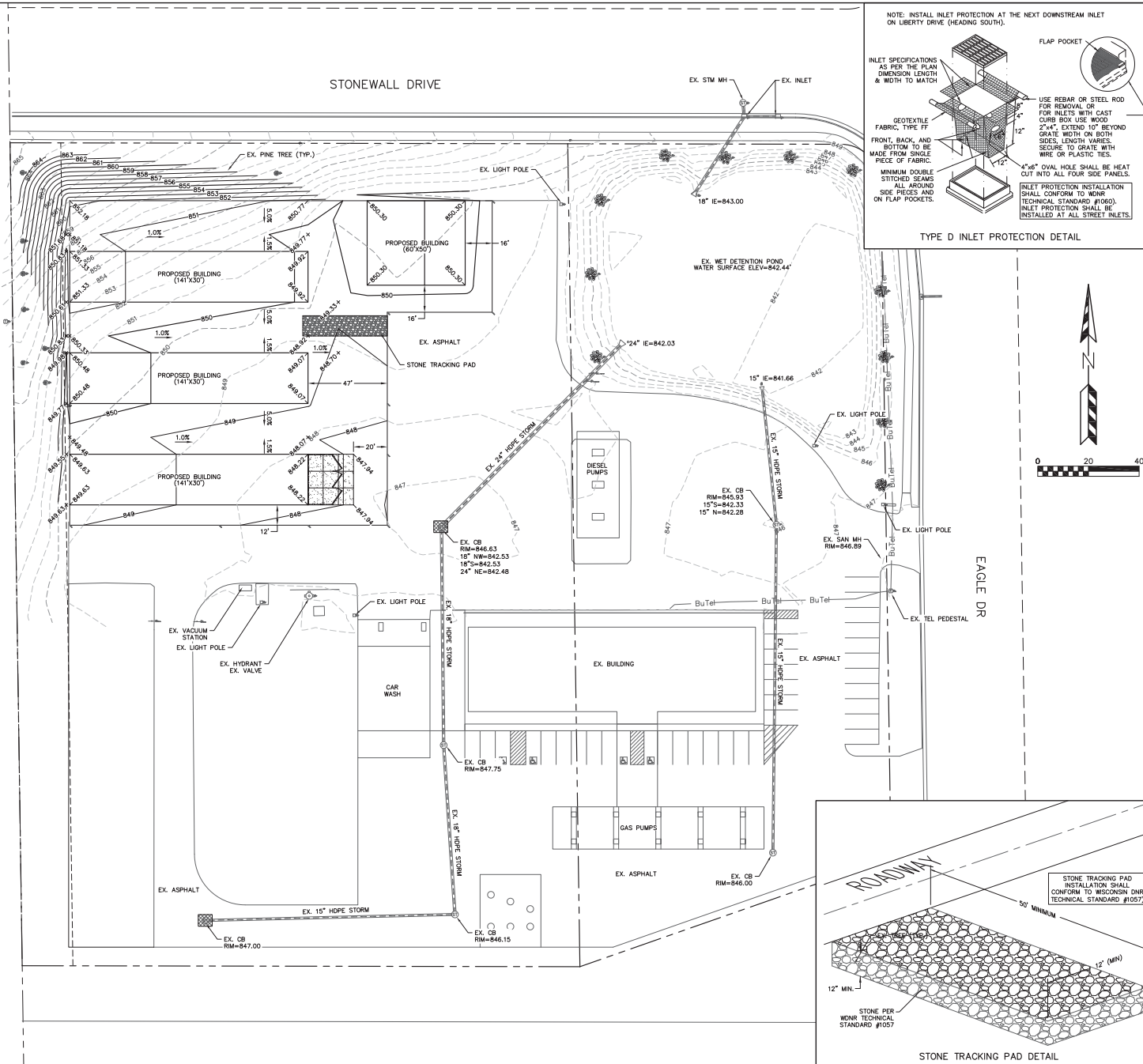
TS



- LEGEND:
- 702 --- EXISTING MINOR CONTOUR.
 - 700 --- EXISTING MAJOR CONTOUR.
 - OHS --- OVERHEAD ELECTRIC LINE.
 - B-2 --- BURIED ELECTRIC LINE.
 - BuTel --- BURIED TELEPHONE LINE.
 - FO --- FIBER OPTIC LINE.
 - GAS --- GAS LINE.
 - SAN --- SANITARY SEWER MAIN OR LATERAL.
 - WAT --- WATER MAIN OR SERVICE.
 - S --- STORM SEWER LINE.
 - ELECTRIC METER.
 - GAS METER.
 - GAS VALVE.
 - FIRE HYDRANT.
 - POWER POLE.
 - SANITARY SEWER MANHOLE.
 - STORM SEWER MANHOLE.
 - STORM SEWER INLET.
 - TELEPHONE PEDestal.
 - TRANSFORMER.
 - WATER VALVE.

N168 W19490 MAIN STREET
EXISTING CONDITIONS PLAN
DATED: JULY 26, 2019

C-101



EROSION NOTES:

THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSTALLED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

TIME SCHEDULE:

SEPTEMBER 1, 2019	INSTALL INITIAL EROSION CONTROL DEVICES.
SEPTEMBER 2, 2019 - APRIL 15, 2020	CONSTRUCT PROPOSED BUILDINGS, PARKING LOT AND UTILITIES.
APRIL 16 - 30, 2020	COMPLETE FINAL LANDSCAPING AND RESTORE ALL PREVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:

ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEED WITH OLS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEED WITH MADISON PARKWAY OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY SEPTEMBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1009, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDING AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

OWNER:
KARM PROPERTIES, LLC
N168 W21060 PARKWAY DRIVE
PO BOX 477
JACKSON, WI 53037

ENGINEER:
QUAM ENGINEERING, LLC
ATTN: KEVIN PARISH
122 WISCONSIN STREET
WEST BEND, WI 53095

DIGGERS HOTLINE

Dial 811 or (800)242-8511
www.DiggersHotline.com

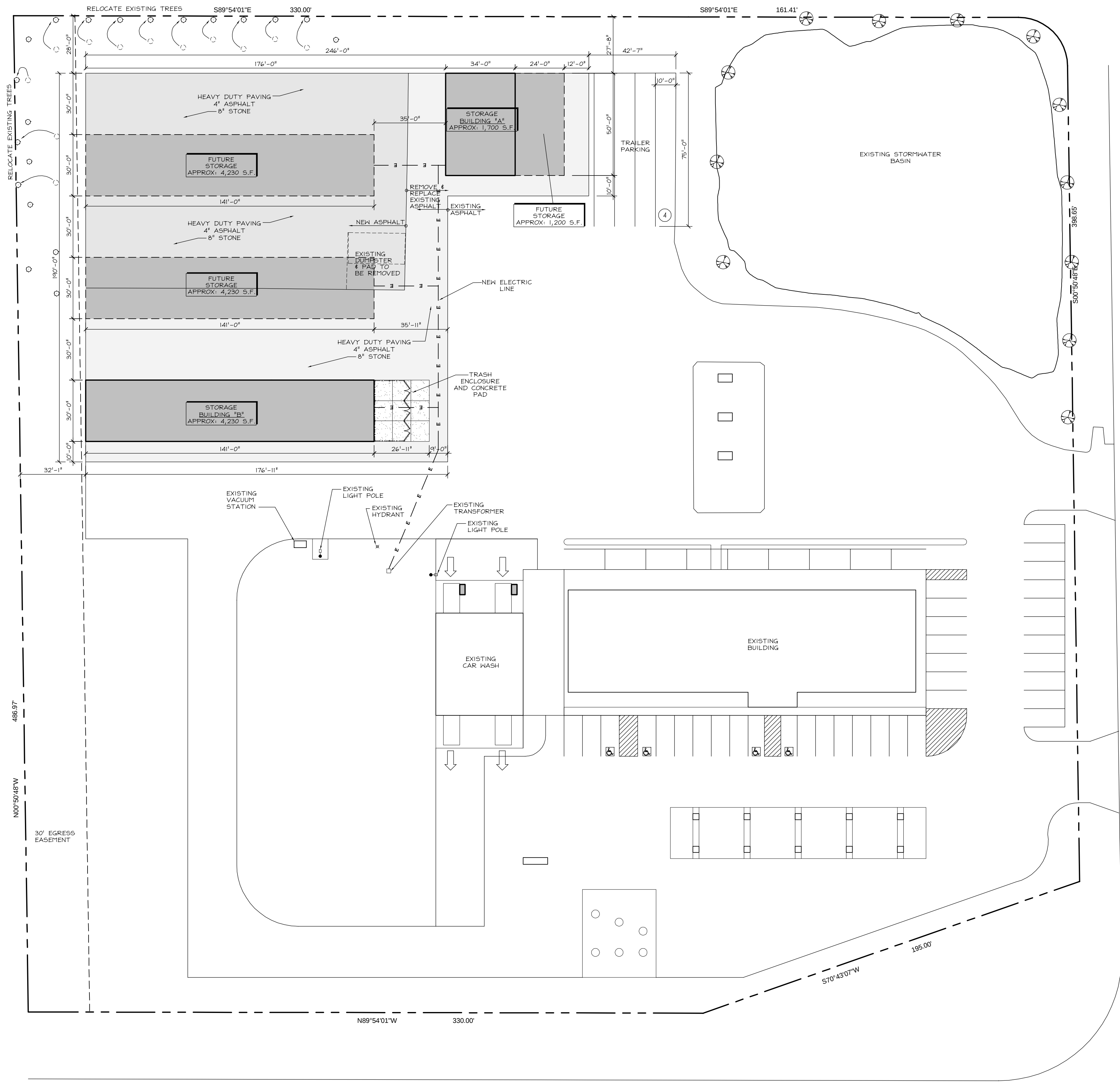
LEGEND:

- 848 — EXISTING MINOR CONTOUR.
- 850 — EXISTING MAJOR CONTOUR.
- 848 — PROPOSED MINOR CONTOUR.
- 850 — PROPOSED MAJOR CONTOUR.
- 847.10 — EXISTING SPOT ELEVATION
- 847.10 — PROPOSED SPOT ELEVATION
- PROPOSED STORM SEWER.
- EXISTING STORM SEWER.
- — INSTALL WOOD TYPE D INLET PROTECTION.

N168 W19490 MAIN STREET
GRADING AND EROSION CONTROL PLAN
DATED: JULY 26, 2019

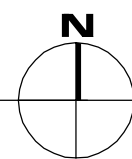
C-103

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
122 Wisconsin Street, West Bend, Wisconsin 53095
Phone (262) 338-6641; www.quamengineering.com



HIGHWAY 60

1 SITE PLAN
SCALE: 1" = 30'-0"



DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037
PHONE 262.677.9933
FAX 262.677.9934
info@design2construct.com

BUILDING DESIGN FOR:
JACKSON STORAGE
N168W19490 MAIN STREET
JACKSON, WI 53037

SHEET TITLE
SITE PLAN

REVISIONS

PROJECT DATA

DATE
08.02.2019
JOB NO.
19-00150
SET USE
PLAN COMMISSION
FILE NAME
C1-A1.0
DRAWN BY
DLH
SHEET NO.

A1.0

BUILDING DESIGN FOR:
JACKSON STORAGE
STREET ADDRESS
CITY, WI 53***

SHEET TITLE

BUILDING FLOOR PLANS

REVISIONS

PROJECT DATA

DATE

07.26.2019

JOB NO.

17-00218

SET USE

PLAN COMMISSION
FILE NAME

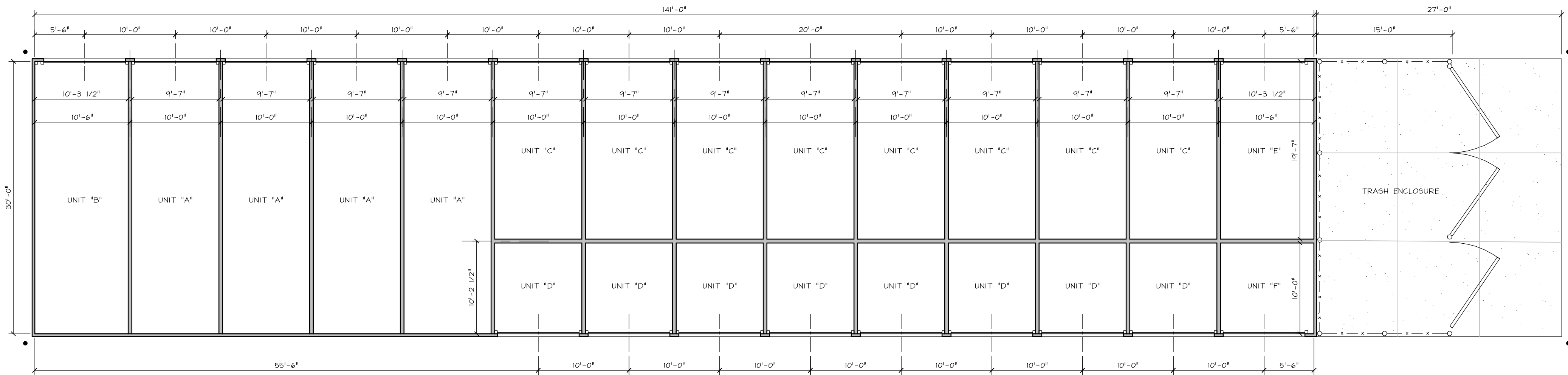
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MVH

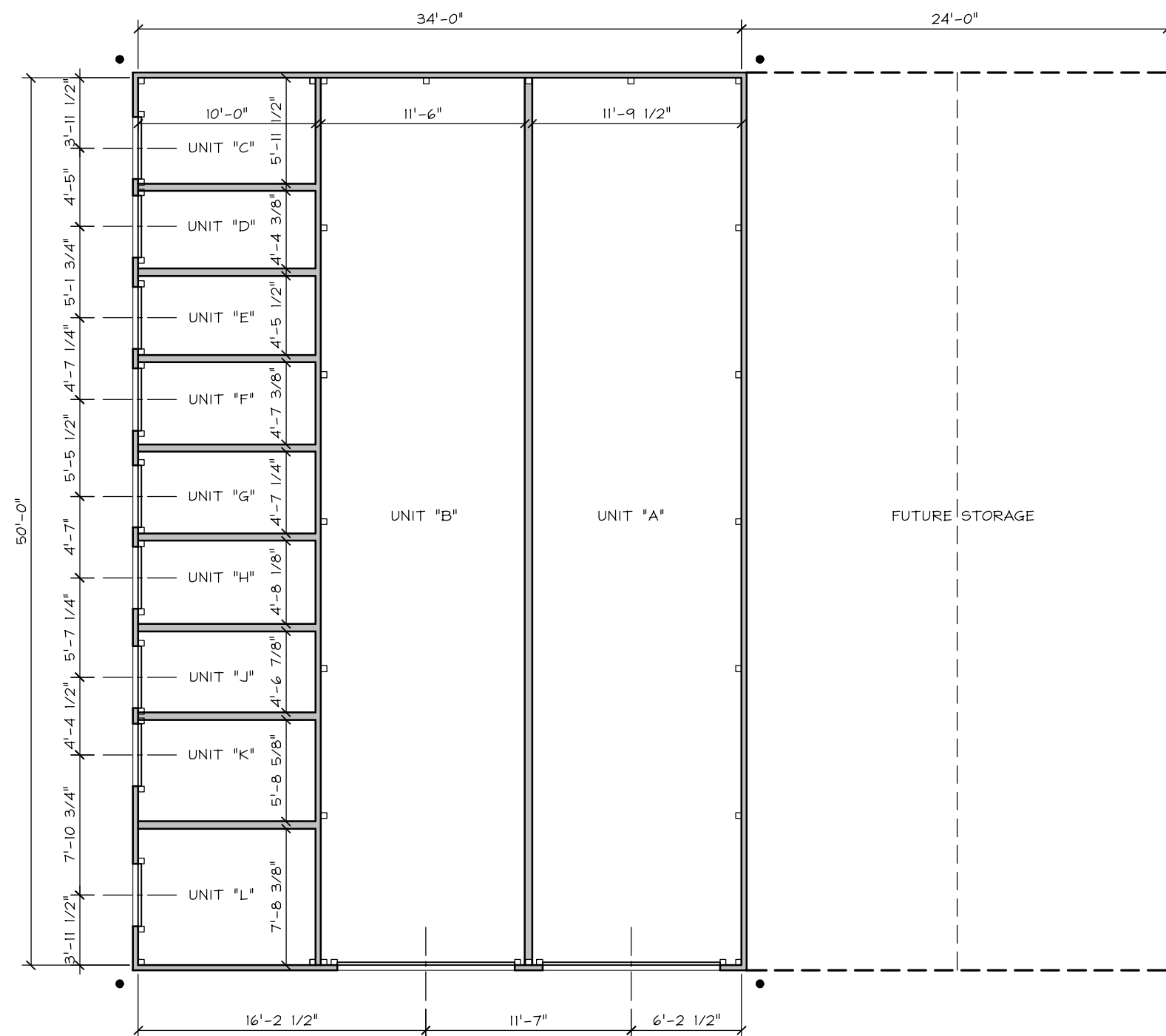
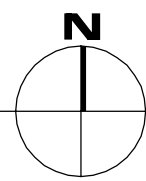
SHEET NO.

A2.1



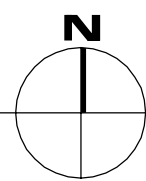
UNIT BREAK DOWN	
UNIT "A"	9'-7" x 30'
UNIT "B"	10'-3 1/2" x 30'
UNIT "C"	9'-7" x 18'-7"
UNIT "D"	9'-7" x 10'
UNIT "E"	10'-3 1/2" x 18'-7"
UNIT "F"	10'-3 1/2" x 10'
TOTAL	23

2 FLOOR PLAN - BUILDING "B"
SCALE: 1/8" = 1'-0"
BUILDING AREA: 4,230 SF



UNIT BREAK DOWN	
UNIT "A"	11'-9 1/2" x 50'
UNIT "B"	11'-4" x 50'
UNIT "C"	5'-11 1/2" x 10'
UNIT "D"	2'-4" x 5'-8" x 10'
UNIT "E"	4'-5 1/2" x 10'
UNIT "F"	2'-7" x 5'-8" x 10'
UNIT "G"	4'-7 1/2" x 10'
UNIT "H"	4'-5 1/8" x 10'
UNIT "I"	4'-6 7/8" x 10'
UNIT "J"	4'-6 7/8" x 10'
UNIT "K"	4'-5 5/8" x 10'
UNIT "L"	7'-5 3/8" x 10'
TOTAL	11

1 FLOOR PLAN - BUILDING "A"
SCALE: 1/8" = 1'-0"
BUILDING AREA: 1,700 SF



DESIGN

2

CONSTRUCT

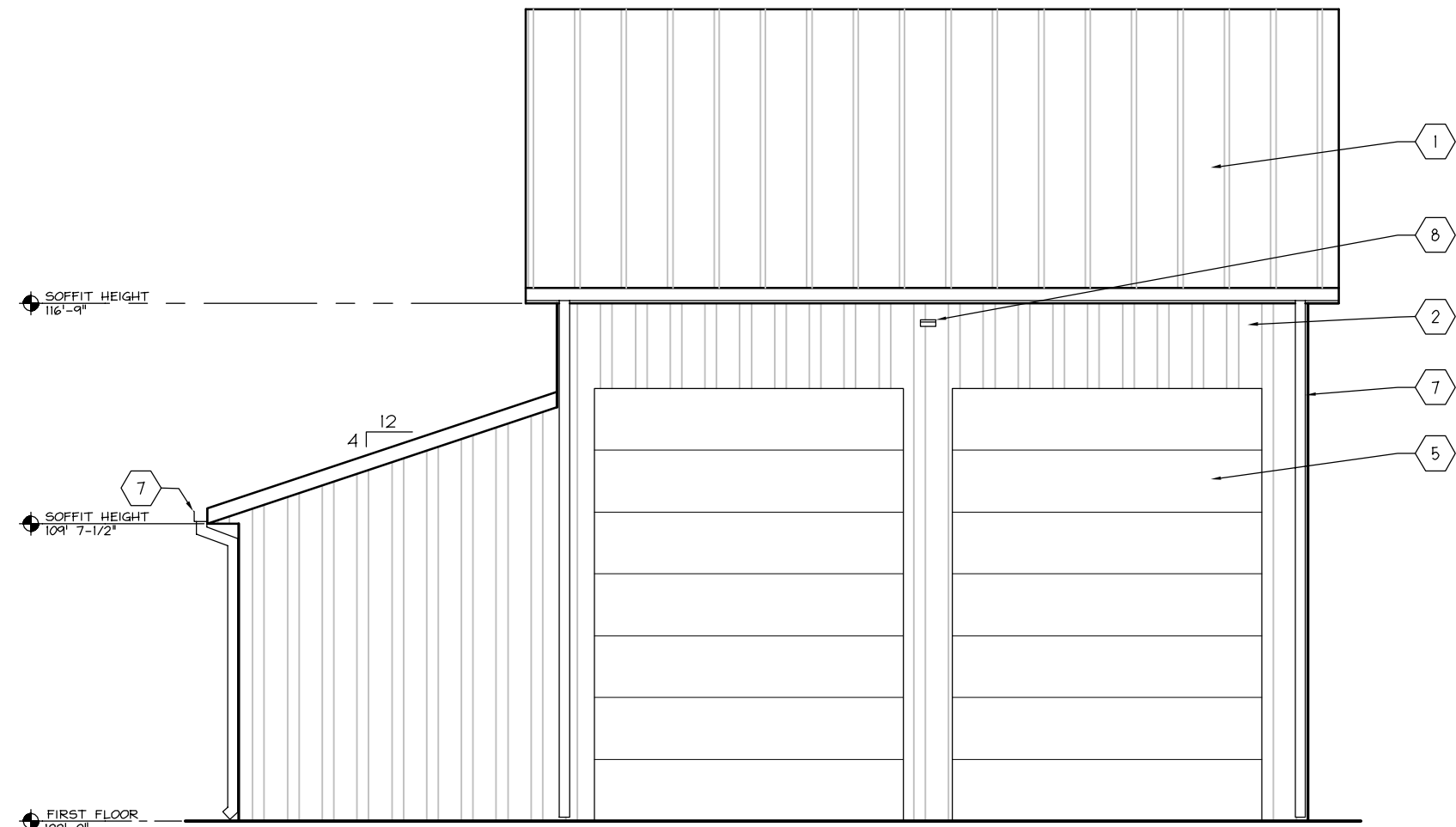
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

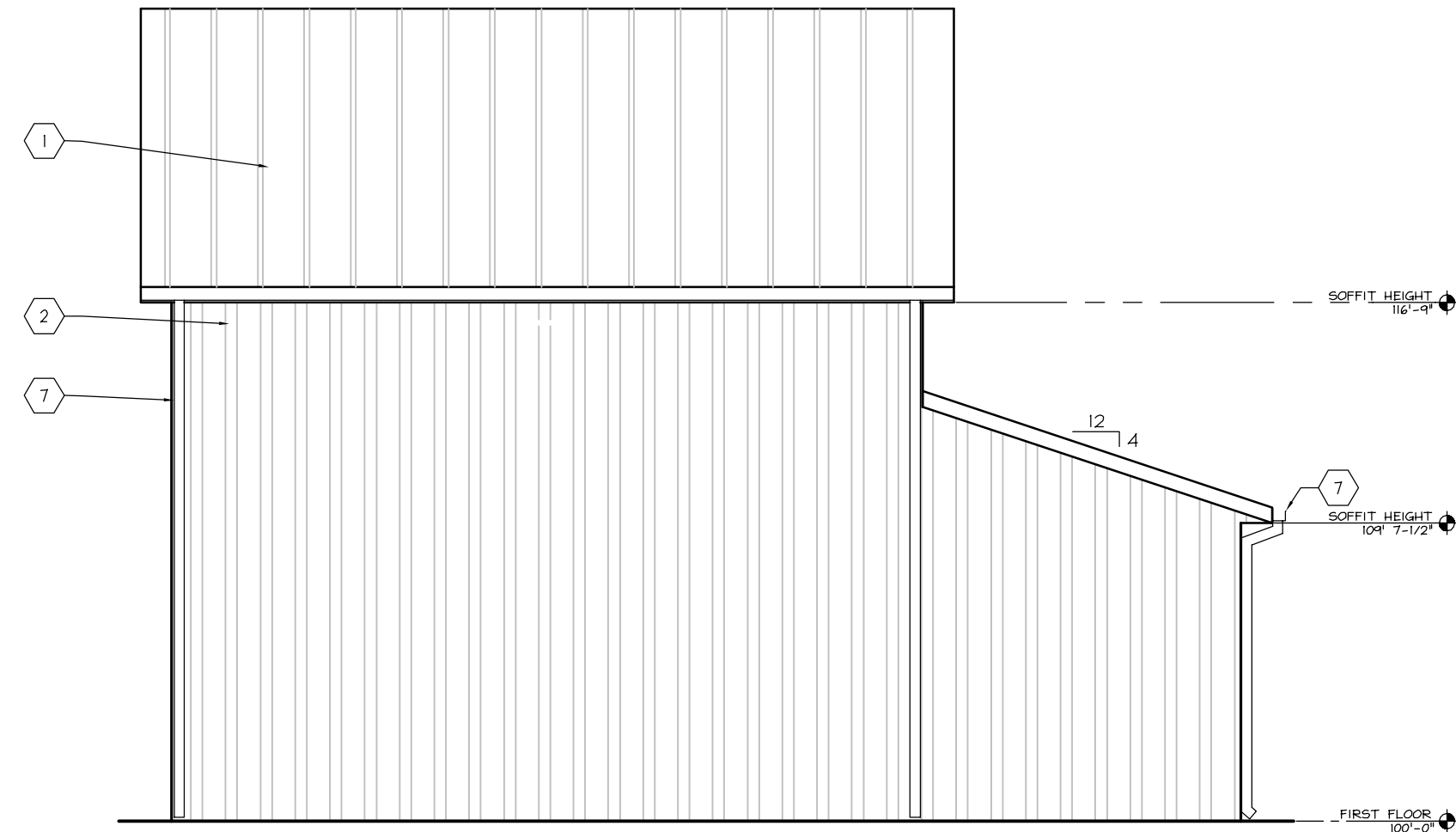
PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

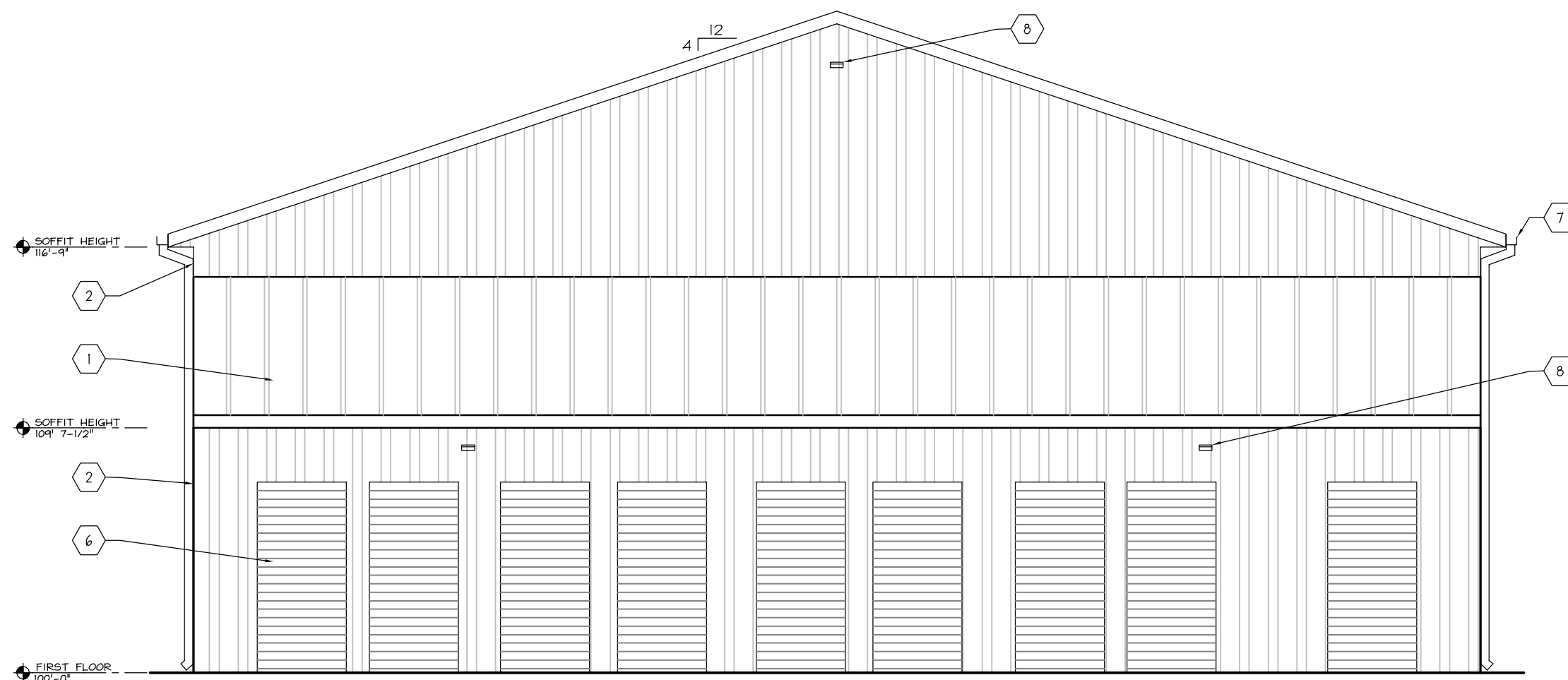
- TYPICAL BUILDING FINISHES
- 1 HI-RIB METAL ROOF PANELS WITH SNOW RETAINERS
 - 2 HI-RIB METAL WALL PANELS
 - 3 9' x 8' COIL-UP DOOR
 - 4 6' HIGH CHAIN LINK FENCE AND GATES W/ PRIVACY SLATS
 - 5 10' x 14' ROLL-UP OVERHEAD DOOR
 - 6 3'-6" x 7'-7" COIL-UP DOOR
 - 7 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT
 - 8 WALL PAK LIGHT FIXTURE



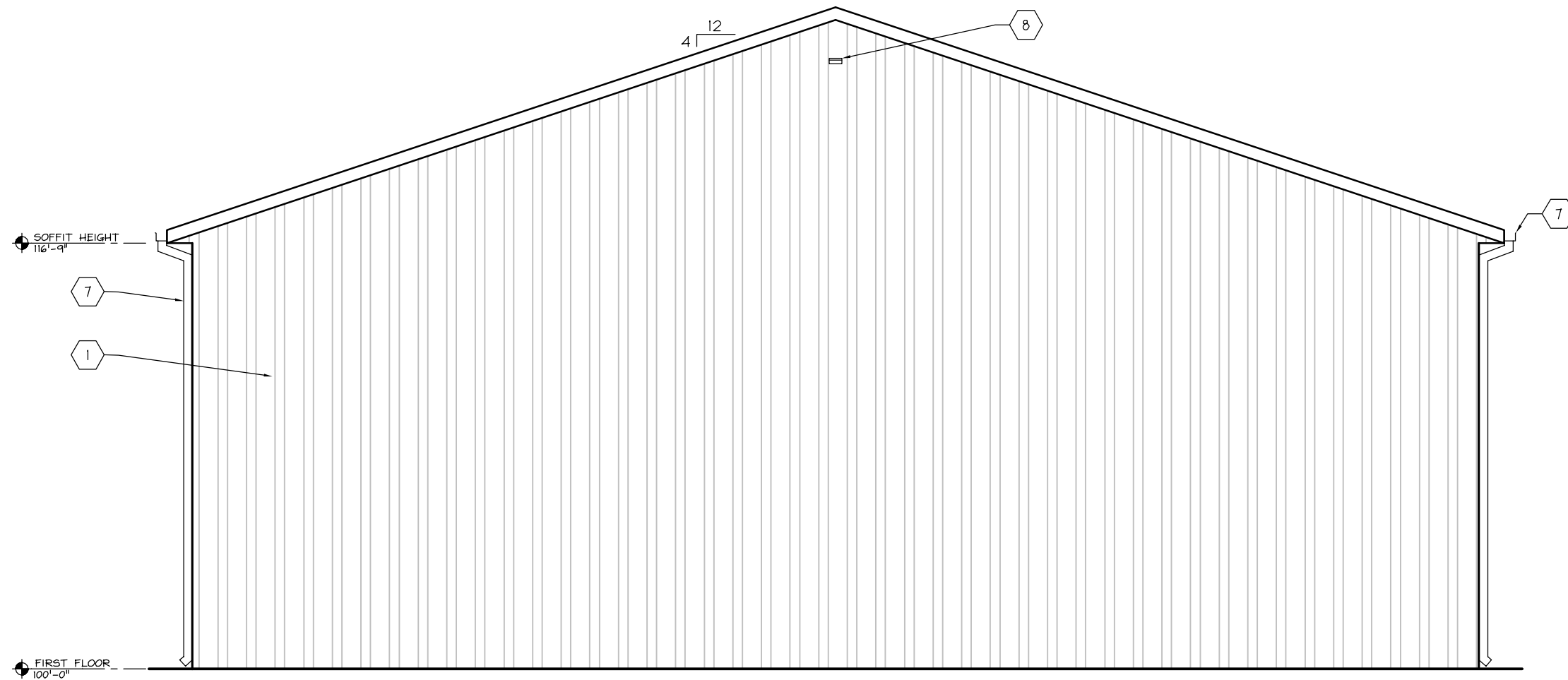
4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING DESIGN FOR:
JACKSON STORAGE
N168W19490 MAIN STREET
JACKSON, WI 53037

SHEET TITLE

BUILDING "A"-
EXTERIOR ELEVATIONS

REVISIONS

PROJECT DATA

DATE

JOB NO. 08.02.2019

SET USE 19-00150

PLAN COMMISSION

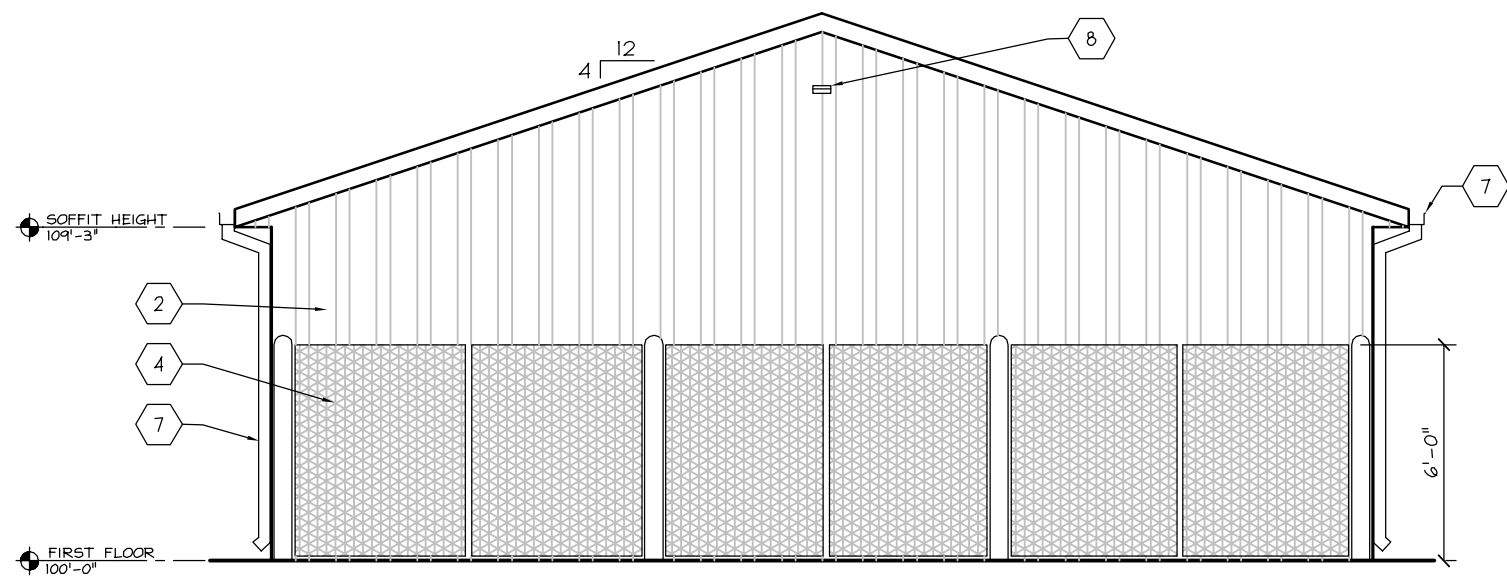
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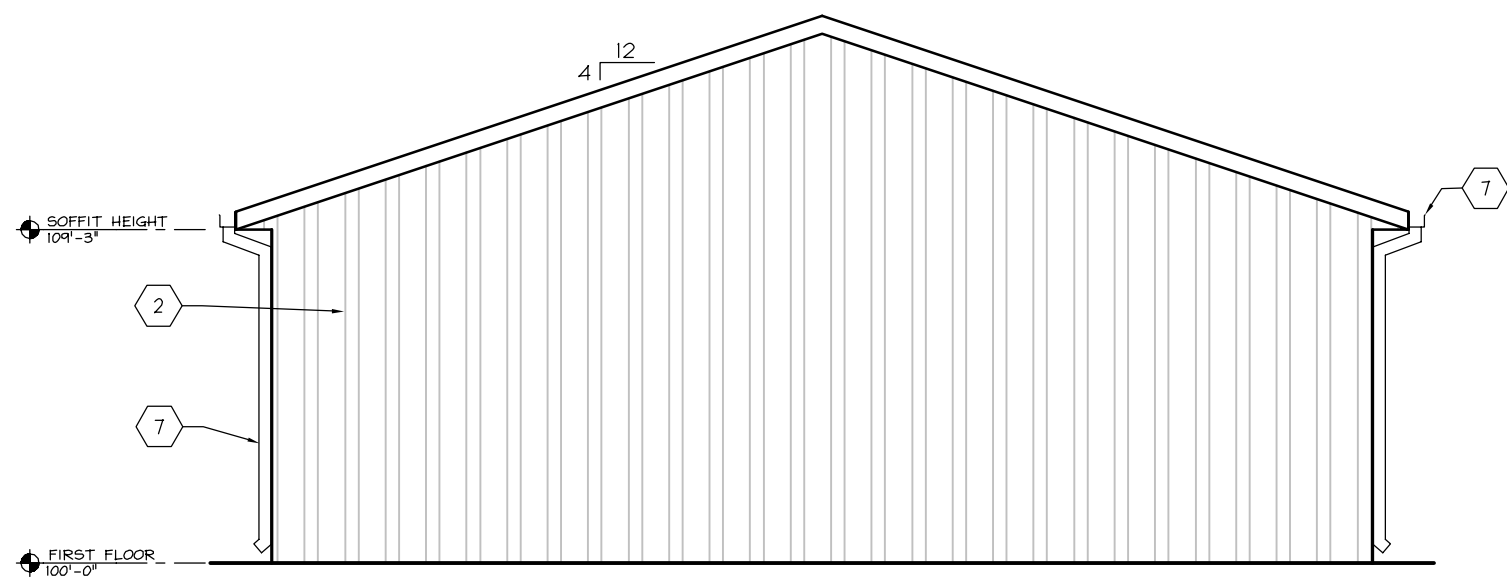
SHEET NO. DLH

A4.1

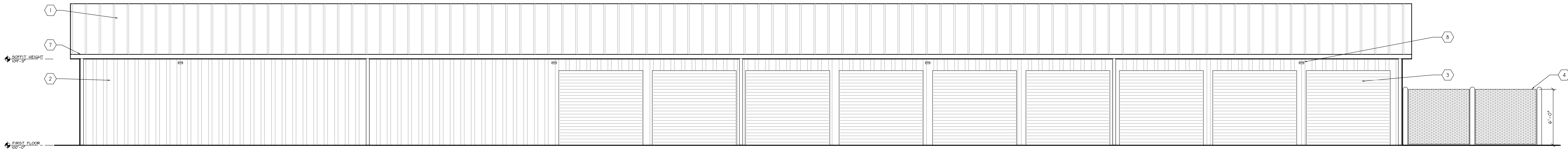
- TYPICAL BUILDING FINISHES
- 1 HI-RIB METAL ROOF PANELS WITH SNOW RETAINERS
 - 2 HI-RIB METAL WALL PANELS
 - 3 9' x 8' COIL-UP DOOR
 - 4 6' HIGH CHAIN LINK FENCE AND GATES W/ PRIVACY SLATS
 - 5 10' x 14' ROLL-UP OVERHEAD DOOR
 - 6 3'-6" x 7'-7" COIL-UP DOOR
 - 7 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT
 - 8 WALL PAK LIGHT FIXTURE



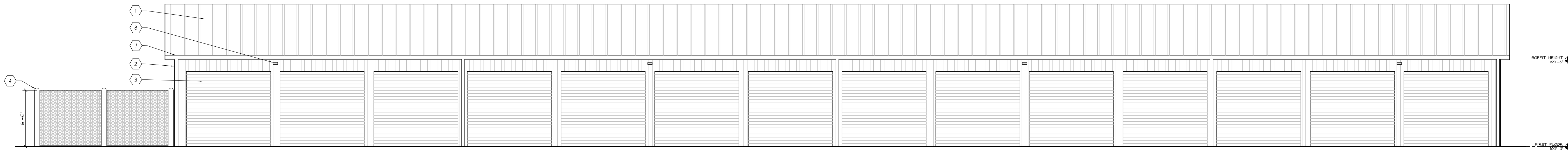
4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING DESIGN FOR:
JACKSON STORAGE
N168W19490 MAIN STREET
JACKSON, WI 53037

SHEET TITLE

SITE PLAN

REVISIONS

PROJECT DATA

DATE 08.02.2019
JOB NO. 19-00150
SET USE PLAN COMMISSION
FILE NAME C1-A1.0
DRAWN BY DLH
SHEET NO.

A1.0

Designer

Date

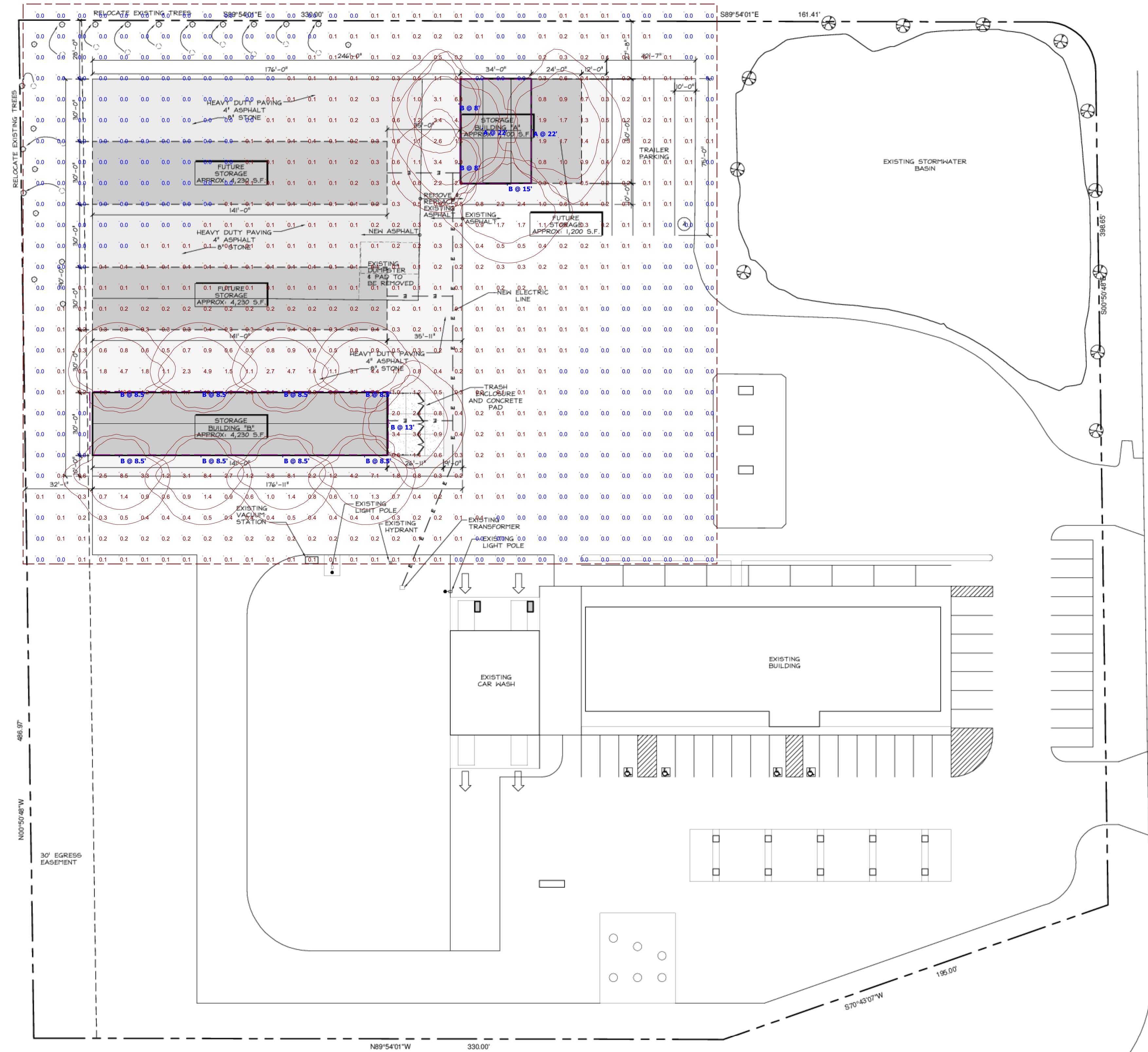
7/31/2019

Scale

Not to Scale

Drawing No.

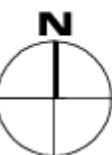
Summary



HIGHWAY 60

Plan View
Scale - 1" = 30ft

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Wattage
	A	2	Lithonia Lighting	TWR1 LED P3 40K	Outdoor Wallpack approx. 4500lm		1	TWR1_LED_P3_40K .ies	39.45
	B	12	Lithonia Lighting	TWR1 LED P2 40K	Outdoor Wallpack approx. 3500lm		1	TWR1_LED_P2_40K .ies	28.2



South East View

DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday, August 29, 2019 at 7:00 p.m.
Jackson Village Hall
N168W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call

Pres. Schwab called the meeting to order at 7:00 p.m.

Members present: Tr. Kruepke, Dan Reik and Jon Weil.

Member Excused: Keith Berben and Tr. Emmrich.

Staff present: Collin Johnson, John Walther and Jilline Dobratz.

2. Approval of Minutes for the Plan Commission Meeting of July 25, 2019

Motion by Jon Weil second by Tr. Kruepke to approve the Plan Commission minutes of July 25, 2019.

Vote: 4 ayes, 0 nays. Motion carried.

3. Comprehensive Plan Update - SEWRPC

Ben McKay was present and gave an update on the progress of the Comprehensive Plan. The Village of Jackson is getting assistance with this plan update as part of the Washington County multi-jurisdictional planning process to update the County plan which was adopted in April. The plan includes two parts. Part one is minor updates. Every community has chosen to do a minor plan update which focuses on the land use plan map, making any adjustments to that map for things that have occurred over the last 10 years and for known changes that may be in the works in the community. Some of the things that have been incorporated into the proposed draft map include updates related to the Village Opportunity Analysis and Redevelopment Plan. A mixed-use area was added to the downtown to reflect the plan that was adopted in 2017. Some natural features have been updated on the map; wetlands and primary environmental corridors to match the commissions most recent inventory of them which was done in 2015. The lands that have been identified in the Mediated Cooperative Plan Agreement with the Town of Jackson to be attached to the Village have been updated. The Village and Town have decided not to have a Joint Comprehensive Plan. Part two of the plan is the year 2035 plan as it pertains specifically to the Village and considers it all one plan with all nine elements covered, including an updated land use plan map. A timeline of future steps was given which includes a Public Hearing before adopting by ordinance.

4. Resolution #19-23 – Terminating the Village of Jackson’s Participation in the Joint Village of Jackson/Town of Jackson Planning Group

John Walther commented on a revision in the resolution.

Motion by Pres. Schwab, second by Dan Reik to recommend the Village Board approve Resolution #19-23 – Terminating the Village of Jackson’s Participation in the Joint Village of Jackson/Town of Jackson Planning Group.

Vote: 4 ayes, 0 nays. Motion carried

5. Resolution #19-24 – Adopting Public Participation Procedures for Amending the Comprehensive Plan for the Village of Jackson

John Walther stated in Exhibit A there was a revision.

Motion by Pres. Schwab, second by Tr. Kruepke to recommend the Village Board approve Resolution #19-24 – Adopting Public Participation Procedures for Amending the Comprehensive Plan for the Village of Jackson.

Vote: 4 ayes, 0 nays. Motion carried

6. Planned Unit Development – J & M Ltd. – Storage Buildings

Mark Hertzfeldt, Design to Construct, was present and gave information on the development. The proposal is for two separate phases of storage buildings. The initial phase is one taller building for RV storage, minor storage and additional parking. The second phase is three smaller buildings to the west, they are identical in footprint. The whole area will be paved, and the pond is sized appropriately to take the additional hard surface. Signage will be a separate submittal as they are not sure what it will be at this point. The slope will be increased, and trees will be relocated to the perimeter. The security lighting requested by the Police Department has been addressed. The plan shows the entire perimeter of the buildings are completely illuminated – no dark spots. Additionally, there are some existing tall pole fixtures on-site that will also illuminate the area. The doors facing Highway 60 will be removed and decorative faux windows will be added.

Motion by Pres. Schwab, second by Jon Weil to recommend the Village Board approve the Planned Unit Development – J & M Ltd. – Storage Buildings, to bring the item to the table.

Collin Johnson inquired about security lighting on the South side of the first building. Mark stated they will light it, so it won't be dark, but not as bright as security lighting. Collin questioned the elimination of the one stormwater inlet, if the intent is to sheet flow all the water east to the retention pond. Mark explained the majority of it does sheet flow and regrading the property allows that to function. They are exploring the options of tying down-spouts into a storm system. Jon Weil inquired about the lights on the building. Mark stated all light energy is directed at a downward angle with full cut-off fixtures. Pres. Schwab asked about timeframe of the phasing. The first building would be this fall and the second building would be next year. Collin commented on the vegetative screening or buffering required by Village Ordinance, between commercial property and residential property. Mark stated they are not removing the buffering but relocating it to the top of the slope. The aesthetics of the buildings were discussed. Pres. Schwab mentioned WE Energies installed a building on Jackson Drive and was required to use a structure sided with exposed aggregate rather than just a metal building and adding a brick or faux stone façade wouldn't be inconsistent with that requirement, considering the visibility of the development. He stated it wouldn't be necessary all the way around but on the southern visible side to dress it up and help match the existing buildings. Dan Reik said would be nice to see the decorative windows, with an actual picture of what they would look like to see what the appearance would be. Mark said they will explore the options.

Pres. Schwab amended his motion to include exploring the options discussed, prior the Village Board meeting. The second concurred with the amendment. The options to be

explored are; the amount of trees and shrubs, exposed aggregates on the buildings to have a higher standard than a standard metal shed, faux stone or brick and windows to help improve the look and complement the look of the other attractive buildings on site.

Vote: 3 ayes, 0 nays, 1 abstain (Tr. Kruepke). Motion carried

7. Planned Unit Development – Final Plat – Bielinski Homes Inc. – Laurel Springs Addition #1

Motion by Pres. Schwab, second by Dan Reik to recommend the Village Board approve the Planned Unit Development – Final Plat – Bielinski Homes Inc. – Laurel Springs Addition #1.

John Walther reported there are no changes from the preliminary plat. John Donovan, Bielinski Homes Inc., commented the State has reviewed and approved the final plat.

Vote: 4 ayes, 0 nays. Motion carried

8. Annexation – Morning Meadows – Temporary Zoning

Motion by Pres. Schwab, second by Tr. Kruepke to recommend the Village Board approve the Annexation – Morning Meadows – Temporary Zoning.

John Walther explained the 22 acres of DNR property, while not being developed, is part of the annexation. The DNR property is what gains the contiguity with the Village of Jackson as it currently is in the Town of Jackson. Jon Weil inquired on DNR input on their portion and how it would be rezoned. John Walther replied it will stay DNR property and will stay zoned the way it is. It is the Highway P Streambank Protection Area and that is not going to change, the zoning won't affect that at all. Pres. Schwab withdrew his motion.

Motion by Pres. Schwab, second by Tr. Kruepke to recommend the Village Board approve Temporary Zoning for the Morning Meadows portion of the area to be annexed as residential.

Jon Weil questioned the DNR area for deer and gun hunting. John Walther stated it will not change, that is on the State level.

Vote: 4 ayes, 0 nays. Motion carried

9. Citizens to Address the Plan Commission

None.

10. Adjourn

Motion by Pres. Schwab, second by Jon Weil to adjourn.

Vote: 4 ayes, 0 nays. Meeting adjourned at 7:34 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCMC*
Village Clerk

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Bielinski Homes, Inc.
 Contact John Donovan Address/ZIP 1830 Meadowlark Pkwy., WI 53072 Phone # 262-548-5570
 E-mail Address jdovoran@bielinski.com E-mail Address where Agenda/Staff comments are to be sent. 262-547-6697
 Name of Owner Bielinski Homes Inc Address/ZIP same as above Phone# 262-542-9494
 Owner Representative/Developer Bielinski Homes, Inc., John Donovan, Dev. Manager
 Proposed Use of Site Single Family - Laurel Springs Addition No. 1 Present Zoning Single Family

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	ZIP DRIVE (USB)
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
<i>Revised</i>			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name John Donovan Signature [Signature] Date 8/5/19

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

☐ Special Use ☐ Conditional Use ☒ Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☒ Planned Unit Development

Permit to:

Name of Business/Applicant: Bieliński Homes, Inc

For a property located at (address): Jackson Drive + Cedar Creek Road

Phone number of Business/Applicant: 262-548-5570

For (land use, activity, sign, site plan, other): Laurel Springs Addition No. 1
Final Plat Revision.

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): _____

Hours of Operation: 24/7

Comprehensive/Master Plan Compatibility: see previously submitted
Planned Unit Development Amendment.

Building Materials (type, color): _____

Setbacks from rights-of-way and property lines: _____

Screening/Buffering: _____

Landscape Plan (sizes, species, location): _____

Signage (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),
(sidewalk/pedestrian way width and material): _____

VILLAGE OF JACKSON

☐ Special Use ☐ Conditional Use ☒ Planned Unit Development

Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☒ Planned Unit Development

Permit to:

Name of Business/Applicant: Bielinski Homes

For a property located at (address): Jackson Drive & Cedar Creek Road

Phone number of Business/Applicant: 262 - 548 - 5570

For (land use, activity, sign, site plan, other): Single Family Subdivision

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): —

Hours of Operation: 24/7

Comprehensive/Master Plan Compatibility: Consistent - being a subdivision of prior platted lots

Building Materials (type, color): _____

Setbacks from rights-of-way and property lines: Front = 25' Collector Street = 30' Rear = 25'
Side = 8'

Screening/Buffering: _____

Landscape Plan (sizes, species, location): Street trees

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),
(sidewalk/pedestrian way width and material): Standard public urban street - 60' R.O.W.
32' pavement, 30" curbs, 5' wide sidewalks (both sides of road)

Storm-water Management: On-site storm water management conforming to Village and WDNR requirements is provided. Practices include (2) wet ponds and (2) biofiltration/rain gardens

Erosion Control: To be provided per Village and WDNR requirements

Fire Hydrant Location(s): Per plan and Village requirements (within public road)

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: N/A

Hazardous Material Storage: N/A

Alarm Systems: N/A

Site Features/Constraints: N/A Wetland boundaries are accommodated with the new site plan

Parking (no. of spaces, handicapped parking, and dimensions): N/A

Tree and shrub preservation: N/A

Setbacks/height limitations: N/A

Wastewater Usage Projected: 5,037,000 gal/year Water Usage Projected: 5,037,000 gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on CD.**
2. **Letter of Intent:** What you are requesting in your own words. (Be brief)
3. **Mailing Labels:** It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. **Proof of Property Ownership:** A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. **Impact Statement:** In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. **Location Map:** Show where the site is relative to a Village map.
7. **Development Plan:** Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. **Plat Map:** Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. **Certified Survey Map:** A recordable instrument showing the legal and mapped description of the land division.
11. **Annexation Petition/Attachment Request:** Shows owner is supporting the annexation.
12. **Annexation Map:** A recordable map having the legal and mapped description of the parcel to be annexed.
13. **Sketch Plan:** An informal drawing depicting the proposal for discussion purposes.
14. **Landscape Plan:** Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. **Grading/Drainage Plan:** Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. **Water/Sewer/Storm Sewer Plans:** Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. **Street Crossing Sections:** Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. **Erosion Control Plan:** A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. **Proposed Colors and Materials:** Submit samples of exterior colors and materials.
20. **Improvement Agreement:** An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. **Annexation Agreement.**

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

October 4, 2017

Village of Jackson
N168 W20733 Main St.
Jackson, WI 53037



Attn: Plan Commission

RE: **Impact Statement**
Laurel Springs Addition No. 1

Dear Plan Commission,

This submittal proposes modifying the layout for the north half of Laurel Springs to accommodate expanded wetlands and new WDNR Stormwater regulations. The original approved PUD proposed 47 lots; this revised plan proposes 46 lots to accommodate the aforementioned objectives. The result of this modification is a reduction of 1 lot which lessens the overall impact of the development.

The specific information on the impact the proposed addition will have on the community is as follows:

- A. Annual water consumption estimate (100% occupancy and build-out)
 - 109,500 gal/year = 1 RU (residential unit)
 - 109,500 gal/yr x 46 lots = **5,037,000 gal/year**
- B. Annual sewage generation estimate (100% occupancy and build-out)
 - 109,500 gal/year = 1 RU (residential unit)
 - 109,500 gal/yr x 46 lots = **5,037,000 gal/year**
- C. Vehicle trip generation (trips per day per unit x number of units)
 - 10 trips/day x # of lots
 - 10 trips/day x 46 = **460 trips/day**
- D. Estimated number of vehicles and recreational vehicles to be stored and/or parked on site = **None**
- E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - **Temporary marketing sign to be moved to this phase of development.**
- F. General hours of operation
 - **24 hours/day, 7 days/week**
- G. Anticipated user profiles (for residential developments)
 - **Single-Family residential home lots**
- H. Proposed dates of construction and completion
 - Start of construction: **Summer 2018**
 - Completion of construction: **Fall 2018**

I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.)

- N/A

I trust that this information fulfills the requirement for submission. If any additional information is required or to ask questions about the proposed development, please feel free to contact me or our team.

Sincerely,

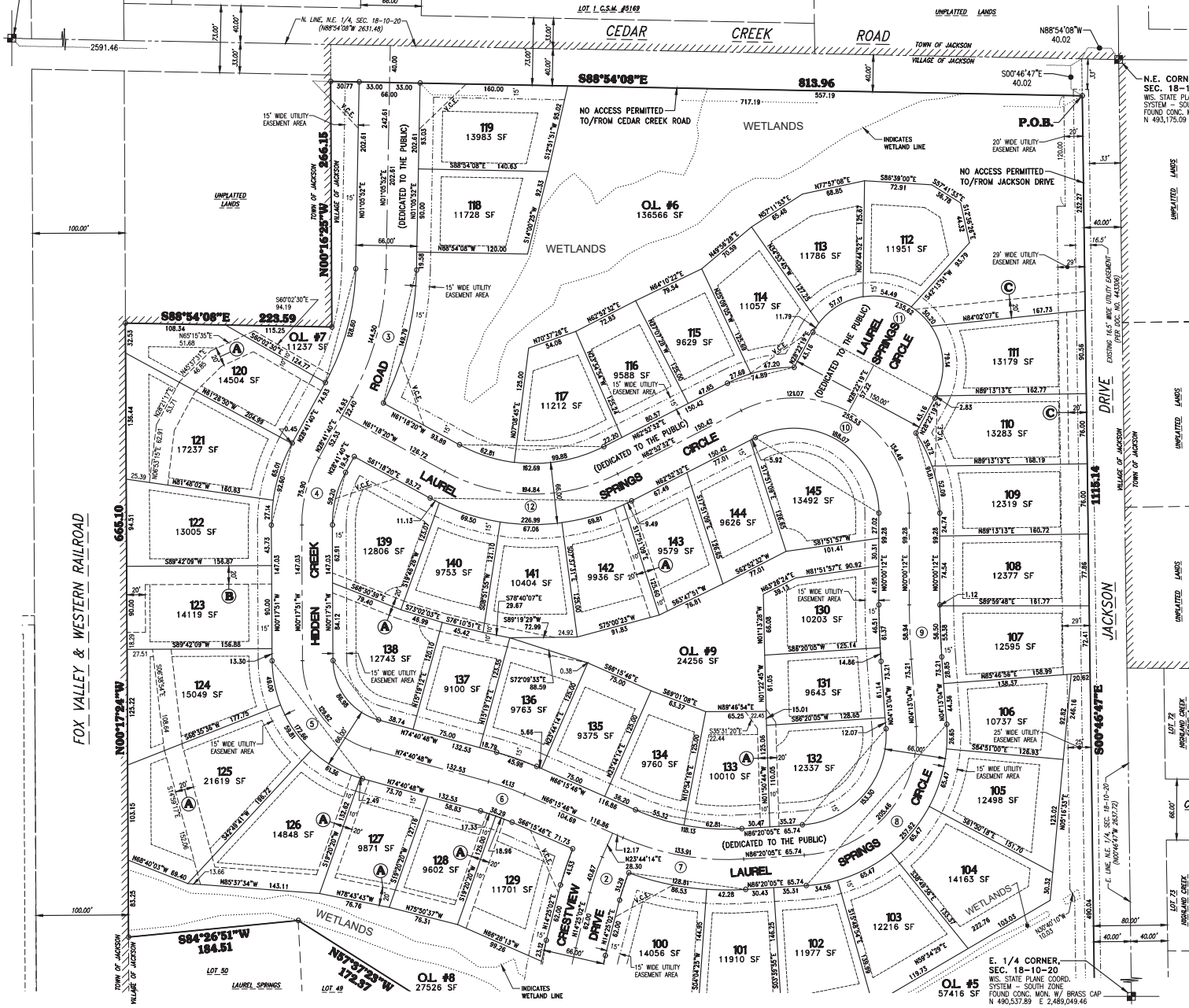
Josh Pudelko, M.S., P.E.
President

N. 1/4 CORNER,
SEC. 18-10-20
WIS. STATE PLANE COORD.
SYSTEM - SOUTH ZONE
FOUND CONC. MON. W/ BRASS CAP
N 483,225.50 E 2,486,382.25

OWNER:
BIELINSKI HOMES, INC.
1830 MEADOW LN. SUITE A
POWUAKEE, WISCONSIN 53072
PHONE: (262) 548-5570

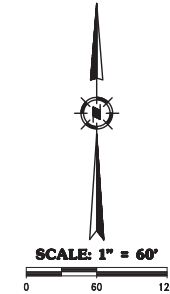
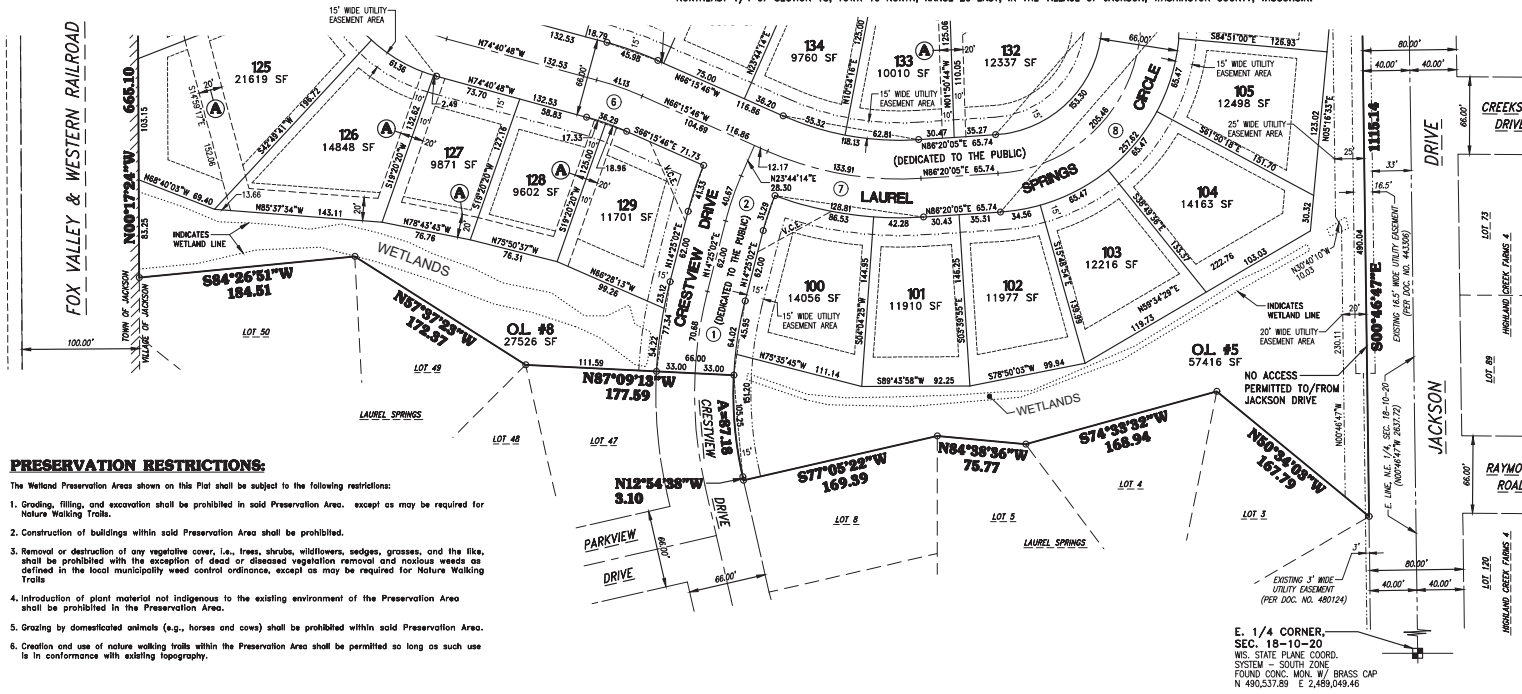
LAUREL SPRINGS ADDITION NO. 1

BEING A REDIVISION OF LOTS 9-46, LOTS 60-68, OUTLOTS 1-4 AND DISCONTINUED ROADS BY RESOLUTION DOC. NO. 19-13, DATED JUNE 12, 2019, BEING A PART OF LAUREL SPRINGS SUBDIVISION, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



LAUREL SPRINGS ADDITION NO. 1

BEING A REDIVISION OF LOTS 9-46, LOTS 60-68, OUTLOTS 1-4 AND DISCONTINUED ROADS BY RESOLUTION DOC. NO. 19-13, DATED JUNE 12, 2019, BEING A PART OF LAUREL SPRINGS SUBDIVISION, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



12660 W. North Avenue
Building "D"
Brookfield, WI 53005
Phone (262) 790-1400
Fax (262) 790-1401

PRESERVATION RESTRICTIONS:

- The Wetland Preservation Areas shown on this Plat shall be subject to the following restrictions:
- Grading, filling, and excavation shall be prohibited in said Preservation Area, except as may be required for Nature Walking Trails.
 - Construction of buildings within said Preservation Area shall be prohibited.
 - Removal or destruction of any vegetative cover, i.e., trees, shrubs, wildflowers, sedges, grasses, and the like, shall be prohibited with the exception of dead or diseased vegetation removal and noxious weeds as defined in the local municipality weed control ordinance, except as may be required for Nature Walking Trails.
 - Introduction of plant material not indigenous to the existing environment of the Preservation Area shall be prohibited in the Preservation Area.
 - Grazing by domesticated animals (e.g., horses and cows) shall be prohibited within said Preservation Area.
 - Creation and use of nature walking trails within the Preservation Area shall be permitted so long as such use is in conformance with existing topography.

EASEMENT LEGEND:

- (A) 20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC STORM SEWER AND DRAINAGE EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
- (B) 20' WIDE PUBLIC WATERMAIN EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
- (C) 20' WIDE PUBLIC SANITARY SEWER EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)

CURVE TABLE:

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
1	C/L	350.00	11°34'14"	70.68	70.56	S08°37'55"W	S14°25'02"E	S02°50'48"W
	EAST	317.00	27°19'40"	151.20	149.77	S00°45'12"E	S14°25'02"E	S12°54'38"E
	EXTERIOR	317.00	15°45'26"	87.18	86.91	S05°01'55"E	S02°50'48"E	S12°54'38"E
	R.O.W. EAST	317.00	11°34'14"	64.02	63.91	S08°37'55"W	S14°25'02"E	S02°50'48"E
	OUTLOT 5	317.00	19°01'23"	105.25	104.77	S03°22'56"E	S06°06'45"W	S12°54'38"E
	100	317.00	8°18'17"	45.95	45.91	S10°15'53"E	S14°25'02"E	S06°06'45"W
	WEST	383.00	11°34'14"	77.34	77.21	S08°37'55"W	S14°25'02"E	S02°50'48"E
	OUTLOT 8	383.00	8°06'43"	54.22	54.18	S06°54'09"E	S10°57'31"W	S02°50'48"E
	129	383.00	32°37'31"	23.12	23.12	S12°41'16"E	S14°25'02"E	S10°57'31"W
2	C/L	250.00	9°19'12"	40.67	40.62	S19°04'38"W	S23°44'14"W	S14°25'02"E
	EAST	217.00	8°15'42"	31.29	31.26	S18°32'53"W	S22°44'04"W	S14°25'02"E
	WEST	283.00	8°22'03"	41.33	41.29	S18°36'03"E	S22°44'05"W	S14°25'02"E
3	C/L	300.00	27°35'48"	144.50	143.10	S14°53'46"E	N08°41'40"E	N01°05'50"E
	EAST	333.00	25°46'20"	149.79	148.53	N13°59'02"E	N08°52'12"E	N01°05'50"E
	WEST	267.00	27°35'48"	126.60	127.36	N14°53'46"E	N08°41'40"E	N01°05'50"E
4	C/L	150.00	28°59'31"	75.90	75.09	S14°11'54"E	S28°41'40"W	S00°17°51"E
	EAST	117.00	28°59'31"	59.20	58.57	S14°11'54"E	S28°41'40"W	S00°17°51"E
	WEST	183.00	28°59'31"	92.60	91.61	S14°11'54"E	S28°41'40"W	S00°17°51"E
	120	183.00	07°08'30"	65.41	65.45	S28°37'25"W	S28°41'40"W	S28°37'10"W
	121	183.00	20°21'12"	65.01	64.67	S18°22'34"W	S28°37'10"W	S00°17°51"E
	122	183.00	8°29'49"	27.14	27.11	S03°57'03"E	S08°11'58"W	S00°17°51"E

CURVE TABLE: (Cont.)

5	C/L	100.00	74°22'57"	129.82	129.90	S37°29'19"E	S00°17°51"E	S74°40'48"E
	NORTHEAST	67.00	74°22'57"	86.98	81.00	S37°29'19"E	S00°17°51"E	S74°40'48"E
	SOUTHWEST	133.00	74°22'57"	172.66	160.79	S37°29'19"E	S00°17°51"E	S74°40'48"E
	124	133.00	21°06'33"	49.00	48.72	S10°51'07"E	S00°17°51"E	S21°24'24"E
	125	133.00	29°45'56"	59.81	59.31	S34°17'21"E	S21°24'24"E	S47°10'19"E
	126	133.00	26°26'06"	61.36	60.82	S60°23'52"E	S47°10'19"E	S73°36'25"E
	127	133.00	10°44'23"	2.49	2.49	S74°08'36"E	S73°36'25"E	S74°40'48"E
6	C/L	280.00	8°25'02"	41.13	41.10	N07°28'17"W	N66°15'46"W	N74°40'48"W
	NORTH	313.00	8°25'02"	45.98	45.94	N07°28'17"W	N66°15'46"W	N74°40'48"W
	SOUTH	247.00	8°25'02"	36.29	36.25	N07°28'17"W	N66°15'46"W	N74°40'48"W
	128	247.00	4°01'08"	17.33	17.32	N72°40'14"W	N70°39'40"W	N74°40'48"W
	129	247.00	4°23'54"	18.96	18.96	N68°22'43"W	N66°15'46"W	N70°39'40"W
7	C/L	280.00	27°24'09"	133.91	132.64	S79°57'50"E	S66°15'46"E	N08°20'05"E
	NORTH	247.00	27°24'09"	118.13	117.01	S79°57'50"E	S66°15'46"E	N08°20'05"E
	134	247.00	12°49'58"	55.32	55.21	S72°40'48"E	S66°15'46"E	S79°05'44"E
	133	247.00	14°34'11"	62.51	62.64	S86°22'49"E	S79°05'44"E	N08°20'05"E
	100	313.00	23°34'46"	128.81	127.90	S81°52'32"E	S79°05'44"E	N08°20'05"E
	101	313.00	10°50'26"	86.53	86.26	S78°00'22"E	S79°05'44"E	S85°55'35"E
	101	313.00	74°44'20"	42.28	42.24	S89°47'43"E	S85°55'35"E	N08°20'05"E

CURVE TABLE: (Cont.)

8	C/L	130.00	90°33'09"	205.46	184.73	N41°03'30"E	N86°20'05"E	N04°13'04"W
	NORTHWEST	97.00	90°33'09"	153.30	137.84	N41°03'30"E	N86°20'05"E	N04°13'04"W
	SOUTHWEST	163.00	90°33'09"	257.62	231.63	N41°03'30"E	N86°20'05"E	N04°13'04"W
	102	163.00	12°08'59"	34.56	34.50	N80°15'55"E	N86°20'05"E	N74°11'06"E
	103	163.00	23°00'42"	65.47	65.03	N62°40'40"E	N74°11'06"E	N61°10'24"E
	104	163.00	23°00'42"	65.47	65.03	N89°40'03"E	N61°10'24"E	N28°09'42"E
	105	163.00	23°00'42"	65.47	65.03	N16°39'21"E	N28°09'42"E	N05°09'00"E
	106	163.00	9°22'04"	26.65	26.62	N00°27'58"E	N05°09'00"E	N04°13'04"W
9	C/L	800.00	4°13'16"	58.94	58.92	S02°06'26"E	S00°00'12"W	S04°13'04"E
	EAST	767.00	4°13'16"	56.50	56.49	S02°06'26"E	S00°00'12"W	S04°13'04"E
	107	767.00	4°08'14"	55.38	55.37	S02°06'53"E	S00°04'50"E	S04°13'04"E
	108	767.00	0°05'02"	1.12	1.12	S00°02'19"E	S00°00'12"W	S00°04'50"E
	WEST	833.00	4°13'16"	61.37	61.35	S02°06'26"E	S00°00'12"W	S04°13'04"E
	131	833.00	17°01'20"	14.86	14.86	S03°42'24"E	S02°11'44"E	S04°13'04"E
	130	833.00	31°11'56"	46.51	46.50	S01°35'46"E	S00°00'12"W	S02°11'44"E
10	C/L	125.00	117°07'40"	255.53	213.31	N58°33'38"E	N00°00'12"E	S62°52'32"E
	C/L NORTHEAST	125.00	61°37'53"	134.46	128.07	N30°48'44"E	N00°00'12"E	N61°37'41"W
	C/L NORTHWEST	125.00	55°29'47"	121.07	116.40	N89°22'28"W	N61°37'41"W	N28°52'32"E
	109	158.00	18°53'20"	52.09	51.85	N09°26'58"W	N00°00'12"E	N18°53'08"W
	110	158.00	14°24'14"	39.72	39.62	N09°05'15"W	N18°53'08"W	N13°27'22"W
	NORTH 109+110	158.00	27°09'27"	74.89	74.19	S76°27'15"W	N09°58'01"W	S62°52'32"E
	114	158.00	17°07'01"	47.20	47.03	S81°28'28"E	N09°58'01"W	S72°54'58"W
	115	158.00	10°02'26"	27.69	27.65	S67°35'45"W	S72°54'58"W	S62°52'32"E
	SOUTHWEST	92.00	117°07'40"	188.07	156.99	N58°33'38"E	N00°00'12"E	S62°52'32"E

CURVE TABLE: (Cont.)

11	TOTAL	75.00	180°00'00"	235.62	150.00	N61°37'41"W	N28°22'19"E	S28°22'19"W
	110	75.00	20°09'44"	2.83	2.83	N27°17'22"E	N28°22'19"E	N26°12'35"E
	111	75.00	60°27'30"	78.14	75.52	N04°01'10"W	N26°12'35"E	N34°14'56"W
	OUTLOT 6	75.00	23°04'26"	30.20	30.00	N45°47'06"W	N34°14'56"W	N57°19'21"W
	112	75.00	41°37'21"	54.49	53.29	N78°08'01"E	N57°19'21"W	S81°03'18"W
	113	75.00	43°40'25"	57.17	55.79	S39°13'05"E	S81°03'18"W	S37°22'53"W
	114	75.00	9°00'34"	11.79	11.78	S32°52'36"W	S37°22'53"W	S28°22'19"W
12	C/L	200.00	55°49'08"	194.84	187.23	S89°12'54"E	S61°18'20"E	N62°52'32"E
	NORTH	167.00	55°49'08"	162.89	156.34	S89°12'54"E	S61°18'20"E	N62°52'32"E
	117	167.00	34°16'13"	99.88	98.40	N80°00'38"E	S82°51'15"E	N62°52'32"E
	OUTLOT 6	167.00	21°32'56"	62.81	62.44	S72°04'47"E	S61°18'20"E	S82°51'15"E
	SOUTH	233.00	55°49'08"	226.99	218.12	S89°12'54"E	S61°18'20"E	N62°52'32"E
	143	233.00	22°00'00"	9.49	9.49	N64°02'32"E	N65°12'32"E	N62°52'32"E
	142	233.00	17°09'57"	69.81	69.55	N73°47'30"E	N65°12'32"E	N65°12'32"E
	141	233.00	16°29'26"	67.06	66.83	S89°22'46"E	S61°08'05"E	N62°22'29"E
	140	233.00	17°05'30"	69.50	69.25	S72°35'20"E	S64°02'35"E	S81°08'05"E
	139	233.00	24°41'16"	11.13	11.13	S62°40'27"E	S61°18'20"E	S64°02'35"E

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis Stats.

Certified _____, 20____

Department of Administration

LAUREL SPRINGS ADDITION NO. 1

BEING A REDIVISION OF LOTS 9-46, LOTS 60-68, OUTLOTS 1-4 AND DISCONTINUED ROADS BY RESOLUTION DOC. NO. 19-13, DATED JUNE 12, 2019, BEING A PART OF LAUREL SPRINGS SUBDIVISION, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a redivision of Lots 9-46, Lots 60-68, Outlots 1-4 and Discontinued Roads by Resolution Doc. No. 19-13, dated June 12, 2019, being a part of "Laurel Springs" Subdivision, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 18, Town 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northeast corner of the said Section 18; Thence North 88°54'08" West and along the North line of the said Northeast 1/4 Section and the centerline of "Cedar Creek Road", 40.02 feet to a point; Thence South 00°46'42" East, 40.02 feet to a point where the South Right-of-Way line of said "Cedar Creek Road" meets the West Right-of-Way line of "Jackson Drive", said point being the place of beginning of lands hereinafter described;

Continuing thence South 00°46'42" East and along the said West Right-of-Way line being parallel to and at a right angle distance of 40.00 feet from the East line of the said Northeast 1/4 Section, 1115.14 feet to a point; Thence North 50°34'03" West and along the Northeast line of Lot 3 of said "Laurel Springs" Subdivision, 167.79 feet to a point; Thence South 74°33'32" West and along the North line of Lot 4 of said "Laurel Springs" Subdivision, 168.94 feet to a point; Thence North 84°38'36" West and along the North line of Lot 5 of said "Laurel Springs" Subdivision, 75.77 feet to a point; Thence South 77°05'22" West and along the North line of Lot 8 of said "Laurel Springs" Subdivision, 169.59 feet to a point on the East Right-of-Way line of "Crestview Drive"; Thence North 12°54'58" West and along the said East Right-of-Way line, 3.10 feet to a point of curvature; Thence Northwesterly 87.18 feet along the said East Right-of-Way line and the arc of a curve, whose center lies to the Northeast, whose radius is 317.00 feet, whose central angle is 15°45'26", and whose chord bears North 05°01'55" West, 86.91 feet to a point; Thence North 87°09'13" West and along the North line of Lot 47 of said "Laurel Springs" Subdivision and Easterly extension thereof, 177.59 feet to a point; Thence North 57°37'23" West and along the Northeastery line of Lot 49 of said "Laurel Springs" Subdivision, 172.37 feet to a point; Thence South 84°26'51" West and along the North line of Lot 50 of said "Laurel Springs" Subdivision, 184.51 feet to a point on the East Right-of-Way line of the "Fox Valley & Western Railroad"; Thence North 00°17'24" West and along the said East Railroad Right-of-Way line, 665.10 feet to a point; Thence South 88°54'08" East and along the South line of Unplatted Lands, 223.59 feet to a point; Thence North 00°16'25" West and along the East line of said Unplatted Lands, 266.15 feet to a point on the said South Right-of-Way line of "Cedar Creek Road"; Thence South 88°54'08" East and along the said South Right-of-Way line being parallel to and at a right angle distance of 40.00 feet from the said North line of the said Northeast 1/4 Section, 813.96 feet to the point of beginning of this description.

Said Parcel contains 992,017 Square Feet (or 22.7736 Acres) of land, more or less.

That I have made such survey, land division and map by the direction of BIELINSKI HOMES, INC., owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Jackson in surveying, dividing and mapping the same.

Dated this ____ Day of _____, 20 ____.

Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

UTILITY EASEMENT PROVISIONS:

An easement for electric, natural gas, and communications service is hereby granted by

BIELINSKI HOMES, INC., Grantor, to

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies, Grantee,

WISCONSIN BELL, INC., d/b/a AT&T Wisconsin, a Wisconsin Corporation, Grantee, and

TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

BIELINSKI HOMES, INC., a Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Corporation has caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection.

APPROVING AGENCIES:

1. Village of Jackson

AGENCIES WHO MAY OBJECT:

1. State of Wisconsin, Department of Administration
2. Washington County Planning & Parks Commission

Witness the hand and seal of said Owner this ____ day of _____, 20 ____.

BIELINSKI HOMES, INC.

Frank Bielinski, Vice President

STATE OF WISCONSIN)
) SS
COUNTY OF _____)

Personally came before me this ____ day of _____, 20 ____, the above named Frank Bielinski, Vice President of the above named Corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such Vice President of said Corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Corporation, by its authority.

Print Name: _____
Public, _____ County, WI
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE:

OLD NATIONAL BANK, a Corporation duly organized and existing by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Plat, and does hereby consent to the above certificate of BIELINSKI HOMES, INC., owner, this ____ day of _____, 20 ____.

OLD NATIONAL BANK

STATE OF WISCONSIN)
) SS
COUNTY OF _____)

Personally came before me this ____ day of _____, 20 ____, the above named _____, _____ of the above named Corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ of said Corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Corporation, by its authority.

Print Name: _____
Public, _____ County, WI
My Commission Expires: _____

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WASHINGTON)

I, Jane Marten, being duly elected, qualified and acting Treasurer of the County of Washington, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of this ____ Day of _____, 20 ____ on any of the land included in the Plat of "LAUREL SPRINGS ADDITION NO. 1".

Dated this ____ Day of _____, 20 ____.

Jane Marten, County Treasurer

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WASHINGTON)

I, Paula Winter, being duly appointed, qualified and acting Treasurer of the Village of Jackson, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this ____ Day of _____, 20 ____ on any of the land included in the Plat of "LAUREL SPRINGS ADDITION NO. 1".

Dated this ____ Day of _____, 20 ____.

Paula Winter, Deputy Treasurer

VILLAGE BOARD APPROVAL:

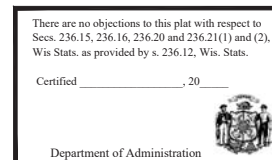
Resolved, that the plat of "LAUREL SPRINGS ADDITION NO. 1", in the Village of Jackson, having been recommended by the Plan Commission, and being the same, is hereby approved and the dedication herein accepted by the Village Board of Trustees of the Village of Jackson, on this ____ Day of _____, 20 ____.

By approval of this Plat, the Village of Jackson hereby releases its rights to the 20' Watermain Easement over part of Lots 32 and 33, the 20' Sanitary Sewer Easement over part of Lots 20 and 21, the 20' Storm Sewer Easements over part of Lots 21, 22, 26, 27, 41 and 42, the 20' Drainage Easement over part of Lots 36, 37, 38, 39, 41, 42, 43, 44, 45 and 48, the 20' Storm Sewer and Drainage Easement over part of Lots 64, 65, 66, 67 and 68, and the Storm Water Management & Maintenance Easements over part of Lots 21, 22, 23, 26 and 29 of "Laurel Springs" as recorded in the Office of the Register of Deeds for Washington County on March 19, 2008, as Document No. 1186426.

Dated this ____ Day of _____, 20 ____.

Mike Schwab, Village President

John M. Walther, Village Administrator





TONY EVERS
GOVERNOR
JOEL BRENNAN
SECRETARY

Plat Review

101 E Wilson St FL 9, Madison WI 53703
PO Box 1645, Madison WI 53701
(608) 266-3200 Fax: (608) 264-6104 TTY: (608) 267-9629
E-mail: plat.review@wi.gov
<http://doa.wi.gov/platreview>

July 29, 2019

0088
PERMANENT FILE NO. 27866

GRADY GOSSE
TRIO ENGINEERING, LLC
4100 N CALHOUN RD STE 300
BROOKFIELD WI 51005

Subject: LAUREL SPRINGS ADDITION NO. 1
NE 1/4 S18 T10N R20E
VILLAGE OF JACKSON, WASHINGTON COUNTY

Dear Mr. Gosser:

You have submitted LAUREL SPRINGS ADDITION NO. 1 for review. The Department of Administration does not object to the final plat bearing the July 17, 2019 revision date. We certify that it complies with s. 236.15, s. 236.16, s. 236.20, and s. 236.21, Wis. Stats. and the Washington County Planning & Parks Department.

DEPARTMENT OF ADMINISTRATION COMMENTS:

NOTE TO ALL: The surveyor indicated that all exterior monuments have been set and that the Village of Jackson has temporarily waived placing the interior monuments per s. 236.15 (1) (h), Wis. Stats.

COUNTY PLANNING AGENCY:

The Washington County Planning & Parks Department is an objecting agency on this plat. On June 14, 2018 we transmitted copies to them for review. On August 1, 2018 they returned a copy of the plat certifying no objection. Today they notified us that the changes made do not affect their previous certification.

The plat shall be presented to the Village Board for final approval and signing. The Village, during its review of the plat, will have resolved when applicable that the plat:

- complies with local comprehensive plans, official map or subdivision control ordinances;
- conforms with areawide water quality management regulations;
- complies with Wisconsin shoreland management regulations;
- resolves possible problems with storm water runoff;
- fits the design to the topography;
- displays well designed lot and street layout;
- is served by public sewer or private sewage systems;
- includes service or is serviceable by necessary utilities.

Grady Gosser

July 29, 2019

Any changes to the plat involving details checked by this Department or the Washington County Planning & Parks Department will require submission of the plat to the Department for recertification before the plat is eligible for recording. Such changes can be found by comparing the recordable document with the copy of the certified plat furnished with this letter.

If there are any questions concerning this review, please contact our office, at the number listed below.

Sincerely,


Renée M. Powers, PLS
Plat Review
Phone: (608) 266-3200

Enc: Recordable Document, Print

cc: Bielinski Homes, Owner
Clerk, Village of Jackson
Washington County Planning & Parks Department
Register of Deeds
SEWRPC

ORIGINAL RECEIVED FROM SURVEYOR ON 06/14/2018; REVIEWED ON 07/16/2018;
REVISED DRAWING RECEIVED FROM SURVEYOR ON 07/19/2019



TONY EVERS
GOVERNOR
JOEL BRENNAN
SECRETARY

Plat Review

101 E Wilson St FL 9, Madison WI 53703
PO Box 1645, Madison WI 53701
(608) 266-3200 Fax: (608) 264-6104 TTY: (608) 267-9629
E-mail: plat.review@wi.gov
<http://doa.wi.gov/platreview>

0088

August 13, 2019

PERMANENT FILE NO. 27866

GRADY GOSSER
TRJO ENGINEERING, LLC
4100 N CALHOUN RD STE 300
BROOKFIELD WI 51005

Subject: LAUREL SPRINGS ADDITION NO. 1
NE 1/4 S18 T10N R20E
VILLAGE OF JACKSON, WASHINGTON COUNTY

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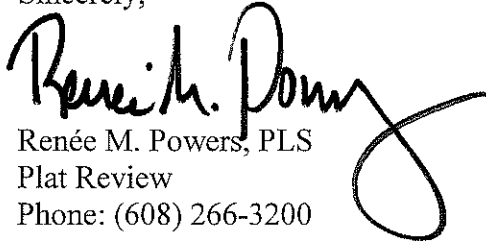
The plat shall be presented to the Village Board for final approval and signing. The Village, during its review of the plat, will have resolved when applicable that the plat:

- complies with local comprehensive plans, official map or subdivision control ordinances;
- conforms with areawide water quality management regulations;
- complies with Wisconsin shoreland management regulations;
- resolves possible problems with storm water runoff;
- fits the design to the topography;
- displays well designed lot and street layout;
- is served by public sewer or private sewage systems;
- includes service or is serviceable by necessary utilities.

Any changes to the plat involving details checked by this Department or the Washington County Planning & Parks Department will require submission of the plat to the Department for recertification before the plat is eligible for recording. Such changes can be found by comparing the recordable document with the copy of the certified plat furnished with this letter.

If there are any questions concerning this review, please contact our office, at the number listed below.

Sincerely,

A handwritten signature in black ink, appearing to read "Renée M. Powers". The signature is fluid and cursive, with a large loop at the end.

Renée M. Powers, PLS
Plat Review
Phone: (608) 266-3200

Enc: Recordable Document, Print

cc: Bielinski Homes, Owner
Clerk, Village of Jackson
Washington County Planning & Parks Department
Register of Deeds
SEWRPC

ORIGINAL RECEIVED FROM SURVEYOR ON 06/14/2018; REVIEWED ON 07/16/2018;
REVISED DRAWING RECEIVED FROM SURVEYOR ON 07/19/2019; NECESSARY
INFORMATION RECEIVED FROM THE SURVEYOR ON 08/13/2019

DRAFT MINUTES

Village Board Meeting

Tuesday, August 13, 2019 at 7:30 p.m.

Jackson Village Hall

N168 W20733 Main Street

Jackson, WI 53037

1. Call to Order and Roll Call.

Pres. Schwab called the meeting to order at 7:30 p.m.

Members Present: Trustees Emmrich, Kruepke, Kurtz, Lippold, Malcolm and Olson.

Staff present: Collin Johnson, Brian Kober, Chief Swaney, Kelly Valentino, Chief Vossekuil, John Walther, Jilline Dobratz and Village Attorney Matt Parmentier.

2. Pledge of Allegiance.

Pres. Schwab led the assembly in the Pledge of Allegiance.

3. Any Village Citizen Comment on an Agenda Item.

None.

4. Ceremonial Oath of Office – Justin Brinks – Police Sergeant.

Chief Vossekuil stated Sergeant Brinks is a seven-year veteran in the Jackson Police Department. He is a field training officer, firearms instructor and will do a great job supervising the night shift.

Village Clerk Dobratz conducted the ceremonial oath of office for Police Sergeant Justin Brinks.

5. Public Hearing – Conditional Unit Permit (CUP) – Affordable Green Homes – Storage Facility – Meadow Lane, Lot 1

Pres. Schwab opened the Public Hearing.

Deb Spaeth, N168 W21058 Main Street - Stated the party withdrew the offer to purchase. It is still on the market and she is here to listen to comments that are made.

Steve Schoen, W198 N16890 Ridgeway Drive – Commented their family home is at the bottom above Jimmy's restaurant. Some of the information on the memo isn't accurate. There was a drain tile on the properties and behind Jimmy's there was a catch basin that since has been filled in so it's not active. The tile was disrupted and no longer goes underground, it goes over the top. The bulk of the water comes out of a tube in the ground. After Jimmy's flooded several times, a berm was built on their property with a drain tile in it that is supposed to stop the water and push it around the building. Several years ago, he met with the former Director of Public Works, and he was going to have the property owner connected the tube with storm sewer, but it was never done. Letting water come out of the hole and rush down to Jimmy's, to him, is a problem. In the future, he doesn't think the property is big enough to put a water retention pond. It is not connected underground anymore and is broken up some place. It doesn't curve in the back yard, it goes straight toward the center of Jimmy's building.

Collin Johnson, Director of Building Inspection/Code Enforcement Officer, gave some background on the memo he provided. It was found where the inlet discharged and discovered the drainage ditch. There is evidence of a former drain tile to the property north of Jimmy's. The parcel could benefit from some regrading and onsite stormwater inlet to capture and convey it better. The adjacent property has land area without any type of

stormwater system present on that site. There are potential improvements that could be made, it could be looked at and studied.

Thomas Selle, N169 W21155 Meadow Lane – Stated when he built 22 years ago, he was required to take the secondary lot and pitch everything to the north to retain as much water to the street as possible. To the south, of the old concrete barnyard, there is one tile that comes to the south which flows a lot of water. There is a catch basin behind the Spaeth property in the gravel driveway and to the east of his property there is a catch basin.

Pres Schwab closed the Public Hearing.

Pres Schwab stated since the buyer that was proposing the Concept Plan to the Plan Commission has withdrawn there offer, he doesn't see any reason to proceed any further with this unless someone in the gallery has other reasons that they move forward. Collin Johnson suggested the information be place on file for future consideration. John Walther added it is good for the Board to understand the situation. The catch basin that is there is about 60 feet south of where that property ends. Deb Spaeth needs to know if they have another potential buyer what she can tell them, and she can have some information going forward. Deb Spaeth commented it is a small parcel, a half-acre, there are people who just need that size. They also need to know what they need to do, there needs to be some information from the Village as to what would be required. What information is there that they can say of what the Village is looking for. It would be great if someone had a use for it and they would like to have them come into the property with knowledge of what it is going to cost to bring it up to code/spec. Collin Johnson commented whoever decides to purchase the property will need to manage the water on site and reduce, as much as possible, any runoff onto abutting properties. It would be there obligation or responsibility to come up with a plan that does that.

6. Resolution #19-21 – Recognizing Kenneth W. Klumb for his 60 Years of Active Service on the Jackson Fire Department

Chief Swaney introduced Kenneth Klumb stating he has been with the Jackson Fire Department for 60 years. He is being recognized for his hard work and all the things he has done to bring the department to where it is today. Pres. Schwab read the resolution.

Motion by Pres. Schwab, second by Tr. Emmrich to approve Resolution #19-21 – Kenneth W. Klumb for his 60 years of active service on the Jackson Fire Department.

Roll Call Vote: 7 ayes, 0 nays. Motion carried.

7. Resolution #19-22 – Authorizing the Village Administrator to File Cross-Appeal Objections with the Wisconsin State Board of Assessors

Motion by Pres. Schwab, second by Tr. Lippold to approve Resolution #19-22 – Authorizing the Village Administrator to file cross-appeal objections with the Wisconsin State Board of Assessors.

John Walther gave background information. Kerry Ingredients objected to their real estate and personal property assessments. This will allow the authorization of the Administrator to quickly and conveniently file cross objections to the State Board of Assessors.

Vote: 7 ayes, 0 nays. Motion carried.

8. Discuss/Recommend Possible Changes to the Sex Offender Residency Ordinance

Village Attorney Matt Parmentier distributed a handout and gave information on the ordinance including case examples. The courts are looking more closely at setback distances from sensitive locations, how much of the municipality is off limits to sex

offenders. Attorney Parmentier reviewed the Summary of Sex Offender Residency Ordinance Studies. The violent offenders, Chapter 980's, have to be placed in the County they came from. Chief Vossekuil recommends the Board find that the legislative record exists to support our ordinance. Attorney Parmentier went over the draft Ordinance Amending Sex Offender Residency Ordinance. Residency Restriction, setbacks, Village Sex Offender Restricted Residency Maps, percentages, future annexation and developments were discussed. The consensus of the Board is to keep the setback at 1,500 feet. The Petition for Exemption is a new section creating a Sex Offender Residence Board. A Sex Offender may seek an exemption from the ordinance by petitioning to the Sex Offender Residence Board ("Residence Board"). The Residence Board consists of three citizens residing in the Village and will be appointed.

Motion by Pres. Schwab, seconded by Tr. Emmrich to approve the amendment to the ordinance subject to legislative rules and the Village Attorney be directed to completely develop the ordinance for presentation at the next meeting.

Vote: 7 ayes, 0 nays. Motion carried.

Motion by Tr. Lippold to suspend the rules and have the second reading this evening. Pres. Schwab stated he would like to see the actual ordinance in writing. Tr. Lippold withdrew his motion.

9. Approval of Minutes for the Village Board Meeting of July 9, 2019.

Motion by Tr. Malcolm, second by Tr. Olson to approve the Village Board Minutes of July 9, 2019.

Vote: 7 ayes, 0 nays. Motion carried.

10. Approval of Licenses

- Class B Picnic License: Cedar Creek Community Connection September 7, 2019
- Operators Licenses:
 - East Side Mart: Michael A. Castelow, Nikki E. Hennen, Elise C. Serchen
 - Jackson Parks & Recreation: Renee E. Fisher, Angela Jeske, Jessica L. Loomans, Kelly A. Valentino
 - Village Mart: Charles E. Shepherd
 - Walgreen's #11676: Elliot R. Kloss, Richard P. Vaillancourt

Motion by Tr. Kurtz, second by Tr. Lippold to approve the licenses as presented.

Vote: 6 ayes, 0 nays, 1 abstain (Tr. Kruepke). Motion carried.

11. Budget & Finance Committee

- Review of Proposal for Public Facilities Needs Assessment and Impact Fee Study – City Water and Trilogy Consulting, LLC

Motion by Pres. Schwab, second by Tr. Lippold to approve the proposal for Public Facility Needs Assessment and Impact Fee Study from City Water and Trilogy Consulting, LLC in an amount not to exceed \$15,840.00.

Vote: 7 ayes, 0 nays. Motion carried

- Review of bids for 2019 Improvements Sherman Road Drainage and Jackson Park Alley Reconstruction Project

Motion by Pres. Schwab, second by Tr. Kruepke to approve the bid from Payne & Dolan in an amount not to exceed \$255,747.00 for 2019 Improvements Sherman Road Drainage and Jackson Park Alley Reconstruction Project.

Tr. Olson commented the two businesses for the Jackson Park Alley Reconstruction Project will be contacted and a resolution for special assessment will be on the next Board of Public Works agenda.

Vote: 7 ayes, 0 nays. Motion carried

- Review of Bids for 2019 Chateau Drive and Hickory Lane Reconstruction Project
Motion by Pres. Schwab second by Tr. Olson to approve the bid from Payne & Dolan in an amount not to exceed \$873,842.00 for the 2019 Chateau Drive and Hickory Lane Reconstruction Project.
Vote: 7 ayes, 0 nays. Motion carried
- Resolution #19-20 Preliminary Assessment for Chateau Drive and Hickory Lane Reconstruction Project
Motion by Pres. Schwab, second by Tr. Lippold to approve Resolution #19-20 Preliminary Assessment for Chateau Drive and Hickory Lane Reconstruction Project.
Vote: 7 ayes, 0 nays. Motion carried
- Review of US Cellular Antenna Reconfiguration – White Water Tower
Motion by Pres. Schwab, second by Tr. Malcolm to accept contract alterations of \$250.00 per month or \$3,000.00 per year and the contract be extended for ten years with 20 percent increases at each five-year increment for US Cellular Antenna Reconfiguration Project - White Water Tower.
Vote: 7 ayes, 0 nays. Motion carried

12. Plan Commission

- No Recommendations

13. Board of Public Works

- No Recommendations

14. Joint Parks & Recreation.

- No Recommendations

15. West Bend School District - Update

None.

16. Proposed Municipal Building - Update

John Walther went over the Cedar Corporation memo and gave information on properties east of TID 7 regarding the right of way for the extension of Spruce Street to Eagle Drive. Tr. Lippold inquired on DOT and DNR approvals. Brian Kober stated it is being worked on, the traffic study has been completed for the intersection of Ridgeway and Highway 60. The footprint is being worked on for optimal use and allow ease of plowing.

17. Departmental Reports.

Parks and Recreation Director Kelly Valentino reminded everyone that next week is the Augtoberfest Beer Garden and they are looking for volunteers. Saturday, September 7th is the Community Connection event. The Village is working with the Cedar Creek Farmers and Washington County. A dedication for the playground will be in the fall before the Glow Run.

Fire Chief Aaron Swaney is continuing to work on flex staffing which allows them to go to paramedic level one. They are talking with different doctors and different hospitals before it goes to the State. It will be a great benefit to the Village, and they are looking forward to it.

Police Chief Ryan Vossekuil thanked the sponsors, the Departments Heads who helped and everyone who attended the first National Night Out on August 6. They had an estimated 600 people. The Flight for Life helicopter got a call and weren't able to land. 20 new bikes including helmets were given away.

Administrator John Walther reported he received the preliminary change in Equalized Value this year. It is going up almost 50 million from last year, including real estate and personal property. A memo from residents giving kudos to Department of Public Works regarding tree trimming and mulching at Hickory Park and along Jackson Drive was read. The barn is almost down on the Schmahl farm and one of the out buildings is down. The demolition area is making progress. Still trying to find a taker for the farm house, a couple will be looking at it on Friday to potentially move it.

18. Mid-Moraine Municipal Association Report

Tr. Kurtz reported there will be a meeting on September 11th in the Village Board room.

19. Washington County Board Report

None.

20. Greater Jackson Business Alliance Report

None.

21. Citizens to Address the Village Board

A citizen commented on the numerous diseased dead trees on private property and also some on Village property. Brian Kober commented the Village trees are currently being cut down and will continue into the fall. Letters will be going out to residents issuing them to remove the trees or the Village will take care of the trees and special assess them.

Casey Latz inquired if the public is going to be able to see the map with the sex offender ordinance. Attorney Parmentier stated the map is a public record.

Gloria Teifke questioned notifications of sex offenders living in the Village. Chief Vossekuil stated there is a sex offender registry online. Every six months an officer makes contact with each sex offender in the Village to make sure everything on the registry is up to date. Attorney Parmentier stated if they are state placed individuals under the Chapter 980 program the municipality cannot do anything, it is all handled by the state.

22. Closed Session pursuant to Wis. Stats. §19.85(1)(c) Considering employment, promotion, compensation or performance evaluation date of any public employee over which the governmental body has jurisdiction or exercises responsibility.

Motion by Pres. Schwab, second by Tr. Olson to convene into closed session at 8:59 p.m. to include the Village Board, the Village Attorney, the Village Administrator and the Fire Chief. Roll Call Vote: 7 ayes, 0 nays. Motion carried.

Reconvene into Open Session to Adjourn

The Village Board reconvened into open session at 9:44 p.m.

23. Adjourn.

Motion by Tr. Lippold, second by Tr. Kruepke to adjourn.

Vote: 7 ayes, 0 nays. Meeting was adjourned at 9:45 p.m.

Respectfully submitted:

Jilline Dobratz, *CMC/WCMC*
Village Clerk

DRAFT

Licenses: September 10, 2019 Village Board Meeting

Name	Establishment	Police Chief Recommendation
OPERATOR'S LICENSES		
Sabrina M. Larson	Main Street Mart	Approval
Bailee L. Schmidt	Main Street Mart	Approval
Taylor L. Schultz	Village Mart	Approval
TATTOO/BODY PIERCING OPERATOR'S LICENSES		
Alissa J. Fischer	Event Horizon	Denial
Brian R. French	Event Horizon	Denial

Memo

To: Board of Public Works

From: Brian W. Kober, P. E., Director of Public Works

Subject: Chateau Dr/Hickory Lane Reconstruction Projects 2019
Preliminary Assessment

Date: August 26, 2019

CC:

The Preliminary Assessment for Chateau Drive/Hickory Lane Reconstruction Projects have been calculated and following are some concepts in order to achieve a fair special assessment for the project:

- 1) The Village is only special assessing sidewalk and storm lateral installation for the projects. The sidewalk is being converted from 4 ft to the current standard of 5 ft. The special assessment is for the one foot of sidewalk the length of the property.
- 2) The Chateau Dr Project rate for sidewalk is \$8.37 per square foot, and the Hickory Lane project has a sidewalk rate of \$9.50. The \$8.37 rate was used for both projects special assessment.
- 3) The storm lateral special assessment was \$2,563.00 last year for Ridgeway Dr Project at \$46.60 per foot. This project has a rate of \$77.50 per foot. Recommending the Jackson Sewer Utility help in the cost and have a maximum cost of \$3,000.00 per storm sewer lateral.

If you have any questions, please let me know.

Brian W. Kober, P.E.

Village of Jackson

Ridgeway Drive Reconstruction Project 2018

Reconstruction of Ridgeway Drive from STH 60 to 321 ft north of Georgetown Drive

Reconstruction of Ridgeway Court from Ridgeway Drive to End

Reconstruction of Georgetown Drive from Ridgeway Drive to 151 ft east

Final Property Assessment

October 10, 2017

Title	First Name	Last Name	City	State	ZIP Code	Physical Address	Mailing Address	Tax Key No	Phone Number	Email Address	Onsite Inspection Completed	Linear Frontage	Estimated Sidewalk Installed (S.F.)	Sidewalk Installation Unit Price (\$/S.F.)	Estimated Sidewalk Cost (S.F.)	Storm Sewer Lateral Cost	Total Assessment Amount
	Meho & Fatima	Delic	Jackson	WI	53037	W198 N16819 Ridgeway Drive	W198 N16819 Ridgeway Drive	V3 0015				88.75	88.75	\$5.40	\$479.25	\$2,563.00	\$3,042.25
Mr.	Seth J.	Krenek	Grafton	WI	53024	W198 N16829-31 Ridgeway Drive	1953 Blackhawk Drive	V3 0015 001				88.75	88.75	\$5.40	\$479.25	\$2,563.00	\$3,042.25
Mr. & Mrs.	Gary & Cheryl	Hecker	Theresa	WI	53091	W198 N16847 Ridgeway Drive	N7616 Freedom Road	V3 0015 002				161.88	161.88	\$5.40	\$874.15	\$2,563.00	\$3,437.15
Mr. & Mrs.	Gary & Cheryl	Hecker	Theresa	WI	53091	W198 N16847 Ridgeway Drive	N7616 Freedom Road	V3 0015 002			Ridgeway Court ROW	201.23	1006.15	\$5.40	\$5,433.21	\$0.00	\$5,433.21
Mr. & Mrs.	Joel & Denise	Bohringer	Germantown	WI	53022	N168 W19937-39 Ridgeway Court	N113 W13450 Crestview Drive	V3 0015 003 001				162.32	811.60	\$5.40	\$4,382.64	\$5,126.00	\$9,508.64
	Tischer	Rentals LLC	Cedarburg	WI	53012	N168 W19820-24 Ridgeway Court	1444 STH 60	V3 0015 004				89.01	445.05	\$5.40	\$2,403.27	\$2,563.00	\$4,966.27
Mr. & Mrs.	Craig & Lisa	Przanowski	Florence	KY	41042	W198 N16881 Ridgeway Drive	8220 Heatherwood Drive	V3 0015 005			Ridgeway Court ROW	186.42	932.10	\$5.40	\$5,033.34	\$0.00	\$5,033.34
Mr. & Mrs.	Craig & Lisa	Przanowski	Florence	KY	53029	W198 N16881 Ridgeway Drive	8220 Heatherwood Drive	V3 0015 005				161.88	161.88	\$5.40	\$874.15	\$0.00	\$874.15
Mr.	Ty	Londo	Jackson	WI	53037	W198 N16913 Ridgeway Drive	W198 N16913 Ridgeway Drive	V3 0015 008				79.98	79.98	\$5.40	\$431.89	\$0.00	\$431.89
Ms.	Lisa M.	Schultz	Jackson	WI	53037	W198 N16925 Ridgeway Drive	W198 N16925 Ridgeway Drive	V3 0015 009	262-305-4025		6/12/2018 '9:00 AM	80.00	80.00	\$5.40	\$432.00	\$2,563.00	\$2,995.00
Mr. & Mrs.	Duane & Diana	Hafemeister	Jackson	WI	53037	W198 N16937 Ridgeway Drive	W198 N16937 Ridgeway Drive	V3 0015 010			5/14/2018 '8:00 AM	80.00	80.00	\$5.40	\$432.00	\$0.00	\$432.00
Ms.	Barbara A.	Severance	Jackson	WI	53037	W198 N16820 Ridgeway Drive	W198 N16820 Ridgeway Drive	V3 0015 035	262-834-8214		5/16/2018 '4:00 PM	87.50	87.50	\$5.40	\$472.50	\$2,563.00	\$3,035.50
Ms.	Patricia C.	Fitzwater	Jackson	WI	53037	W198 N16828-30 Ridgeway Drive	W198 N16830 Ridgeway Drive	V3 0015 036	677-3736	PatriciaClaire51@hotmail.com	5/16/2018	90.00	90.00	\$5.40	\$486.00	\$2,563.00	\$3,049.00
Mr. & Mrs.	Thomas & Carrie	Ellis	Cedarburg	WI	53012	W198 N16840-42 Ridgeway Drive	410 Green Bay Road	V3 0015 037			5/8/2018	90.09	90.09	\$5.40	\$486.49	\$2,563.00	\$3,049.49
Mr. & Mrs.	Robert & Karen	Sonier	Jackson	WI	53037	W198 N16852 Ridgeway Drive	W198 N16852 Ridgeway Drive	V3 0015 038	Karen 262-707-3905		6/6/2018	83.91	83.91	\$5.40	\$453.11	\$2,563.00	\$3,016.11
Mr. & Mrs.	Dan & Lynne	Leonard	Jackson	WI	53037	W198 N16864-66 Ridgeway Drive	W198 N16866 Ridgeway Drive	V3 0015 039	262-343-0810	leonard8890@aol.com		80.38	80.38	\$5.40	\$434.05	\$2,563.00	\$2,997.05
	Tischer	Rentals LLC	Cedarburg	WI	53012	W198 N16876-78 Ridgeway Drive	1444 STH 60	V3 0015 040				78.06	78.06	\$5.40	\$421.52	\$2,563.00	\$2,984.52
Mr.	Steven	Schoen	Jackson	WI	53037	W198 N16890-99 Ridgeway Drive	W198 N16890 Ridgeway Drive	V3 0015 041			6/6/2018	77.52	77.52	\$5.40	\$418.61	\$0.00	\$418.61
Mr.	Gary W.	Puza	Jackson	WI	53037	W198 N16912 Georgetown Drive	W198 N16912 Georgetown Drive Unit 4	V3 0015 042	262-707-4353		5/14/2018	81.40	81.40	\$5.40	\$439.56	\$2,563.00	\$3,002.56
Mr.	Helmuth	Kiesling	Jackson	WI	53037	W198 N16924-26 Ridgeway Drive	W198 N16924 Ridgeway Drive	V3 0015 043			5/16/2018	78.96	78.96	\$5.40	\$426.38	\$2,563.00	\$2,989.38
Mr. & Mrs.	Jefferey & Dawn	Kurz	West Bend	WI	53095	W198 N16934-36 Ridgeway Drive	3058 HWY Y	V3 0015 044				80.19	80.19	\$5.40	\$433.03	\$2,563.00	\$2,996.03
Totals												2119.48			\$25,726.41	\$41,008.00	\$66,734.41

Storm Sewer Lateral Pipe	Feet 990	Unit Price \$46.60	Total \$46,134.00	Number of Laterals 18	Cost per lateral \$2,563.00
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Village of Jackson
Chateau Drive Reconstruction Project 2019
Reconstruction of Chateau Drive from Wilshire Drive to Hunters Road
Preliminary Property Assessment
August 20, 2017

Title	First Name	Last Name	City	State	ZIP Code	Physical Address	Mailing Address	Tax Key No	Phone Number	Email Address	Onsite Inspection Completed	Linear Frontage	Estimated Sidewalk Installed (S.F.)	Sidewalk Installation Unit Price (\$/S.F.)	Estimated Sidewalk Cost (S.F.)	Storm Sewer Lateral Cost	Total Assessment Amount
Mr.	Pete	Zimmerman	Jackson	WI	53037	N170 W20010 Hunters Road	N170 W20010 Hunters Road	V3 0467 036	414-588-1583	bozo7464@sbcglobal.net			0.00		\$0.00		\$0.00
Mr. & Mrs.	Michael & Roberta	Paquette	Jackson	WI	53037	W200 N17034 Chateau Drive	W200 N17034 Chateau Drive	V3 0467 021	Home 262-677-3857 Cell 262-339-3920	rpaquette02@gmail.com		47.00	47.00		\$0.00		\$0.00
Mr. & Mrs.	Ryan & Connie	Hansen	Jackson	WI	53037	W200 N17020 Chateau Drive	W200 N17020 Chateau Drive	V3 0467 022				80.23	80.23	\$8.37	\$671.53	\$3,000.00	\$3,671.53
Mr. & Mrs.	Robin & Dorothy	Kendler	Jackson	WI	53037	W200 N17010 Chateau Drive	W200 N17010 Chateau Drive	V3 0467 023	262-677-4751	dotrobker@hotmail.com		80.24	80.24	\$8.37	\$671.61	\$3,000.00	\$3,671.61
Mr. & Mrs.	Douglas & Laurel	Alfke	Jackson	WI	53037	W201 N16998 Chateau Drive	W201 N16998 Chateau Drive	V3 0013 040	262-323-6020	cw4dug@gmail.com		71.84	71.84	\$8.37	\$601.30	\$3,000.00	\$3,601.30
Mr. & Mrs.	David & Karen	Blanchette	Jackson	WI	53037	W201 N16986 Chateau Drive	W201 N16986 Chateau Drive	V3 0013 041	262-677-2158	dblanch@charter.net		73.37	73.37	\$8.37	\$614.11	\$3,000.00	\$3,614.11
Mr. & Mrs.	Anthony & Elizabeth	Ciske	Jackson	WI	53037	W201 N16976 Chateau Drive	W201 N16976 Chateau Drive	V3 0013 042	414-313-6714	anthony.ciske@gmail.com		75.86	75.86	\$8.37	\$634.95	\$3,000.00	\$3,634.95
	Shawn Teska	Tonia Ulick	Jackson	WI	53037	W201 N16962 Chateau Drive	W201 N16962 Chateau Drive	V3 0013 043	262-305-9392	tskidsurus@gmail.com		85.56	85.56	\$8.37	\$716.14	\$3,000.00	\$3,716.14
Mr.	Ryan	Justman	Jackson	WI	53037	W201 N16934-36 Wilshire Drive	W201 N16936 Wilshire Dive	V3 0009 015 000				126.84	126.84	\$8.37	\$1,061.65	\$0.00	\$1,061.65
Mr. & Mrs.	Fred & Gail	Gauger	Jackson	WI	53037	N169 W20142 Wilshire Drive	N169 W20142 Wilshire Drive	V3 0013 036				106.00	106.00	\$8.37	\$887.22	\$0.00	\$887.22
Mr. & Mrs.	Randall & Sherry	Watts	Jackson	WI	53037	W201 N16971 Chateau Drive	W201 N16971 Chateau Drive	V3 0013 037	Randy 262-573-3046 Sherry 262-674-1357	waddles3@charter.net		92.03	92.03	\$8.37	\$770.29	\$3,000.00	\$3,770.29
Mr.	William	Schwefel	Jackson	WI	53037	W201 N16983 Chateau Drive	W201 N16983 Chateau Drive	V3 0013 038	262-388-7104	schwefelw@yahoo.com		80.00	80.00	\$8.37	\$669.60	\$3,000.00	\$3,669.60
	Beau Flitter	Jessica Reible	Jackson	WI	53037	W201 N16995 Chateau Drive	W201 N16995 Chateau Drive	V3 0013 39	414-313-9739	bflitter21@gmail.com		89.00	89.00	\$8.37	\$744.93	\$3,000.00	\$3,744.93
Mr. & Mrs.	Joshua & Marissa	Loomis	Jackson	WI	53037	N170 W20015 Hunters Road	N170 W20015 Hunters Road	V3 0467 024				125.41	125.41	\$8.37	\$1,049.68	\$3,000.00	\$4,049.68
Totals												1133.38			\$9,093.00	\$30,000.00	\$39,093.00

	Feet	Unit Price	Total	Number of	Cost per
Storm Sewer Lateral Pipe	722	\$77.50	\$55,955.00	Laterals	lateral
			(\$25,000.00)	10	\$5,595.50
Jackson Sewer Utility subsidizing Storm sewer Improvements			\$30,955.00	10	\$3,095.50 \$3,000.00

Village of Jackson
Hickory Lane Reconstruction Project 2019
Reconstruction of Hickory lane from Forest View Drive to Heather Drive
Preliminary Property Assessment
August 20, 2017

Title	First Name	Last Name	City	State	ZIP Code	Physical Address	Mailing Address	Tax Key No	Phone Number	Email Address	Onsite Inspection Completed	Linear Frontage	Estimated Sidewalk Installed (S.F.)	Sidewalk Installation Unit Price (\$/S.F.)	Estimated Sidewalk Cost (S.F.)	Storm Sewer Lateral Cost	Total Assessment Amount
Mr. & Mrs.	Vicent & Deanna	Jablonski	Jackson	WI	53037	N161 W19504 Forest View Dr	N161 W19504 Forest View Dr	V3 0205 009					0.00		\$0.00		\$0.00
Mr. & Mrs.	Jeremy & Patricia	Kirst	Jackson	WI	53037	W194 N16180 Hickory Lane	W194 N16180 Hickory Lane	V3 0205 014				135.66	135.66	\$8.37	\$1,135.47	\$3,000.00	\$4,135.47
Ms.	Lori	Loduha	Jackson	WI	53037	W194 N16156 Hickory Lane	W194 N16156 Hickory Lane	V3 0205 015	262-305-5516	loriloduha@yahoo.com		135.65	135.65	\$8.37	\$1,135.39	\$3,000.00	\$4,135.39
Mr. & Mrs.	Raymond & Meladee	Pick	Jackson	WI	53037	N161 W19503 Heather Drive	N161 W19503 Heather Drive	V3 0205 024	262-677-4454	meladee25rav@aol.com		0.00	0.00	\$8.37	\$0.00	\$0.00	\$0.00
	Joshua Adams	Gabrielle Flowers	Jackson	WI	53037	W194 N16131 Hickory Lane	W194 N16131 Hickory Lane	V3 0205 044				0.00	0.00	\$8.37	\$0.00	\$0.00	\$0.00
Mr.	Paul	Comte	Jackson	WI	53037	W194 N16143 Hickory Lane	W194 N16143 Hickory Lane	V3 0205 043				60.00	60.00	\$8.37	\$502.20	\$3,000.00	\$3,502.20
Ms.	Christine	Jordan	Jackson	WI	53037	W194 N16155 Hickory Lane	W194 N16155 Hickory Lane	V3 0205 042				80.00	80.00	\$8.37	\$669.60	\$3,000.00	\$3,669.60
Mr. & Mrs.	Scott & Cheryl	Karau	Jackson	WI	53037	W194 N16167 Hickory Lane	W194 N16167 Hickory Lane	V3 0205 041				80.00	80.00	\$8.37	\$669.60	\$3,000.00	\$3,669.60
Mr. & Mrs.	Mark & Mary	Spellman	Jackson	WI	53037	N161 W19443 Stonehedge Drive	N161 W19443 Stonehedge Drive	V3 0205 040	262-677-1658	mspell161@gmail.com		100.00	100.00	\$8.37	\$837.00	\$3,000.00	\$3,837.00
Totals												591.31			\$4,949.26	\$18,000.00	\$22,949.26

	Feet	Unit Price	Total	Number of Laterals	Cost per lateral
Storm Sewer Lateral Pipe	309	\$77.50	\$23,947.50	5	\$4,789.50
Jackson Sewer Utility subsidizing Storm sewer Improvements			(\$9,000.00)		
			\$14,947.50	5	\$2,989.50
					\$3,000.00

CONSTRUCTION DRAWINGS FOR CHATEAU DRIVE AND HICKORY LANE RECONSTRUCTION VILLAGE OF JACKSON

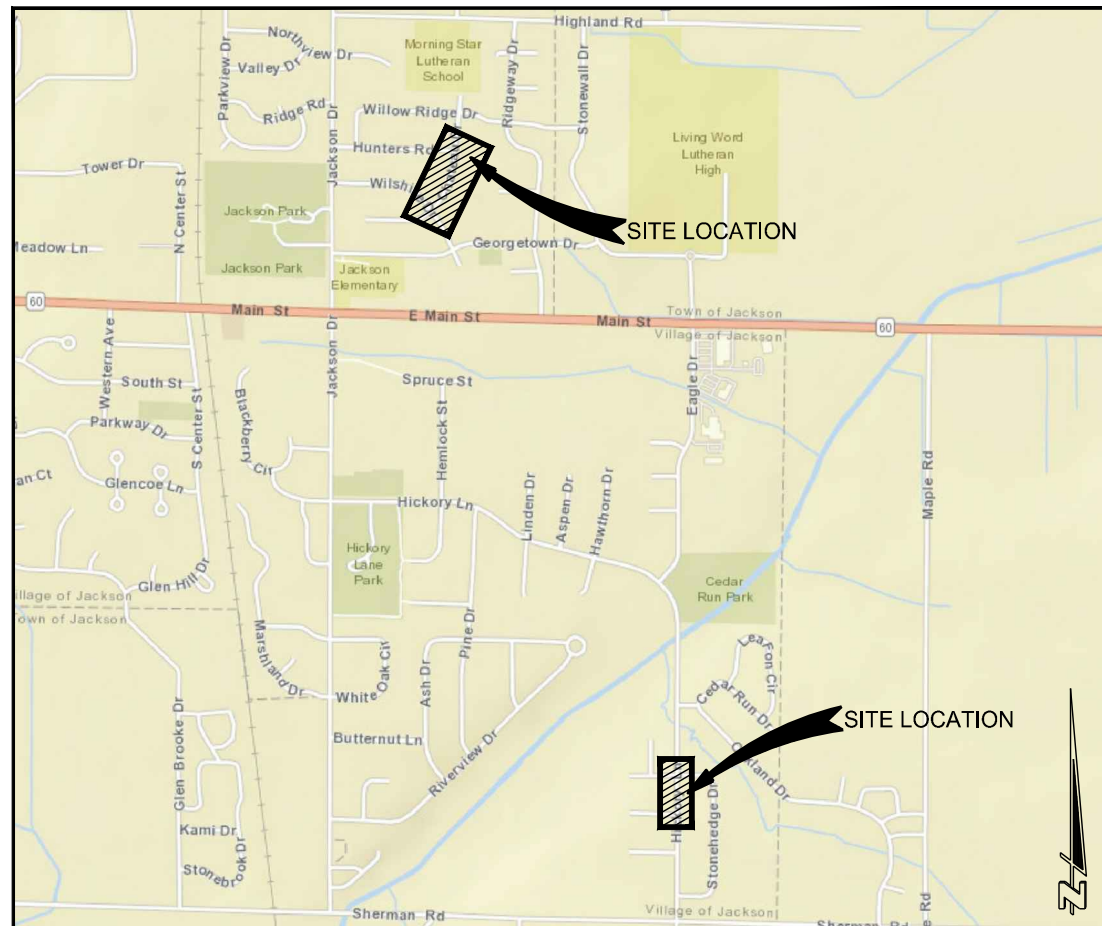
WASHINGTON COUNTY, WI

JUNE 27, 2019

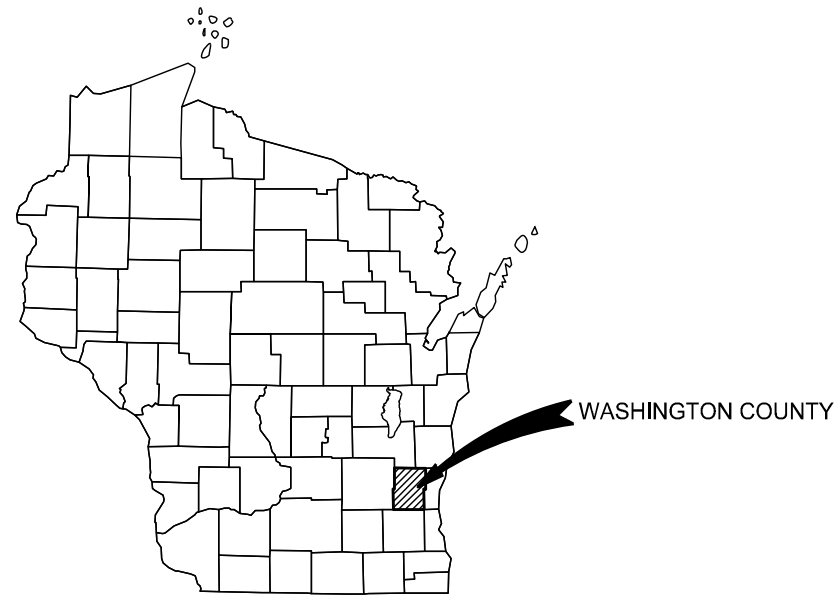
Prepared By



PROJECT I.D. 05789-0009



SITE LOCATION MAP



COUNTY LOCATION MAP

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	STANDARD SYMBOLS ABBREVIATIONS & STAMPS
3 - 4	CHATEAU DRIVE PLAN AND PROFILE
5	HICKORY LANE PLAN AND PROFILE
6 - 11	STANDARD CONSTRUCTION DETAILS
12 - 18	CROSS SECTIONS

ATTENTION:
DOWNLOADED PLANS ARE NOT SCALABLE, NEITHER THE OWNER NOR THE
ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT
QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM CEDAR
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MAPPING & TOPOGRAPHY SYMBOLOGY

DESCRIPTION	SYMBOL	EXISTING	PROPOSED
SANITARY SEWER (PLAN) - LENGTH-DIA. MATERIAL @ GRADE		(SIZE & MAT'L) SAN	LENGTH - SIZE MATL SAN
STORM SEWER (PLAN) - LENGTH-DIA. MATERIAL @ GRADE		(SIZE & MAT'L) STM	LENGTH - SIZE MATL STM
WATER MAIN (PLAN)- LENGTH-DIA. MATERIAL-(FITTING-FITTING)		(SIZE & MAT'L) WTR	LENGTH - SIZE MATL WTR
SANITARY SEWER (PROFILE) - LENGTH-DIA. MATERIAL @ GRADE		(SIZE & MAT'L)	XXX'- XX" PVC SAN @ 0.00%
SANITARY FORCEMAIN (PROFILE) - DIA. MATERIAL		(SIZE & MAT'L)	XXX'- XX" FORCEMAIN @ 0.00%
STORM SEWER (PROFILE) - LENGTH-DIA. MATERIAL @ GRADE		(SIZE & MAT'L)	XXX'- XX" RCP STM @ 0.00%
WATER MAIN (PROFILE)- DIA. MATERIAL		(SIZE & MAT'L)	X" PVC WM.
GAS MAIN		GAS	GAS
ELECTRIC - BURIED		UGE	UGE
ELECTRIC - OVERHEAD		OE	OE
TELEPHONE - BURIED		TEL	TEL
TELEPHONE - BURIED (FIBER OPTIC)		FO	FO
TELEPHONE - OVERHEAD		OH	OH
CABLE TELEVISION - BURIED		TV	TV
CABLE TELEVISION - OVERHEAD		OH	OH
CENTERLINE			
RIGHT-OF-WAY LINE			
PROPERTY LINE			
PAVEMENT (STREET, DRIVE, SIDEWALK, ETC.)			
GRAVEL			
CURB & GUTTER			
RAILROAD			
GUARDRAIL			
FENCE - AS LABELED			

GENERAL NOTES:

- THESE DRAWINGS ARE NEITHER A LEGALLY RECORDED MAP, NOR A SURVEY, AND IS NOT INTENDED TO BE USED AS ONE.
- ALL PROPERTY LINES SHOWN ARE ESTABLISHED FROM COUNTY GIS FILES. PROPERTY LINES MAY NOT REFLECT ACTUAL LOT LINE LOCATIONS AND ARE FOR INFORMATIONAL PURPOSES ONLY.
- UTILITY LOCATIONS SHOWN ON THE PLANS WERE PROVIDED BY THE UTILITY OWNER. FIELD LOCATIONS MAY VARY AND ADDITIONAL UTILITIES MAY EXIST. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.
- ALL LENGTHS OF PROPOSED UTILITIES SHOWN ON THE PLANS ARE PER DESIGN, ACTUAL LENGTHS MAY VARY DURING CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITY WORK WITHIN THE RIGHT-OF-WAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AS SPECIFIED AND WORK OUTSIDE THE RIGHT-OF-WAY SHALL BE BACKFILLED WITH EXCAVATED MATERIAL.

MAPPING & TOPOGRAPHY SYMBOLOGY

DESCRIPTION	SYMBOL	EXISTING	PROPOSED
BENCHMARK			
CATCH BASIN/INLET			
CONTROL POINT			
CULVERT		(DIA. & TYPE)	(LENGTH-DIA. & TYPE)
CURB STOP G=GAS W=WATER			G OR W
ELECTRIC PEDESTAL			
FIRE HYDRANT			
IRON PIPE = IP IRON ROD = IR			IP OR IR
LIGHT - ORNAMENTAL			
LIGHT - STREET			
MAILBOX			
MANHOLE ELECTRIC			
MANHOLE GAS			
MANHOLE MISCELLANEOUS			MH SAN MH SIG MH STM MH
MANHOLE SANITARY			
MANHOLE SIGNAL			
MANHOLE STORM			
MANHOLE STORM INLET CATCH BASIN			
MANHOLE WATER			
MANHOLE TELEPHONE			
METER - GAS			
METER - WATER			M W OR GV
PEDESTAL CABLE TV			
PEDESTAL TELEPHONE			
SIGN			
BUSH CONIFER			
BUSH DECIDUOUS			
TREE DECIDUOUS/INCH DIA		12"	
TREE CONIFEROUS/INCH DIA		10"	
TREE LINE			
VALVE: W=WATER, G=GAS			
UTILITY POLE			
SILT FENCE		SF	SF
MAJOR CONTOURS		890	890
MINOR CONTOURS			
SPOT ELEVATIONS		+891.2	+891.22
INLET PROTECTION			

LIST OF STANDARD ABBREVIATIONS

ASPH	ASPHALT	NTS	NOT TO SCALE
B/B	BACK TO BACK	PC	POINT OF CURVATURE
BOC	BACK OF CURB	PCC	POINT OF COMPOUND CURVE
BLDG	BUILDING	PED	PEDESTAL
BM	BENCHMARK	PVMT	PAVEMENT
BSMT	BASEMENT	PI	POINT OF INTERSECTION
C	CUT	PL	PROPERTY LINE
C&G	CURB AND GUTTER	PP	POWER POLE
C/C	CENTER TO CENTER	PROP	PROPOSED
CABC	CRUSHED AGGREGATE BASE COURSE	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVC	POLYVINYL CHLORIDE
CI	CAST IRON PIPE	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	PVT	POINT OF VERTICAL TANGENCY
CMP	CORRUGATED METAL PIPE	R	RANGE OR RADIUS
CO	CLEAN OUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	REBAR	REINFORCEMENT BAR
CP	CONTROL POINT	REQD	REQUIRED
CTH	COUNTY TRUNK HIGHWAY	RL	REFERENCE LINE
CTV	CABLE TV	ROW	RIGHT-OF-WAY
CS	CURB STOP	SAN	SANITARY
DIA	DIAMETER	WALK	SIDEWALK
DI	DUCTILE IRON PIPE	SF	SILT FENCE
EA	EACH	SL	SANITARY LATERAL
ELEC	ELECTRIC (E WHEN USED IN LINE STYLE)	SHLDR	SHOULDER
EP	EDGE OF PAVEMENT	STA	STATION
EXIST	EXISTING	STH	STATE TRUNK HIGHWAY
FH	FIRE HYDRANT	STM	STORM OR STORM SEWER
FL	FLOW LINE	TEL	TELEPHONE
FM	FORCE MAIN	TEMP	TEMPORARY
FO	FIBER OPTIC	TOC	TOP OF CURB
G	GAS	TYP	TYPICAL
GV	GAS VALVE	VC	VERTICAL CURVE
GW	GUY WIRE	WM	WATER MAIN
INV	INVERT	WS	WATER SERVICE
IP	IRON PIPE OR PIN	WV	WATER VALVE
L	LENGTH (OF CURVE)		
LC	LONG CHORD OF CURVE		
LP	LIGHT POLE		
MB	MAILBOX		
MG	METER-GAS		
MH	MANHOLE		

BENCHMARKS

1	NE FLANGE BOLT AT NW CORNER OF CHATEAU DR & HUNTERS RD	881.77
2	NW UPPER BURY BOLT ON HYD @ NW CORNER OF HICKORY LN & HEATHER DR	878.98
3	NW UPPER BURY BOLT ON HYD @ NE CORNER OF HICKORY LN & STONEHEDGE DR	875.05

NOTE: ALL BENCHMARK LOCATIONS ARE SHOWN ON PLAN

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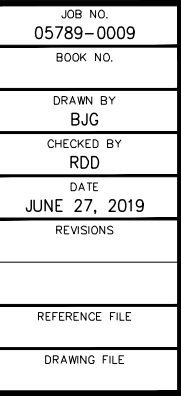
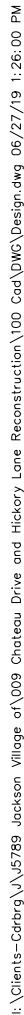
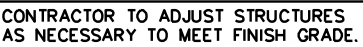
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VILLAGE OF JACKSON
CHATEAU DRIVE AND HICKORY LANE RECONSTRUCTION
WASHINGTON COUNTY, WISCONSIN
STANDARD SYMBOLS AND ABBREVIATIONS



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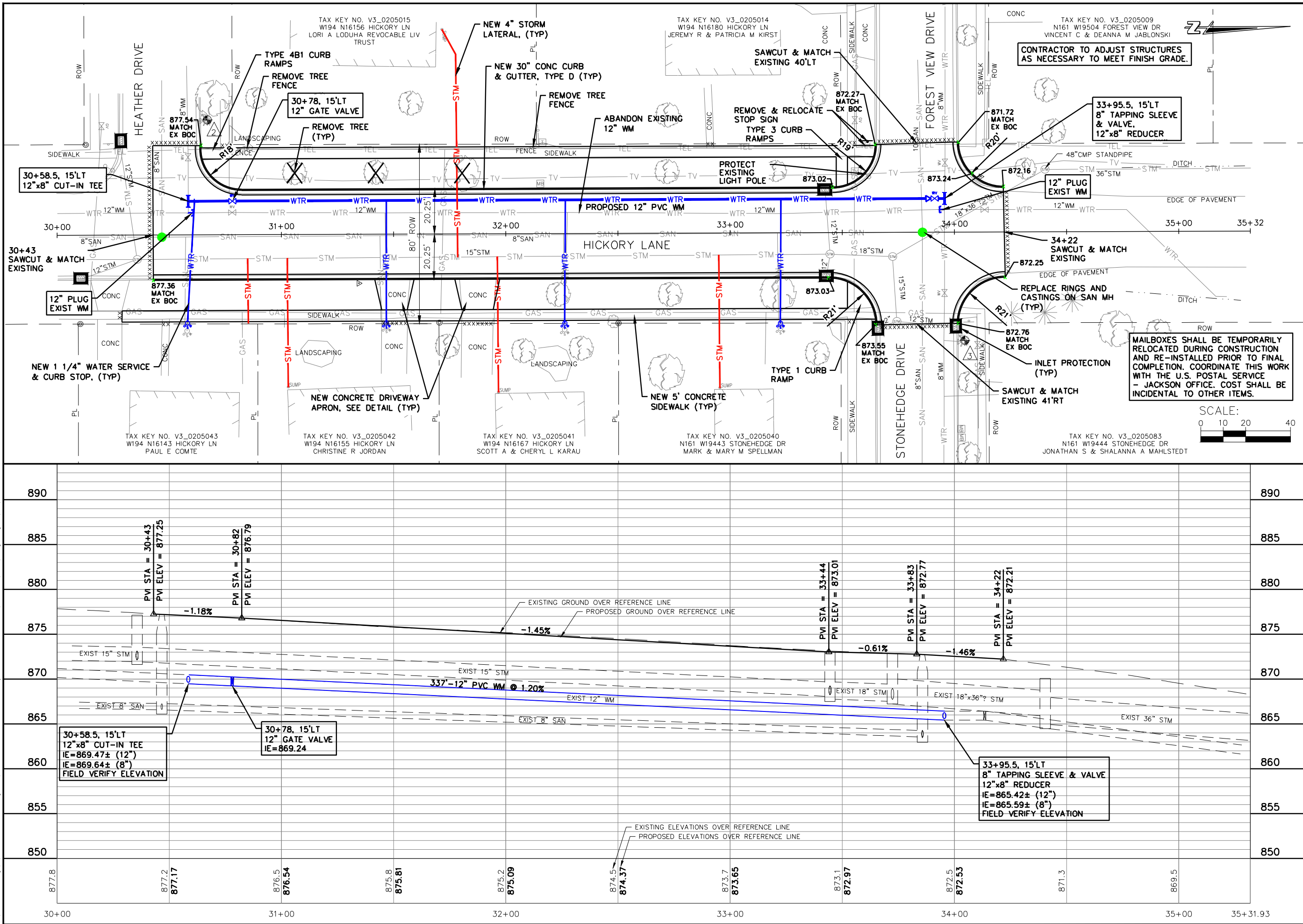
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WASHINGTON COUNTY, WISCONSIN
CHATEAU DRIVE PLAN AND PROFILE

SHEET NO.

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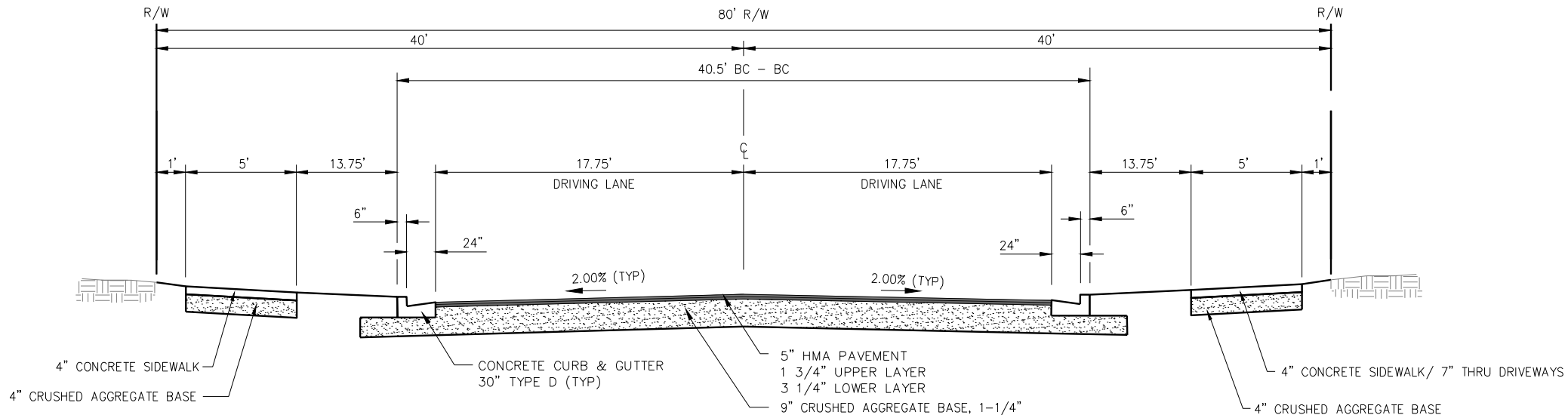
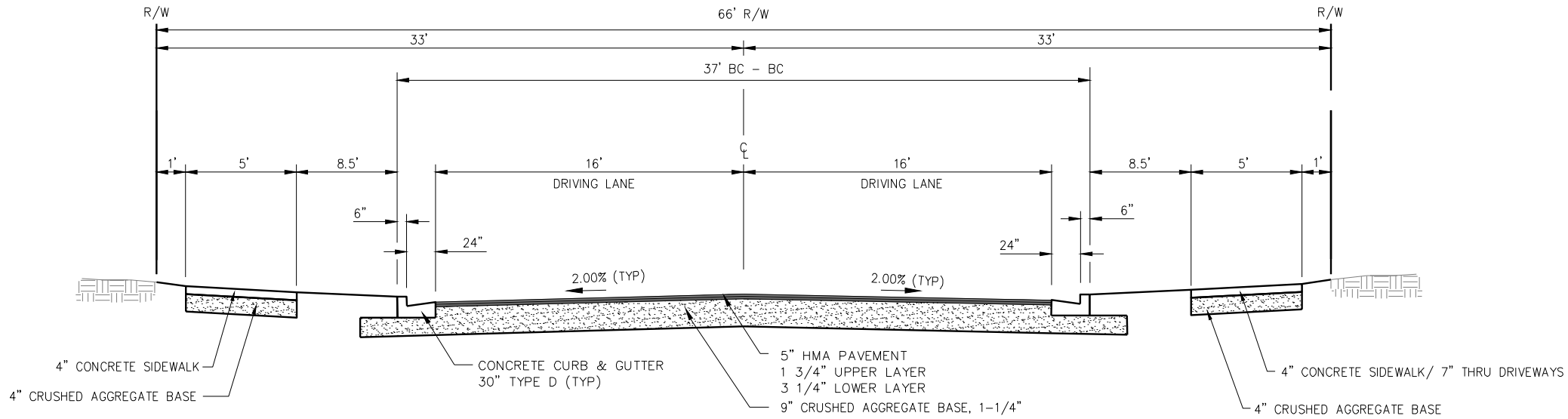
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HICKORY LANE PLAN AND PROFILE

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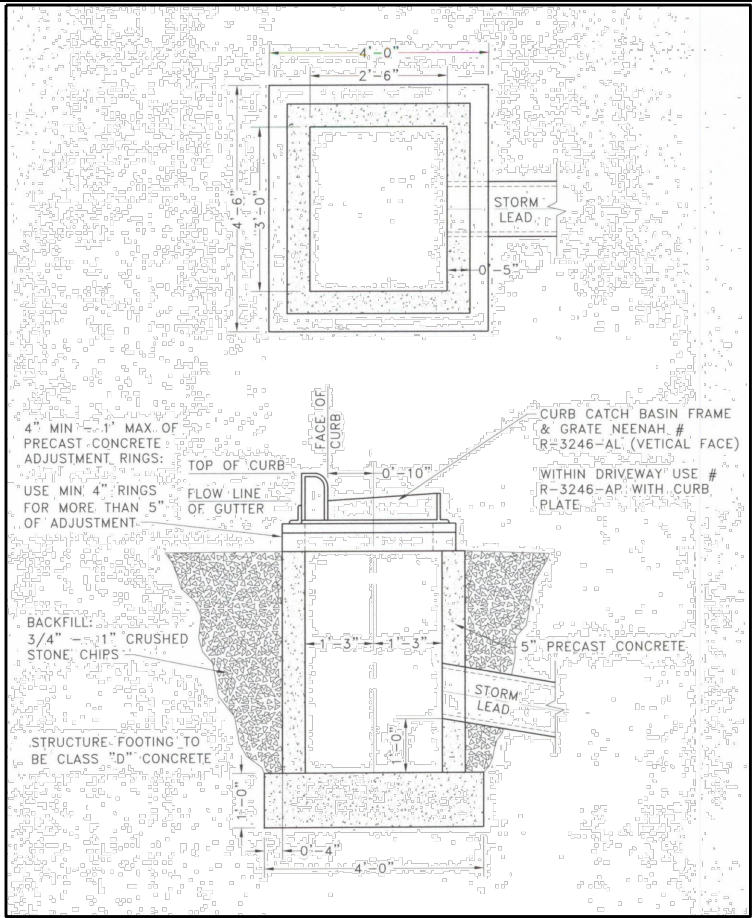
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WASHINGTON COUNTY, WISCONSIN
STANDARD CONSTRUCTION DETAILS

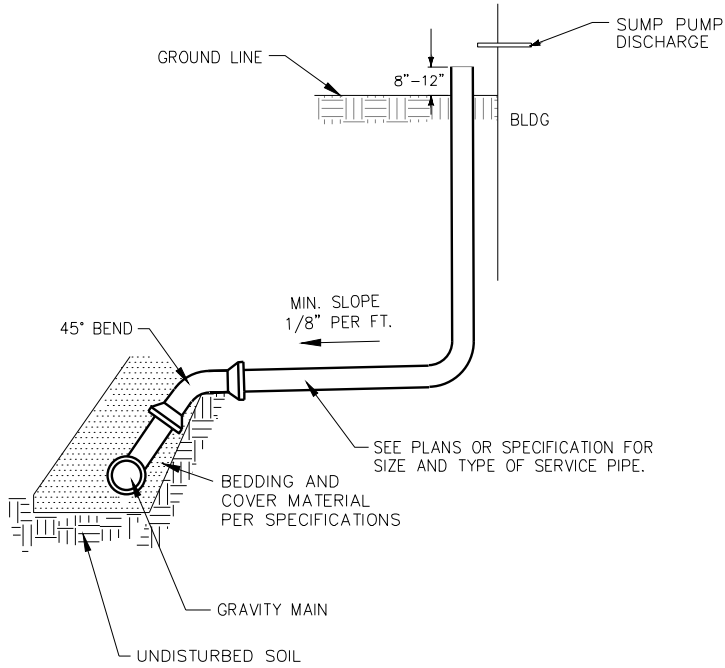
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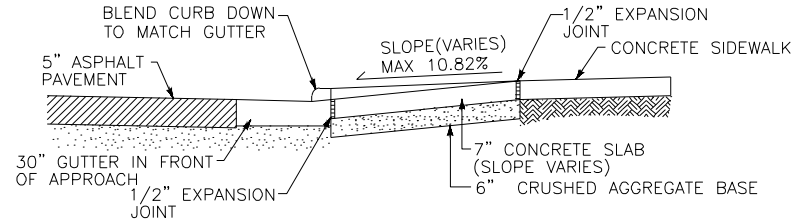
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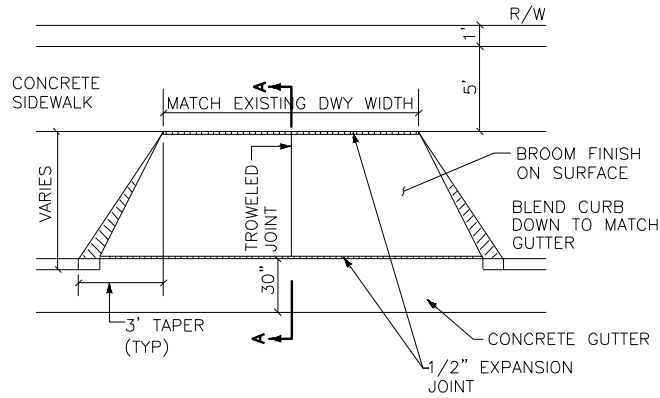
STORM CATCH BASIN (PRECAST)
NO SCALE



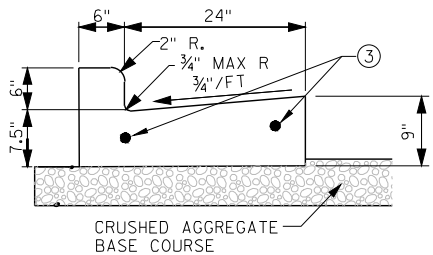
STORM LATERAL DETAIL
NO SCALE



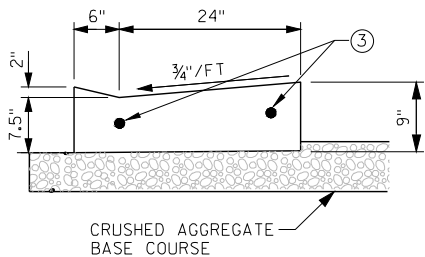
SECTION A-A



PLAN VIEW
STANDARD CONCRETE DRIVEWAY APPROACH



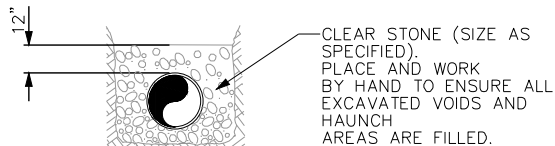
STANDARD CURB & GUTTER



DRIVEWAY ENTRANCE CURB

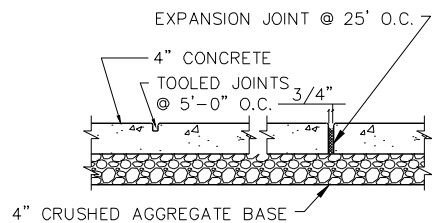
GENERAL NOTES:

- THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE COURSE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.
 - (2) #4 REBAR, FULL LENGTH OF CURB, CENTERED OVER UTILITY TRENCH CROSSINGS
 - TIE NEW CURB TO EXISTING CURB WITH 2 #4 REBAR.
- 30" CONCRETE CURB AND GUTTER



CLASS "B"

PIPE EMBEDMENT DETAIL

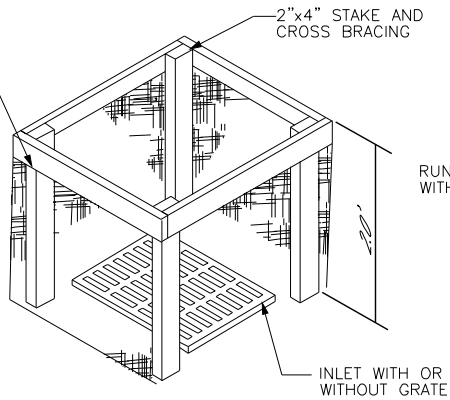


4" CONC. SIDEWALK
NO SCALE

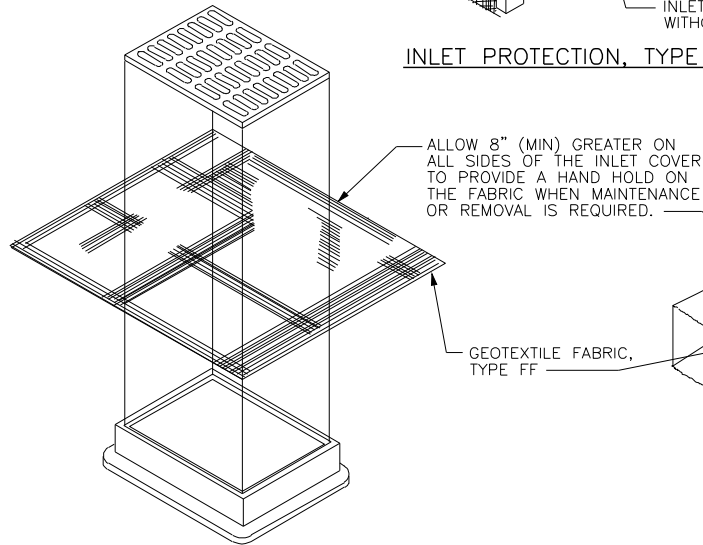
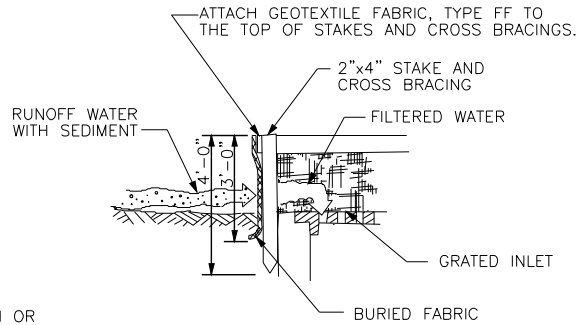
ATTACH GEOTEXTILE FABRIC, TYPE FF TO THE TOP OF STAKES AND CROSS BRACINGS

NOTE:

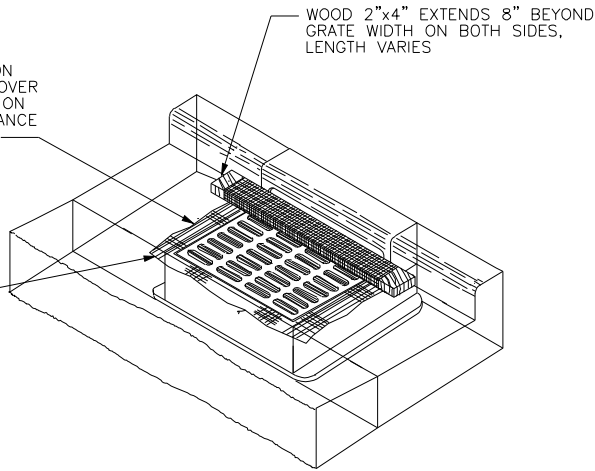
WHEN REMOVING OR MAINTAINING INLET PROTECTION, TAKE CARE SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. REMOVE ANY MATERIAL FALLING INTO THE INLET IMMEDIATELY.



INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)
(CAN BE INSTALLED ON ANY INLET TYPE)



INLET PROTECTION, TYPE C (WITH CURB BOX)

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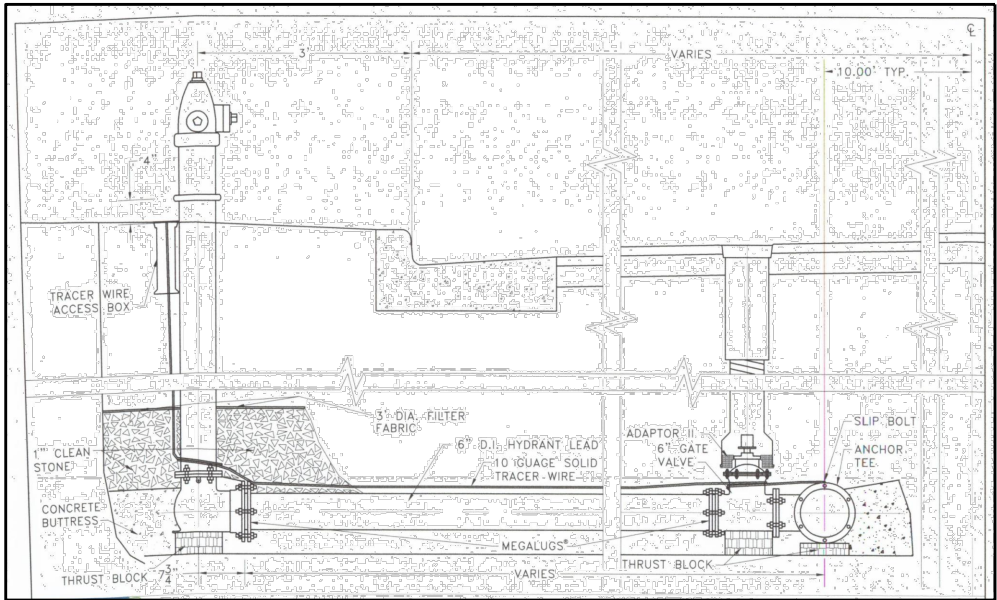
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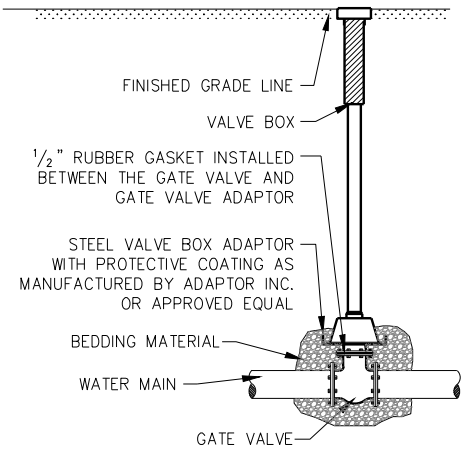
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WASHINGTON COUNTY, WISCONSIN
STANDARD CONSTRUCTION DETAILS

SHEET NO. 7 OF X

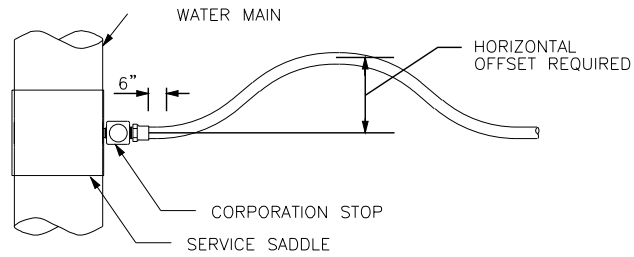
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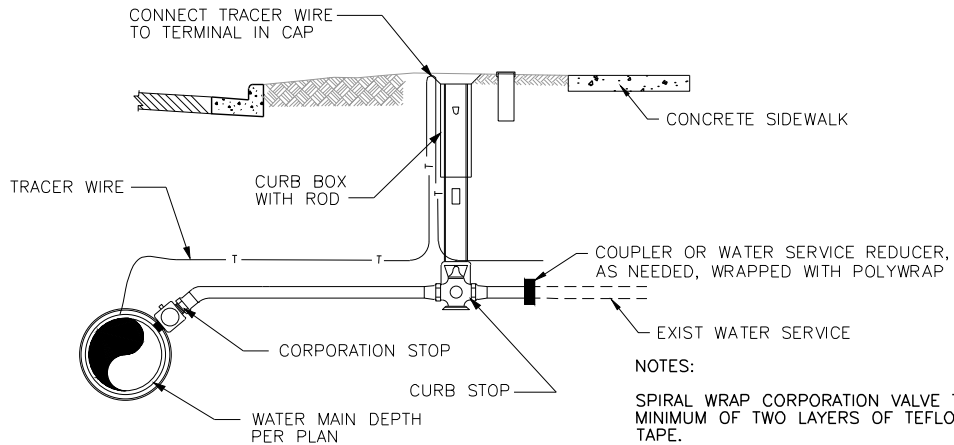
TYPICAL HYDRANT ASSEMBLY
NO SCALE



VALVE BOX WITH ADAPTOR
NO SCALE



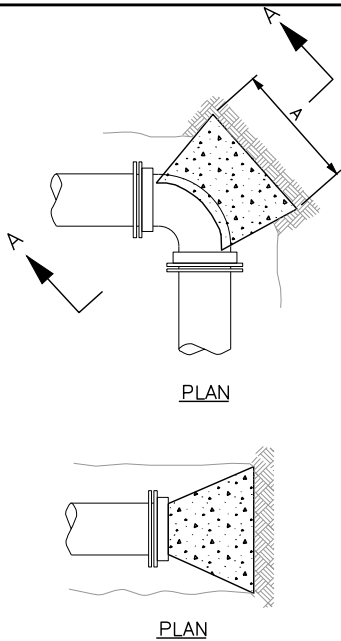
PLAN



PROFILE

WATER SERVICE WITH TRACER WIRE DETAIL

NOTE: REDUCE PROPOSED WATER
SERVICE SIZE TO EXISTING SIZE
AT PROPERTY LINE



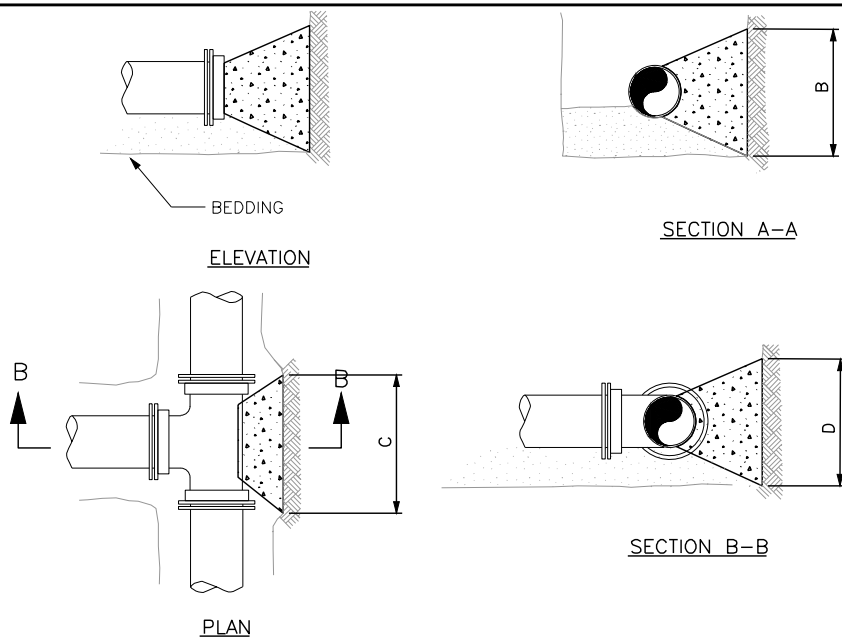
NOTES:

REACTION BLOCKING WILL CONTACT
FITTING FROM BELL TO BELL AND THE FULL
DIAMETER OF FITTING AS SHOWN

CAST BLOCKING AGAINST UNDISTURBED
EARTH

USE CLASS "B" CONCRETE BLOCKING

DIMENSIONS IN TABLES ARE BASED ON
WATER PRESSURE OF 150 PSI AND EARTH
RESISTANCE OF 4000 POUNDS



DIA	BENDS					
	22 12		45		90	
	A	B	A	B	A	B
6" & 8"	1'-0"	1'-0"	1'-2"	1'-2"	1'-10"	1'-6"
10" & 12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
14" & 16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
18" & 20"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-5"	5'-4"	3'-10"
30"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

TEES		
DIA	C	D
6" & 8"	1'-6"	1'-4"
10" & 12"	2'-3"	2'-0"
14" & 16"	3'-2"	2'-6"
18" & 20"	4'-0"	3'-0"
24"	5'-3"	3'-4"
30"	6'-3"	4'-3"

REACTION BLOCKING DETAIL

VILLAGE OF JACKSON
CHATEAU DRIVE AND HICKORY LANE RECONSTRUCTION
WASHINGTON COUNTY, WISCONSIN
STANDARD CONSTRUCTION DETAILS

JOB NO. 05789-0009
BOOK NO.
DRAWN BY BJG
CHECKED BY RDD
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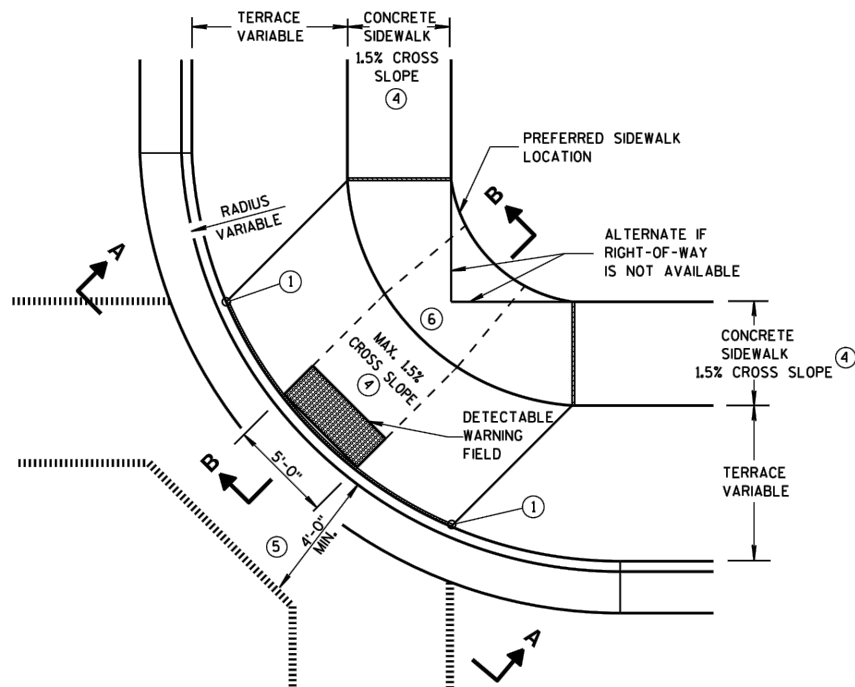
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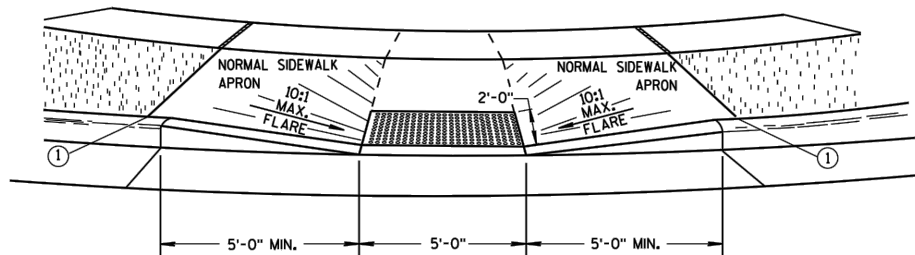
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8D5 sheet a: Curb Ramps Types 1 and 1-A

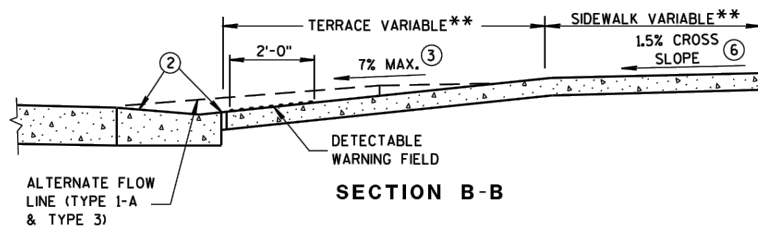


PLAN VIEW
TYPE 1 RAMP
(CENTER OF CORNER RADIUS)

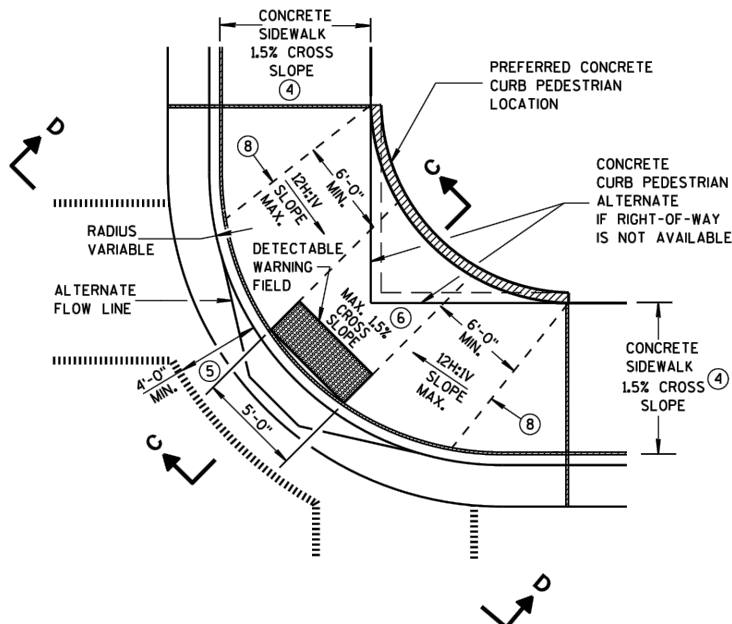


VIEW A-A

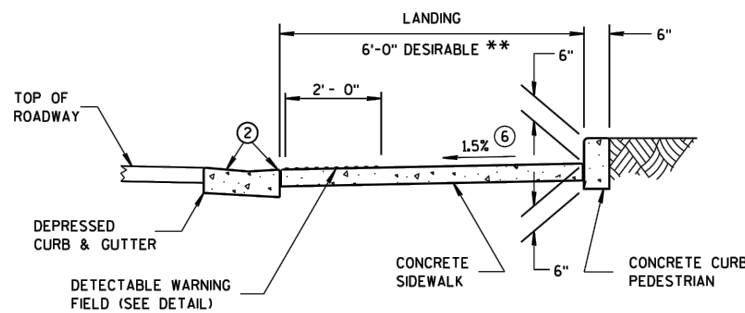
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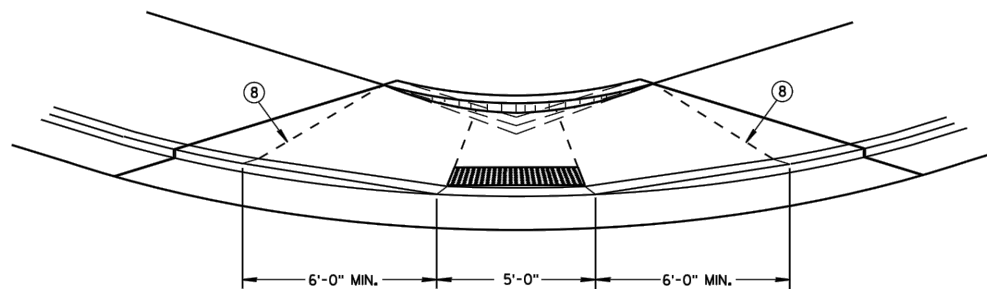
SECTION B-B



PLAN VIEW
TYPE 1-A RAMP
(NO TERRACE)



SECTION C-C



VIEW D-D

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

TYPE 1 RAMPS SHALL HAVE A NORMAL SIDEWALK APRON AND CURB ON BOTH SIDES OF RAMP.

DETECTABLE WARNING FIELD SHALL BE MEASURED AND PAID BY THE SQUARE FOOT AS "CURB RAMP DETECTABLE WARNING FIELD". THE CONCRETE PEDESTRIAN CURB, IF NEEDED, SHALL BE MEASURED AND PAID BY THE LINEAL FOOT AS "CONCRETE CURB PEDESTRIAN". CONCRETE SIDEWALK IN THE CURB RAMP AREA SHALL BE MEASURED AND PAID BY THE SQUARE FOOT AS CONCRETE SIDEWALK, INCLUDING THE AREA UNDER THE DETECTABLE WARNING FIELD.

SELECT CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES FROM THE DEPARTMENT'S APPROVED MATERIALS LIST. THE COLOR OF THE DETECTABLE WARNING FIELD IS SPECIFIED ELSEWHERE AND IS INCIDENTAL TO THE BID ITEM OF "CURB RAMP DETECTABLE WARNING FIELD". DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.

SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

- THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB. POINT LOCATION MAY BE ADJUSTED TO ALIGN WITH BEGINNING OF FULL-HEIGHT CURB IF THIS DISTANCE IS SHORT.
- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL NOT EXCEED 7%.
- ABSOLUTE MAXIMUM 12H:1V (8.33%) CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
- ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- PROVIDE A LEVEL LANDING IN THE STREET AND GUTTER AREA. (2% MAXIMUM SLOPE IN ANY DIRECTION). WHEN THE GUTTER SLOPE EXCEEDS 2%, CONSTRUCT THE LEVEL LANDING IN THE STREET AREA.
- PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LANDING SIZE IS 5 FEET X 5 FEET.
- PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.

LEGEND

- 1/2" EXPANSION JOINT-SIDEWALK
- CONTRACTION JOINT FIELD LOCATED
- PAVEMENT MARKING CROSSWALK (WHITE)
- ALTERNATIVE LAYOUT

CURB RAMPS
TYPES 1 AND 1-A

STATE OF WISCONSIN
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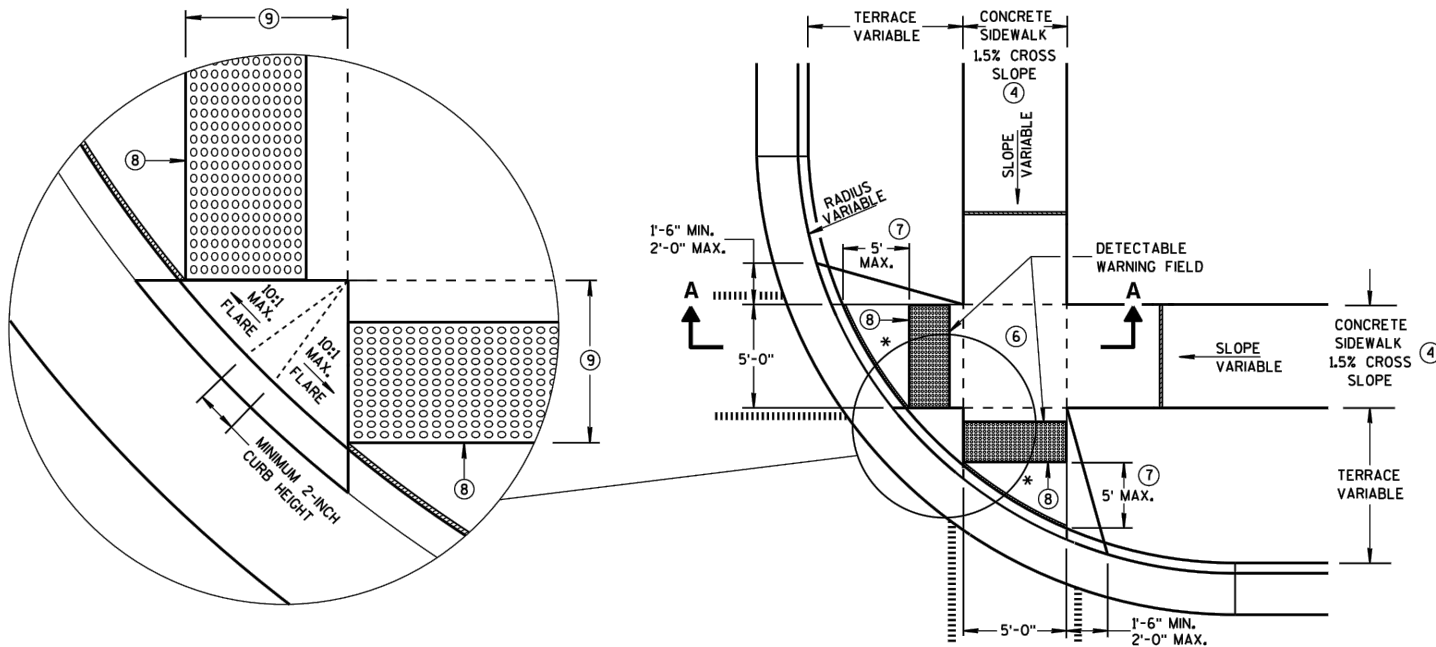
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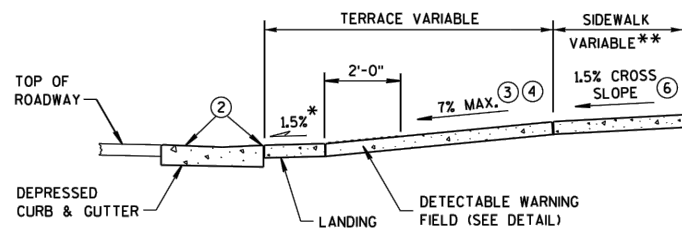


8D5 sheet b: Curb Ramps Types 2 and 3



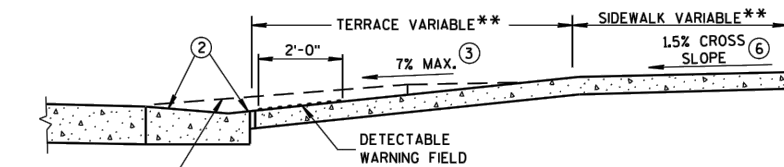
PLAN VIEW
TYPE 2 RAMP
(ON LINE WITH SIDEWALK)

* MAXIMUM 2.0% SLOPE
IN ALL DIRECTIONS IN
FRONT OF GRADE BREAK



SECTION A-A

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IN THE PLANS



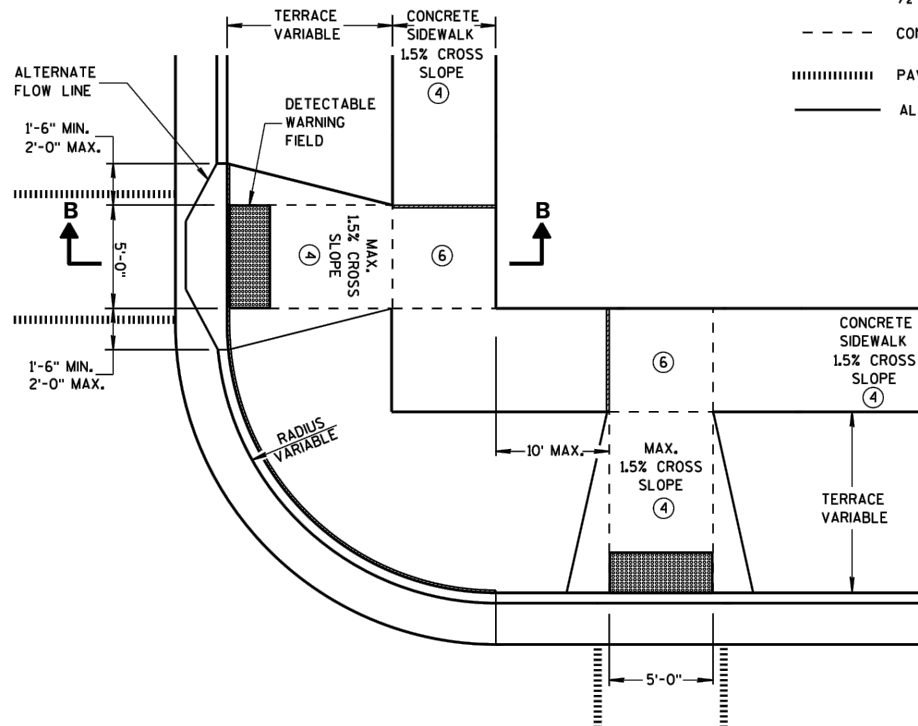
SECTION B-B

GENERAL NOTES

- DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.
- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL NOT EXCEED 7%.
- ABSOLUTE MAXIMUM 12H:1V (8.33%) CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
- ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LANDING SIZE IS 5 FEET X 5 FEET.
- WHEN THIS DISTANCE EXCEEDS 5 FEET, STAGGER ADDITIONAL DETECTABLE WARNING PANEL FORWARD TO REDUCE THIS DISTANCE. PROVIDE MINIMUM 12-INCH ROW OVERLAP TO AVOID SIDESTEP OF DOME DETECTION. USE EQUAL-SIZE PANELS TO DEVELOP OVERLAPPING, STAGGERED ROWS. ALIGN DOMES BETWEEN OVERLAPPING ROWS AND IN DIRECTION OF PEDESTRIAN TRAVEL.
- PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.
- WHEN THIS DISTANCE IS LESS THAN 6'-0", IT MAY BE DIFFICULT TO ACHIEVE A 7% SLOPE OR FLATTER ALONG THE RAMP. REDUCE CURB HEIGHT IN TRIANGLE AREA TO ACHIEVE 7% SLOPE OR FLATTER ON RAMP. CONSTRUCT 2-INCH MINIMUM CURB HEIGHT BETWEEN 10:1 FLARES.

LEGEND

- 1/2" EXPANSION JOINT-SIDEWALK
- CONTRACTION JOINT FIELD LOCATED
- PAVEMENT MARKING CROSSWALK (WHITE)
- ALTERNATIVE LAYOUT



PLAN VIEW
TYPE 3 RAMP
(OUTSIDE OF CROSSWALK AREA)

CURB RAMPS
TYPES 2 AND 3

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

6

6

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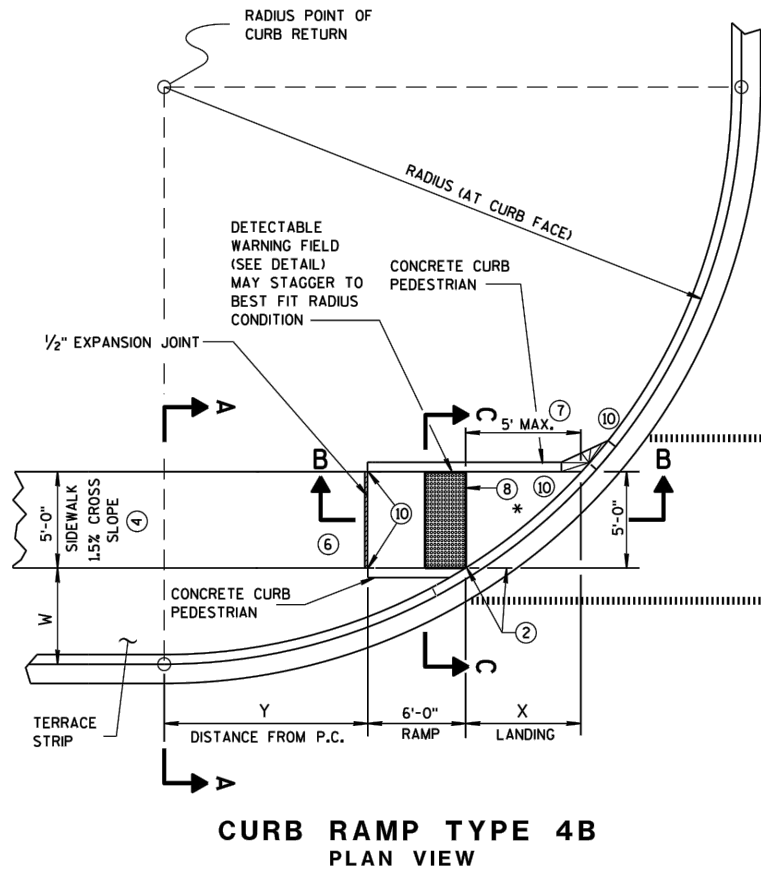
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VILLAGE OF JACKSON
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WASHINGTON COUNTY, WISCONSIN
STANDARD CONSTRUCTION DETAILS

8D5 sheet d: Curb Ramps Type 4B

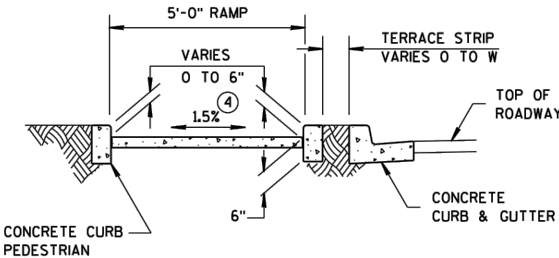


- LEGEND**
- 1/2" EXPANSION JOINT-SIDEWALK
 - CONTRACTION JOINT FIELD LOCATED
 - PAVEMENT MARKING CROSSWALK (WHITE)

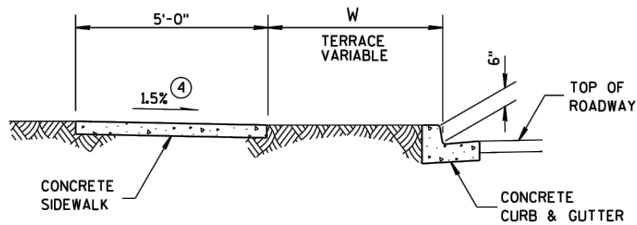
RADIUS (AT CURB FACE)	W = 3' - 0"		W = 4' - 0"		W = 5' - 0"		W = 6' - 0"		W = 7' - 0"	
	X	Y	X	Y	X	Y	X	Y	X	Y
20 FEET	5'-9 3/4"	3'-6 1/2"	4'-11 1/2"	5'-1 3/4"	4'-3 1/4"	6'-5 1/2"	3'-8 3/4"	7'-6 3/4"	3'-3"	8'-6 1/4"
30 FEET	7'-9 1/4"	5'-10 1/2"	6'-9 1/2"	7'-11 1/4"	6'-0 1/4"	9'-8"	5'-5"	11'-1 3/4"	4'-10 3/4"	12'-5 3/4"
40 FEET	9'-4"	7'-10"	8'-2 3/4"	10'-3"	7'-4 3/4"	12'-3 3/4"	6'-8 1/2"	14'-1 1/4"	6'-1 3/4"	15'-8 1/2"
50 FEET	10'-8"	9'-6 1/2"	9'-5 1/2"	12'-3 1/4"	8'-6 1/2"	14'-7 1/2"	7'-9 3/4"	16'-8 1/4"	7'-2 1/2"	18'-6 1/4"
60 FEET	11'-10 1/4"	11'-0 3/4"	10'-6 1/2"	14'-1 1/4"	9'-6 1/2"	16'-8 1/2"	8'-9 1/4"	18'-11 3/4"	8'-1 1/2"	21'-0 1/2"

GENERAL NOTES INTERMEDIATE RADII CAN BE INTERPOLATED

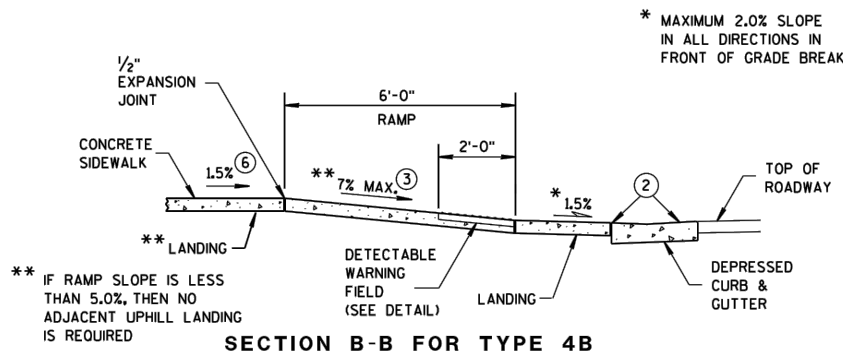
- AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS. DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.
- 2 GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL NOT EXCEED 7%.
- 3 ABSOLUTE MAXIMUM 12H:1V (8.33%) CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
- 4 ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- 6 PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LANDING SIZE IS 5 FEET X 5 FEET.
- 7 WHEN THIS DISTANCE EXCEEDS 5 FEET, STAGGER ADDITIONAL DETECTABLE WARNING PANEL FORWARD TO REDUCE THIS DISTANCE. PROVIDE MINIMUM 12-INCH ROW OVERLAP TO AVOID SIDESTEP OF DOME DETECTION. USE EQUAL-SIZE PANELS TO DEVELOP OVERLAPPING, STAGGERED ROWS. ALIGN DOMES BETWEEN OVERLAPPING ROWS AND IN DIRECTION OF PEDESTRIAN TRAVEL.
- 8 PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.
- 10 INSTALL TRANSITION NOSE, (INCIDENTAL TO OTHER PAY ITEMS), DO NOT MARK TRANSITION NOSE.



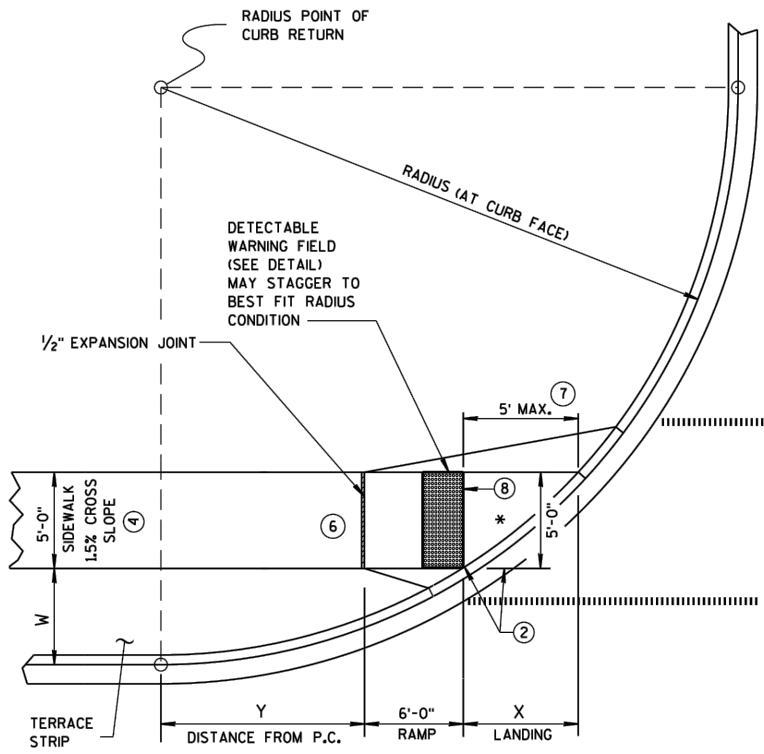
SECTION C-C FOR TYPE 4B



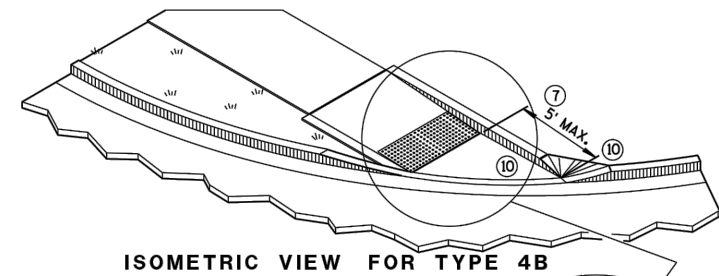
SECTION A-A FOR TYPE 4B



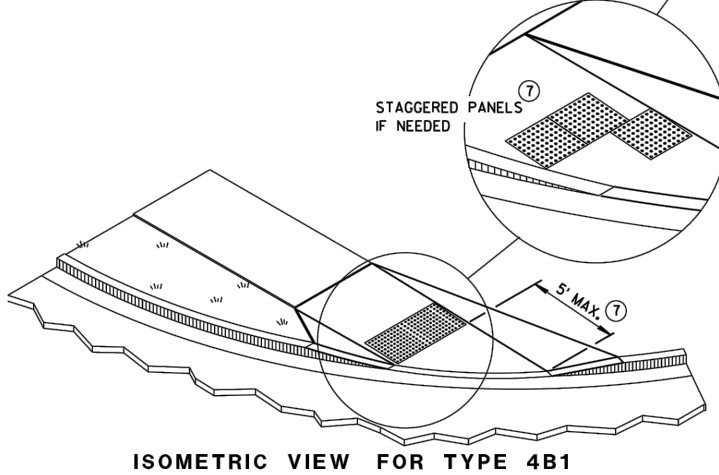
SECTION B-B FOR TYPE 4B



CURB RAMP TYPE 4B1
PLAN VIEW



ISOMETRIC VIEW FOR TYPE 4B



ISOMETRIC VIEW FOR TYPE 4B1

CURB RAMP
TYPE 4B AND 4B1

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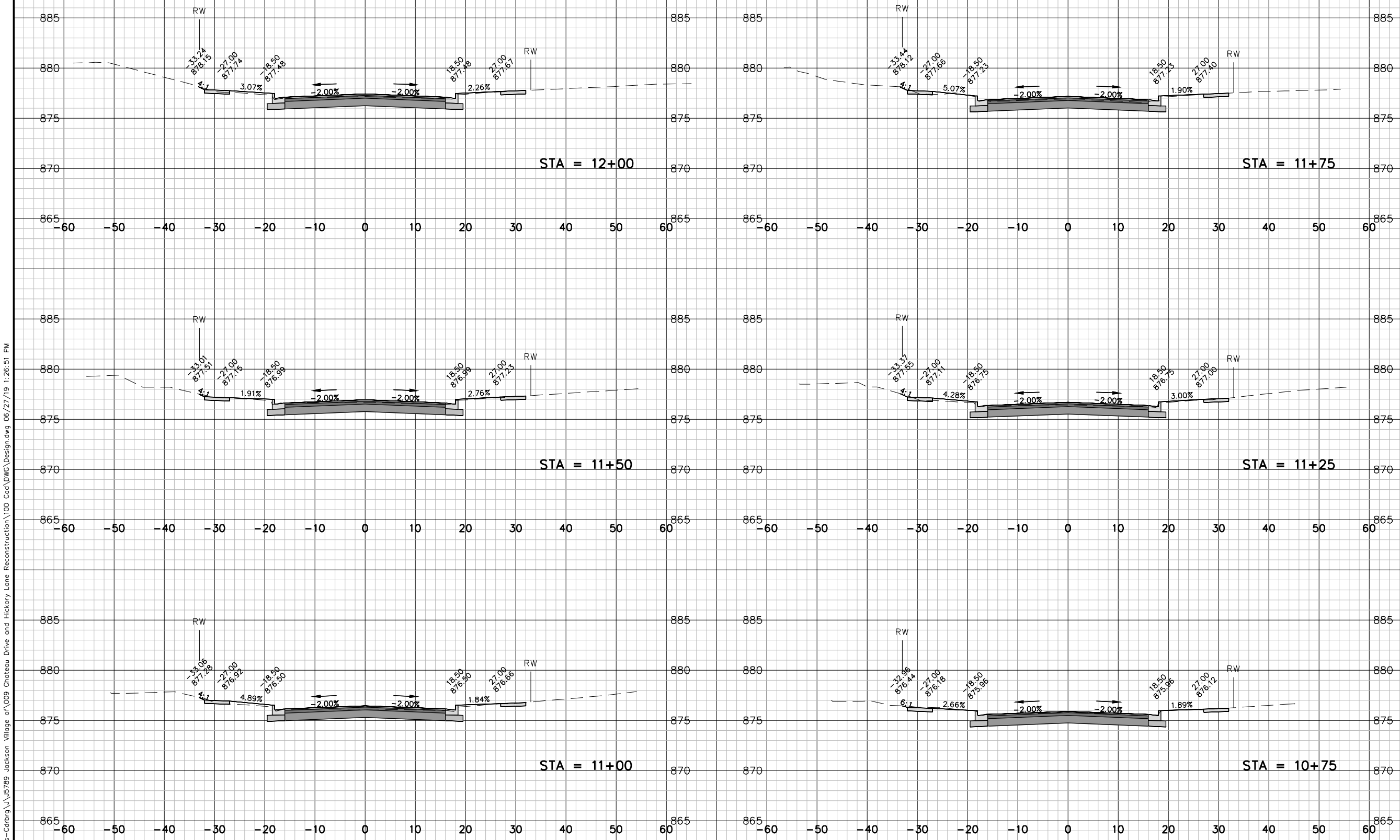
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CHATEAU DRIVE



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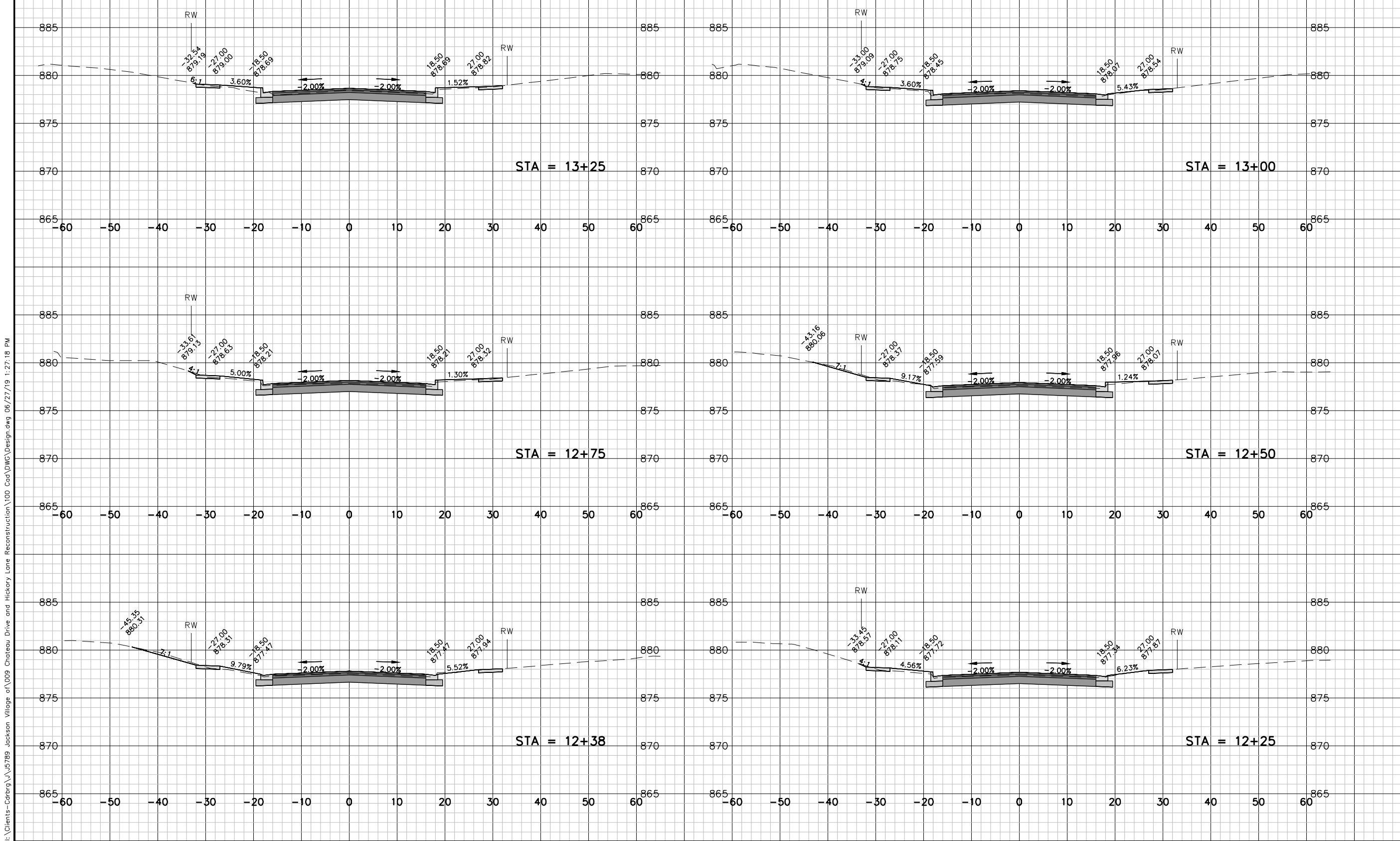
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CHATEAU DRIVE



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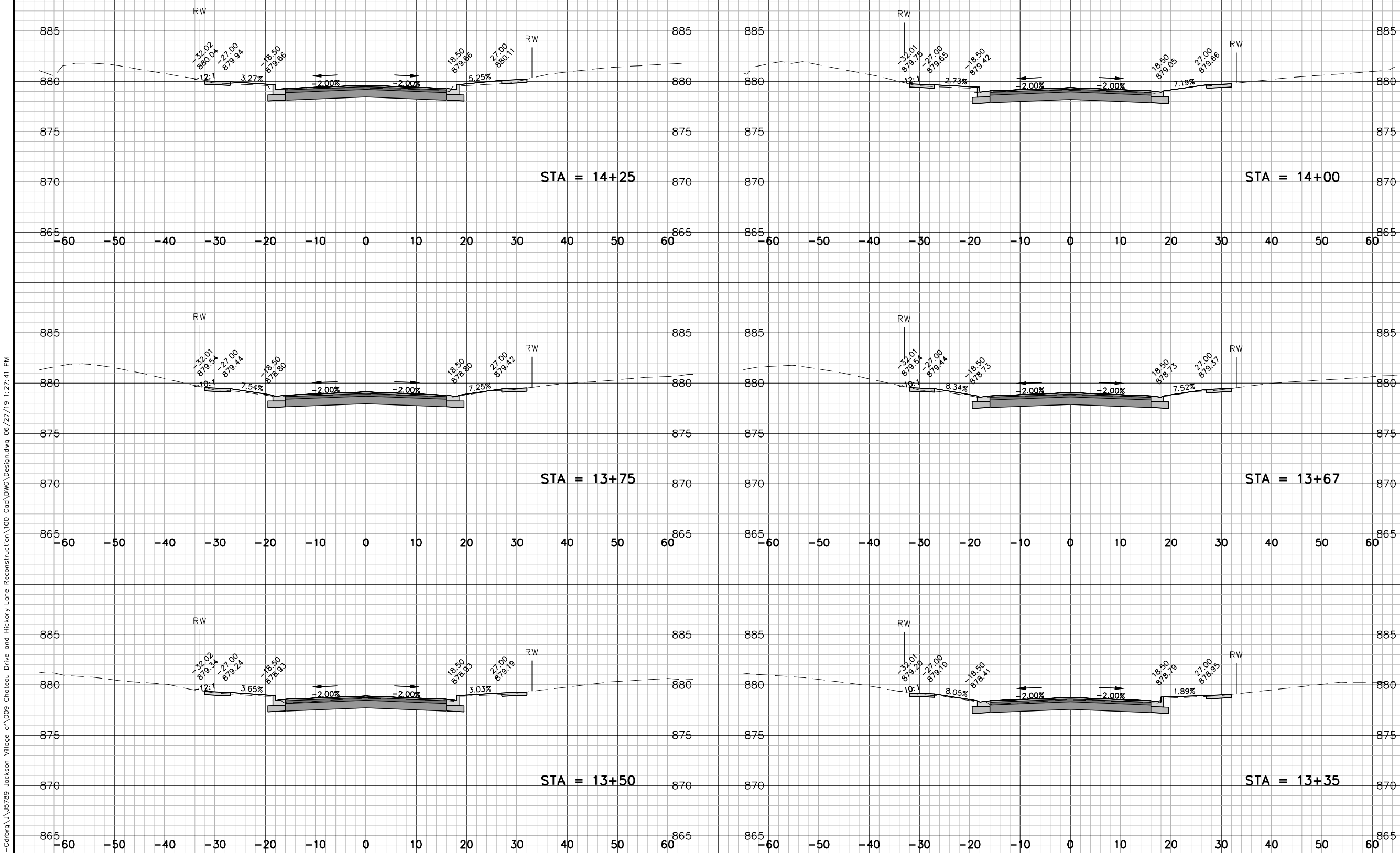
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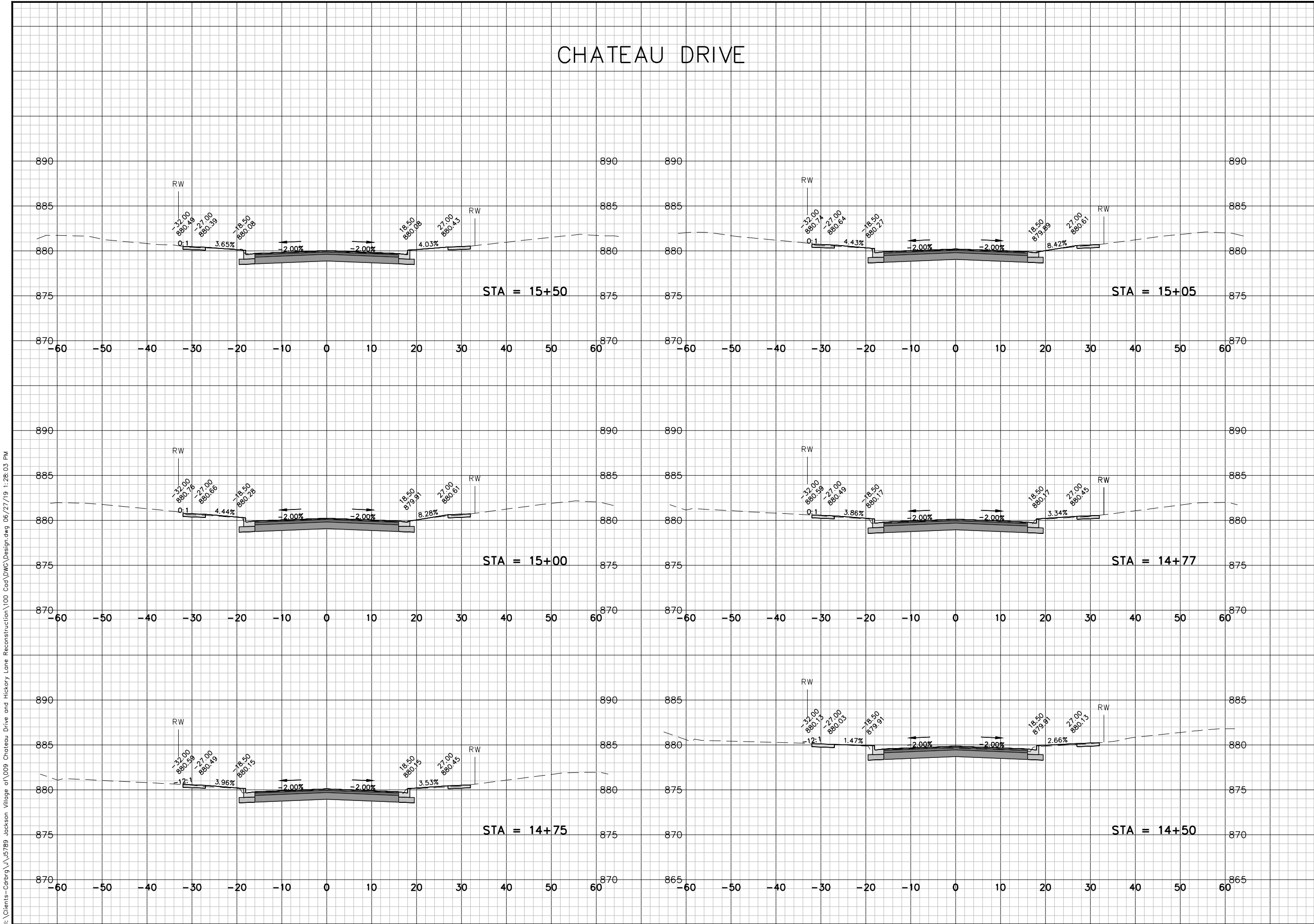
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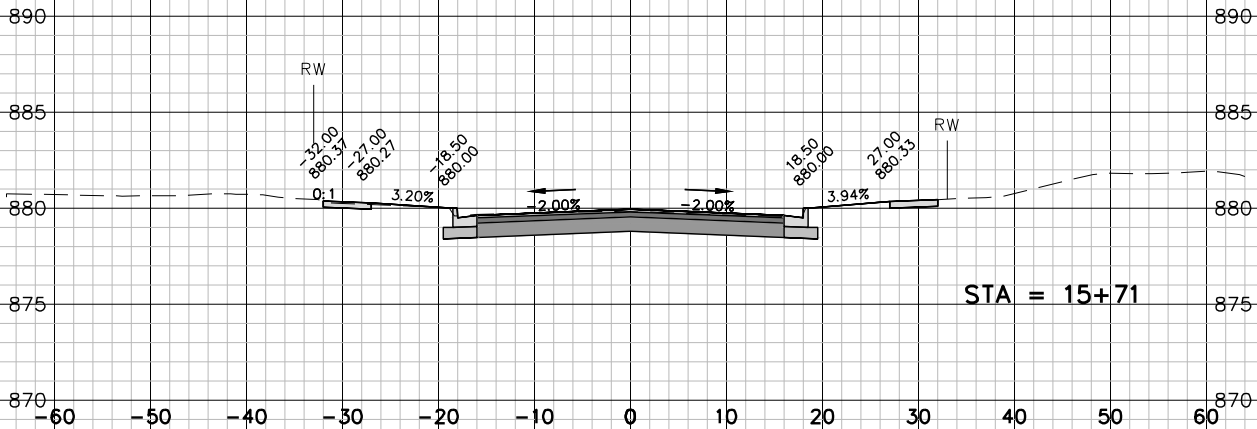
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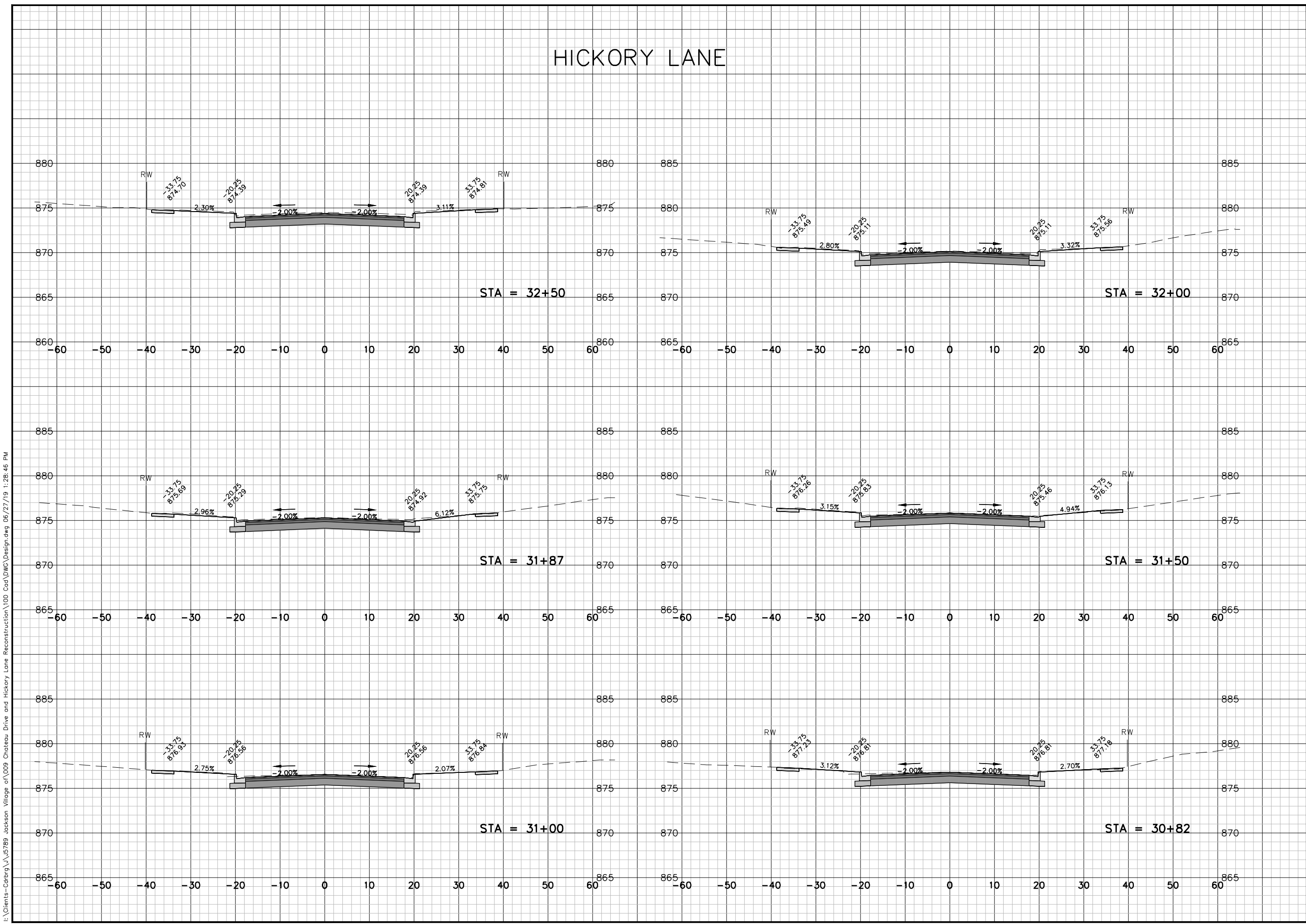
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HICKORY LANE



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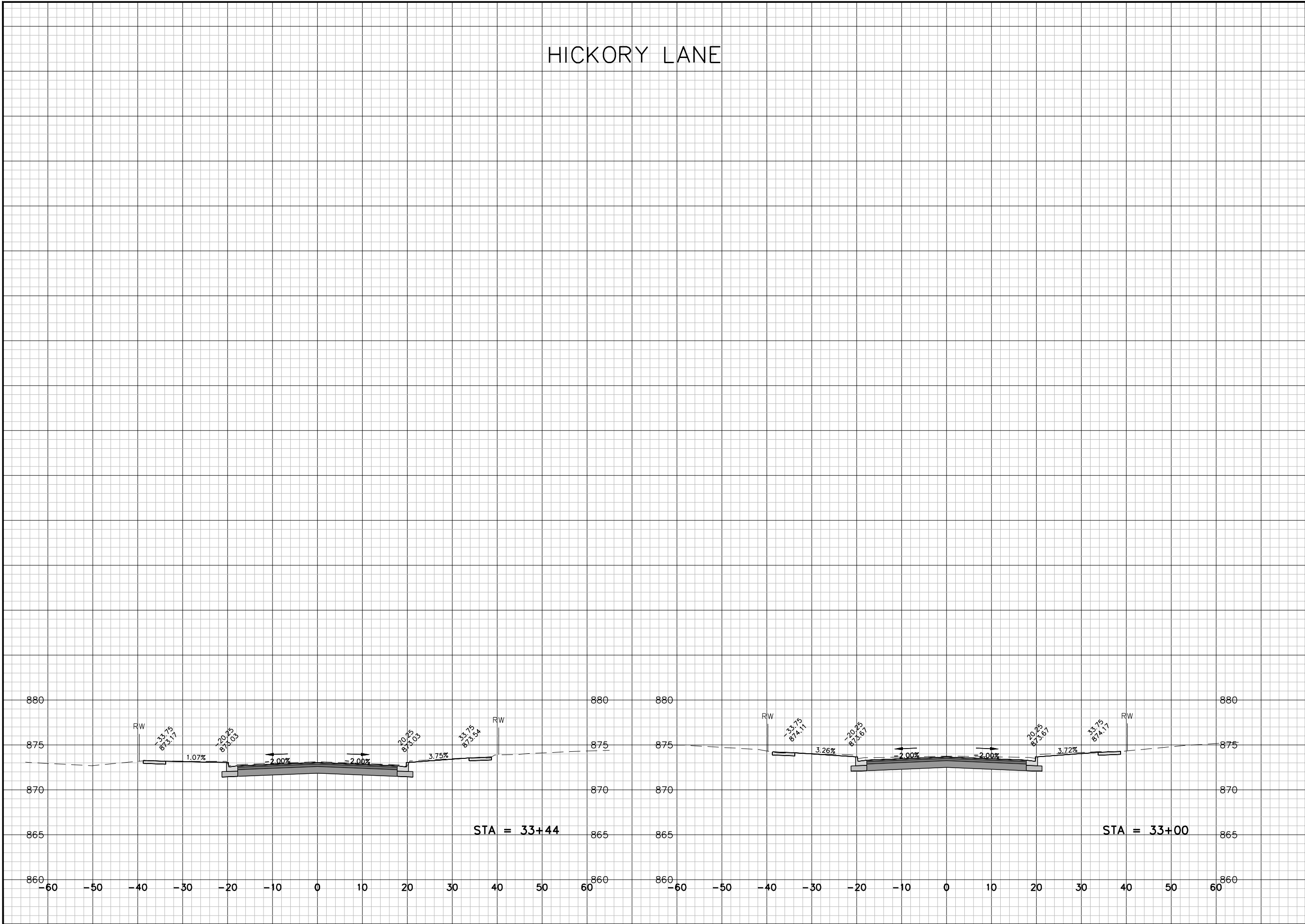
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WASHINGTON COUNTY, WISCONSIN
CROSS SECTIONS - HICKORY LANE

I:\Clients-Cdrgrg\05789 Jackson Village of 009 Chateau Drive and Hickory Lane Reconstruction\100 Cad\DWG\Design.dwg 06/27/19 1:28:46 PM

I:\Clients-Cdrgrg\05789 Jackson Village of\009 Chateau Drive and Hickory Lane Reconstruction\100 Cad\DWG\Design.dwg 06/27/19 1:29:07 PM



JOB NO. 05789-0009
BOOK NO.
DRAWN BY BJG
CHECKED BY RDD
DATE JUNE 27, 2019
REVISIONS
REFERENCE FILE
DRAWING FILE

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Cedar

corporation

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land surveyors • landscape architects • interior designers

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608-249-2360
FAX 608-249-2688

1695 Bellevue Street
Madison, WI 53711
608-491-9081
FAX 920-491-9020

604 Wilson Ave.
Madison, WI 53705
608-235-9081
FAX 715-235-2727

VILLAGE OF JACKSON
CHATEAU DRIVE AND HICKORY LANE RECONSTRUCTION
WASHINGTON COUNTY, WISCONSIN
CROSS SECTIONS - HICKORY LANE

SHEET NO.
18 OF X

Memo

To: Board of Public Works

From: Brian W. Kober, P. E., Director of Public Works

Subject: Jackson Park Alley Project 2019
Preliminary Assessment

Date: August 26, 2019

CC:

The Preliminary Assessment for Jackson Park Alley Project has been calculated and following are some concepts in order to achieve a fair special assessment for the project:

- 1) The Village is only special assessing the asphaltic surface and concrete curb & gutter installation. The remaining portions of the project is of grading the area which needed to be done in order to achieve proper drainage. The asphaltic surface and curbing are improvements.
- 2) The total frontage calculated includes the two properties west of the project. The frontage was doubled to allow for both sides of the road which includes the park side (Village).
- 3) The two west properties do not totally benefit from the project until a culvert is installed to give them access. Until the culvert is installed or a change of use requesting access the special assessment will than be assessed to the properties.

If you have any questions, please let me know.

Brian W. Kober, P.E.

Village of Jackson
Jackson Park Alley Project 2019
Reconstruction of Jackson Park Alley from West End to Jackson Truck Body Property
August 21, 2019

Jackson Park Cul-deSac

Item No.	Item Description	Unit	QTY	Unit Price	Total	Sewer Utility Cost	Water Unit Cost	Village Capital
100-01	Clearing and Grubbing	LS	1	\$3,030.30	\$3,030.30			
100-02	Removing Curb & Gutter	LF	85	\$6.06	\$515.10			
100-04	Excavation Common	CY	1,095	\$24.94	\$27,309.30			
100-05	Base Aggregate Dense 3/4-inch	Ton	45	\$18.31	\$823.95			
100-06	Base Aggregate Dense 1 1/4-inch	Ton	985	\$15.28	\$15,050.80			
100-08	Concrete Driveway 6-inch	SY	115	\$58.50	\$6,727.50			
100-09	Concrete Surface Drain	CY	1	\$300.00	\$300.00			
100-10	Asphaltic Surface	Ton	435	\$89.00	\$38,715.00			
100-11	Concrete Curb & Gutter 18-inch Type D	LF	700	\$26.20	\$18,340.00			
100-15	Lawn Restoration	SY	1,160	\$8.32	\$9,651.20			
100-16	Silt Fence	LF	385	\$3.03	\$1,166.55			
100-19	Temporary Ditch Checks	LF	25	\$25.25	\$631.25			
100-20	Traffic Control	LS	1	\$3,999.91	\$3,999.91			
100-23	Sawing Asphalt & Concrete	LF	45	\$9.00	\$405.00			

Subtotal Schedule A

\$126,665.86

\$0.00

\$0.00

\$0.00

Village of Jackson
Jackson Park Alley Project 2019
Reconstruction of Jackson Park Alley from West End to Jackson Truck Body Property

Preliminary Property Assessment
August 28, 2019

Title	First Name	Last Name	City	State	ZIP Code	Physical Address	Mailing Address	Tax Key No	Phone Number	Email Address	Onsite Inspection Completed	Linear Frontage	Cost of Installation per Unit Price (\$/L.F.)	Estimated Asphalt & Curb & Gutter Cost (L.F.)	Total Assessment Amount
	Kimberly Gonzalez	Thomas Simonsen	Jackson	WI	53037	N168 W20716 Main Street	N168 W20716 Main Street	V3 0038				0.00	\$102.66	\$0.00	\$0.00
	Thomas	Simonsen	Jackson	WI	53037	N168 W20702 Main Street	N168 N20702 Main Street	V3 0037				0.00	\$102.66	\$0.00	\$0.00
Walter Miller Family Investment Properties LLC			Cedarburg	WI	53012	N168 W20686 Main Street	3870 Country Aire Drive	V3 0036				55.89	\$102.66	\$5,737.53	\$5,737.53
Walter Miller Family Investment Properties LLC			Jackson	WI	53037	N168 N20666 Main Street	N168 W20666 Main Street	V3 0035				75.00	\$102.66	\$7,699.31	\$7,699.31
Jackson Truck Body Inc.			Jackson	WI	53037	N168 W20640 Main Street	N168 W20640 Main Street	V3 0034				147.00	\$102.66	\$15,090.66	\$15,090.66
Totals												277.89		\$28,527.50	\$28,527.50

Item No.	Item Description	Units	Feet	Unit Price	Total	Total Frontage	Cost per foot
100-10	Asphaltic Surface	Ton	435	\$89.00	\$38,715.00	555.78	\$102.66
100-11	Concrete Curb & Gutter	LF	700	\$26.20	\$18,340.00		
					\$57,055.00		

RESOLUTION #19-25

PRELIMINARY RESOLUTION DECLARING INTENT TO EXERCISE SPECIAL ASSESSMENT POLICE POWERS, UNDER SECTION 66.0703 OF THE WISCONSIN STATUTES

WHEREAS, the Village Board of the Village of Jackson, Washington County, Wisconsin is pursuing the construction and reconstruction of public improvements consisting of water and sanitary sewer mains; storm sewers; pavement; curb and gutter; and sidewalks and the related improvements and expenses for the benefit of the properties described on Exhibit A and Exhibit B hereto.

BE IT RESOLVED, by the Village Board of the Village of Jackson, Washington County, Wisconsin:

1. The Village Board hereby declares its intention to exercise its police power under Section 66.0703 of the Wisconsin Statutes to levy special assessments upon the properties described in Exhibit A hereto, for special benefits conferred upon such property by the construction of public improvements consisting of water and sanitary sewer mains; storm sewers; pavement; curb and gutter; and sidewalks and the related improvements and expenses.
2. The Village Board hereby determines that the construction of such improvements is in the best interest of, and for the health and welfare of the municipality and the property benefited by the improvements, and therefore constitutes an exercise of the police power.
3. The amount of such assessments shall be determined and levied upon completion of the construction of public improvements consisting of water and sanitary sewer mains; storm sewers; pavement; curb and gutter; and sidewalks and the related improvements and expenses.
4. The number of installments, rate of interest, and the terms of payment will be included in the Final Resolution after the Public Hearing; which will be held upon completion of the project, when final costs have been determined.
5. Every Special Assessment levied under this Resolution, shall be a lien against the property assessed, from the date of the Final Resolution of the Village Board determining the levy.
6. The Village Engineer shall prepare a report consisting of the following:
 - a. Preliminary of the final plans and specifications for the Public Works.

- b. An estimate of the entire cost of the proposed improvements.
 - c. A schedule of the proposed properties against which the assessments are to benefit.
 - d. A statement that each property against which the assessments are proposed, has been inspected and is benefited, setting forth the basis of such benefit.
 - e. Upon completion of the report, the Village Engineer shall file a copy with the Village Clerk, and with the Village Treasurer.
7. The Village Clerk shall make a copy of the report available for public inspection.

Introduced by: _____ Seconded by: _____

Vote: ____ Aye ____ Nay Passed and Approved: _____

Michael E. Schwab - Village President

Attest: _____
Jilline S. Dobratz - Village Clerk

Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office and one other location in the Village.

Village Official

Date

DRAFT Minutes
Board of Public Works Meeting
Tuesday, August 27, 2019 at 7:00 p.m.
Jackson Village Hall
N168 W20733 Main Street

1. Call to Order and Roll Call.

Chair Olson called the meeting to order at 7:00 p.m.

Members present: Brian Heckendorf, Dan Leonard, Tr. Lippold, Tr. Malcolm and Gloria Teifke

Members excused: Sarah Malchow

Staff present: Brian Kober, John Walther and Jilline Dobratz.

2. Approval of the Board of Public Works Minutes of July 30, 2019.

Motion by Tr. Malcolm, second by Tr. Lippold to approve the Board of Public Works minutes of July 30, 2019.

Vote: 6 ayes, 0 nays. Motion carried.

3. Discussion on Yard Waste Site Policy and Procedure.

Brian Kober stated the Public Works staff met on August 22nd after the monthly pick up of bags and brush to discuss the future yard waste site. The yard waste site will be for residents and not for commercial use. Staff recognized after the monthly scheduled pick up is finished, bags are put back out and they sit out for a month. Hopefully, the yard waste site would solve that issue. We also don't want grass clippings brought to the site. Village residents would receive one free card, extra cards would have to be purchased. A camera on the site takes video and still pictures. The yard would be open to the public April 1st to December 1st. Time of operation would be 7:00 am to 7:00 pm or close at dusk. Depending on use, the yard may need to be closed a day for clean-up. John Walther commented on an ordinance change due to enforcement. Staff will prepare an ordinance change for next month's meeting.

4. Review of Preliminary Assessment for Chateau Drive and Hickory Lane Reconstruction Project.

Brian Kober reviewed the pricing and recommended a blanket price for sidewalk of \$8.37 per square foot and \$3,000.00 per storm sewer lateral for both projects. It is a benefit for the Jackson Sewer Utility that the storm laterals are being installed. The Jackson Sewer Utility has money to put toward this project and they are replacing the manhole covers to stop them from leaking.

Motion by Chair Olson, second by Dan Leonard recommend Budget & Finance and Village Board adopt the Preliminary Assessment for Chateau Drive and Hickory Lane Reconstruction Project.

Vote: 6 ayes, 0 nays. Motion carried.

5. Resolution #19—25 Preliminary Assessment for Sherman Road Drainage and Jackson Park Alley Reconstruction Project.

Brian Kober commented the special assessment is only for asphalt surface and concrete curb & gutter installation. The remaining portions of the project is for grading of the area. The two properties to the west are exempt as they do not benefit from the project unless a culvert is installed. Chair Olson stated the two properties are not going to have access and the project does not touch their properties. The asphalt and curbing costs should be divided amongst the other properties.

Motion by Chair Olson, second by Tr. Lippold to recommend Budget & Finance and Village Board adopt Resolution #19-25 Preliminary Assessment with the amended preliminary property assessment for Sherman Road Drainage and Jackson Park Alley Reconstruction Project.

Vote: 6 ayes, 0 nays. Motion carried.

6. Limited Water Service Study.

Brian Kober reported the first draft was received last Thursday and he has a meeting tomorrow to verify the model. Staff and legal counsel will read the study after changes are made before the draft is made public. The draft version will be at the Board of Public Works on September 24th.

Motion by Chair Olson, second by Tr. Lippold to refer the Limited Water Service Study to the September meeting.

Vote: 6 ayes, 0 nays. Motion carried.

7. Discussion of Village Informational Signs.

Brian Kober now has the DOT information and will make contact.

Motion by Chair Olson, second by Tr. Lippold to refer Village Informational signs to next month's meeting.

Vote: 6 ayes, 0 nays. Motion carried.

8. Director of Public Works Report.

Brian Kober gave the report. He spoke to Scott Schmidt, Highway Commissioner, who has been working with the DOT on the old park and ride lot for the Village. The DNR is requesting municipalities to start monitoring and sampling for PFAS. Chair Olson questioned the high-water consumption in July. Brian Kober stated there were no leaks, residents use automatic sprinklers even if it's not dry.

Motion by Tr. Lippold, second by Chair Olson to place the Director of Public Works report on file.

Vote: 6 ayes, 0 nays. Motion carried.

9. Citizens/Village Staff to Address the Board.

Brian Kober reminded everyone that the Cedar Creek Connection is September 7th, from 1:00 to 5:00 p.m. It's a one-time educational program with the farmers group and the waste water treatment plant. A five pack of yard waste bags will be given to Village residents who present their ID.

John Walther reported the barn is down and three of the four out buildings are down on the old Schmahl property. Someone wants to move the farm house on Highway 60 but if it doesn't happen, the building will be demoed. Looking at trying to use some of the cream city brick in the new building, probably in the main lobby area or Board Room. It

was agreement to recognize Reuben Schmahl in some way. The other house is spoken for. Brian has been working with Cedar Corporation on the extensions of Spruce Street and Ridgeway Drive. John and Brian are working on securing the right of way for the private property.

Gloria Teifke asked for clarification on the Maplewood Farms subdivision wet sub-soil. Brian Kober explained they are putting in a large dewatering well, pumping out the water to the detention ponds. They are trying to dry out the subsoil base for grading.

Brian Kober stated they are getting a lot of complaints about Jackson Drive. D.F. Tomasini and New Berlin Grating are aware, they aren't able to work when there is significant rain. Jackson Drive is to be paved before the subdivision gets paved. The east side of the road is in the Town of Jackson. The Town has to go out for bid for their portion of the asphalt road. Hopefully by the end of the September it will be a new asphalt road.

10. Adjourn.

Motion by Chair Olson, second by Tr. Lippold to adjourn.
Vote: 6 ayes, 0 nays. Meeting was adjourned 8:04 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCMC*
Village Clerk

RESOLUTION #19-23

A RESOLUTION TERMINATING THE VILLAGE OF JACKSON'S PARTICIPATION IN THE JOINT VILLAGE OF JACKSON/TOWN OF JACKSON PLANNING GROUP

THE VILLAGE BOARD of the Village of Jackson, Washington County, Wisconsin, does resolve as follows:

WHEREAS, in the beginning of January 1994, the Village of Jackson ("Village") and the Town of Jackson ("Town") held a series of meetings to discuss inter-municipal cooperation planning for lands located contiguous to the Village and Town boundaries. These meetings were brought about because of the imminent imposition of extraterritorial zoning authority by the Village; and

WHEREAS, the Village and Town embarked upon a course to establish intergovernmental agreements to address boundary limits, land uses, and other responsibilities jointly between the Town and the Village; and

WHEREAS, between January 1994 and September 1999, an advisory body known as the Joint Village of Jackson/ Town of Jackson Planning Group ("Group") was established and met to discuss cooperative planning and boundary matters between the two municipalities. The Group continued to meet thereafter as necessary; and

WHEREAS, in 1999 the Village and Town established an effective agreement known as the Village of Jackson/Town of Jackson Revenue Sharing Agreement and Cooperative Boundary Plan ("Agreement") which adopted the structure of the Group for the duration of the Agreement; and

WHEREAS, in 2014 the Town, along with certain property owners in the Town identified as Jackson Town Residents Against Attachment, began litigation against the Village.

WHEREAS, the lawsuit, settled in 2018, resulted in a new court-ordered Mediated Cooperative Plan Agreement between the Village and Town which was approved by the State of Wisconsin; and

WHEREAS, the Village and Town are now proceeding separately with comprehensive plans under Wis. Stat. §66.1001. The Village and Town had previously entered into a Joint 2035 Comprehensive Plan. As part of the negotiations for the new Boundary Agreement between the Village and the Town, the Village and the Town agreed to proceed with new and separate comprehensive plans; and

WHEREAS, the Southeastern Wisconsin Regional Planning Commission ("SEWRPC") has requested information relating to the continuation of the Group. Because the Village and Town have embarked upon new and separate comprehensive plans, nullifying the necessity of the Group;

NOW, THEREFORE, BE IT RESOLVED, that the Village Board does hereby decree that the Village's participation in the Group shall be terminated effective immediately upon execution of this Resolution.

Introduced by:_____

Seconded by:_____

Vote:_____Aye _____ Nay

Passed and Approved:_____

Michael E. Schwab – Village President

Attest:_____
Jilline S. Dobratz – Village Clerk

Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

Village Official

Date

RESOLUTION #19-24

ADOPTING PUBLIC PARTICIPATION PROCEDURES FOR AMENDING THE COMPREHENSIVE PLAN FOR THE VILLAGE OF JACKSON

WHEREAS, pursuant to Section 66.1001 of the *Wisconsin Statutes*, all units of government which enact or amend zoning, subdivision, or official mapping ordinances on or after January 1, 2010, must adopt a comprehensive plan; and

WHEREAS, the Village of Jackson adopted a comprehensive plan under the authority of and procedures established by Section 66.1001 of the *Wisconsin Statutes* on November 5, 2009; and

WHEREAS, Section 66.1001(4)(a) of the *Wisconsin Statutes* requires that the Village Board adopt written procedures designed to foster public participation during the preparation or amendment of a comprehensive plan; and

WHEREAS, the Village Board of the Village of Jackson believes that regular, meaningful public involvement in the comprehensive planning process is important to assure that the comprehensive plan continues to reflect input from the public; and

WHEREAS, public participation procedures have been developed to foster public participation in the comprehensive plan amendment process.

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Jackson hereby adopts the Public Participation Procedures for Amending the Comprehensive Plan attached hereto as Exhibit A to fulfill the requirements of Section 66.1001(4)(a) of the *Wisconsin Statutes*.

Introduced by: _____

Seconded by: _____

Vote: _____ Aye _____ Nay

Passed and Approved: _____

Michael E. Schwab – Village President

Attest: _____
Jilline S. Dobratz – Village Clerk

Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

Village Official

Date

EXHIBIT A

PUBLIC PARTICIPATION PROCEDURES FOR AMENDING THE COMPREHENSIVE PLAN: VILLAGE OF JACKSON

Introduction

On August 10, 2009, the Jackson Village Board adopted a Village comprehensive plan under Section 66.1001 of the *Wisconsin Statutes*, which is documented in a report titled “Village of Jackson and Town of Jackson Comprehensive Plan: 2035.” The comprehensive plan was prepared in accordance with a public participation plan adopted by the Village Board on June 9, 2009 that included activities to foster public participation in the preparation of the comprehensive plan. Under Section 66.1001(4)(a) of the *Wisconsin Statutes*, future amendments to the comprehensive plan must also be carried out in accordance with a public participation plan, adopted by the Village Board, designed to foster public participation in the amendment process. The balance of this document describes the process to be followed by the Village to foster public participation in the consideration of amendments to the comprehensive plan.

Part 1: Public Participation Activities and Procedures for Comprehensive Plan Amendments

1. **Background Materials**

The Village will provide opportunities for public review of materials describing all proposed amendments to the comprehensive plan, including the following:

- Printed copies of materials describing a proposed plan amendment will be made available at the Village Hall.
- Electronic copies of materials describing a proposed plan amendment may be posted on the Village website. *(This is suggested for your consideration, but not a requirement.)*

2. **Optional Public Informational Meeting**

The Village Board, at its option, may schedule a public informational meeting to be held prior to the required public hearing. The public informational meeting will provide an opportunity for the public to review maps and other information relating to the proposed amendment. No formal procedures or notice requirements are required for the informational meeting; however, the Village will provide notice of the meeting through its website and through publication or posting.

3. **Public Hearing**

As required by Section 66.1001(4)(d), the Village will hold a public hearing on each proposed amendment to the comprehensive plan. The hearing may be held by the Plan Commission, Village Board, or jointly by the Plan Commission and Village Board. The hearing will include a presentation by the applicant describing the proposed plan amendment followed by an opportunity for the public to comment on the proposed amendment. The Village Plan Commission and Village Board will consider public testimony provided at the hearing and any written comments submitted to the Village prior to the hearing during their deliberations on the proposed plan amendment.

4. **Notice of Public Hearing**

The public hearing will be preceded by a Class 1 notice that is published or posted at least 30 days before the hearing is held. In accordance with Section 66.1001(4)(d), the notice will include the date, time, and place of the hearing; a brief summary of the proposed comprehensive plan amendment and/or a map illustrating the proposed amendment; a local contact who may be contacted for additional information on the proposed plan amendment and to whom written comments regarding the plan amendment may be submitted; and information regarding where and when the proposed plan amendment may be inspected before the hearing and how a copy of the proposed plan amendment may be obtained.

5. *Notification to Interested Parties*

The Village Clerk will provide a copy of the public hearing notice and the proposed amendment at least 30 days prior to the public hearing to any person who submits a written request to receive notice of a proposed amendment under Section 66.1001(4)(f). The Village may charge a fee to cover the cost of providing such notice. In accordance with Section 66.1001(4)(e), the Village Clerk will also provide notice to nonmetallic mining operators within the Village; to persons who have registered a marketable nonmetallic mineral deposit within the Village; or to persons who own or lease property on which nonmetallic minerals may be extracted, if such person has requested notification in writing. The Village Clerk will maintain a list of persons who have submitted a written request to receive notices of public hearings under Sections 66.1001(4)(e)(3) and 66.1001(4)(f).

6. *Plan Commission Recommendation*

Following the public hearing, the Plan Commission will make a recommendation to the Village Board to approve, deny, or modify the proposed amendment. The Plan Commission's recommendation will be in the form of a resolution approved by a majority of the full membership of the Plan Commission.

7. *Village Board Action*

Following Plan Commission action, the Village Board will consider the amendment and the Plan Commission's recommendation and approve, deny, or refer the proposed amendment back to the Plan Commission. If approved, the Village Board approval will be in the form of an ordinance adopted by a majority of the full membership of the Village Board.

8. *Distribution of Plan Amendment*

If approved by the Village Board, printed or electronic copies of the amendment will be sent by the Village Clerk to the parties listed in Section 66.1001(4)(b).

Part 2: Additional Procedures for Comprehensive Plan Amendments Requiring a Rezoning

In some cases, an amendment to a comprehensive plan may be needed in order for a proposed rezoning to be consistent with the plan. In such cases, the Village Board may allow the public notice and public hearing for the proposed plan amendment and rezoning to be combined, if a combined hearing is acceptable to the applicant. In such cases, the following procedures shall apply in addition to or in combination with those set forth in Part 1:

The notice of the public hearing shall be published and distributed in accordance with the procedures set forth in paragraphs 4 and 5 in Part 1; however, the public notice will include notification that the proposed rezoning will also be considered at the hearing. The notice will include any information required in a public notice for a rezoning by the Village zoning ordinance. The combined notice will constitute the first of the two (Class 2) public notices required for rezoning under the *Statutes*. The public notice will be published a second time one week after the first notice is published, unless a later time is specified in the zoning ordinance. The Village will also notify parties-in-interest as required by the Village zoning ordinance, and any parties that have filed a written request for rezoning notifications under Section 60.61(4)(f) of the *Statutes*.

The Plan Commission will consider and act on a proposed plan amendment before considering the requested rezoning, and a separate motion will be made for a recommendation to the Village Board on the plan amendment, followed by a motion to make a recommendation to the Village Board on the rezoning.

The Village Board will consider and act on a proposed plan amendment before considering the requested rezoning. A separate motion will be made for action on the plan amendment, followed by a motion to act on the rezoning. If approved, separate ordinances will be adopted for the plan amendment and for the rezoning.

Part 3: Optional Procedures

The Village Board, at its option, may approve additional public participation procedures or a separately-documented public participation plan to provide for public informational meetings, the formation of advisory committees, the conduct of public opinion surveys, and/or other procedures to obtain public input on a proposed plan amendment.

**NOTICE OF INTENTION TO CIRCULATE
PETITION FOR ANNEXATION OF TERRITORY
FROM TOWN OF JACKSON TO VILLAGE OF JACKSON**

DATE: August 8, 2019

PETITIONER: Morning Meadows, LLC
12720 W NORTH AVE
BROOKFIELD, WI 53005

PLEASE TAKE NOTICE that not less than ten (10) days nor more than twenty (20) days from the date this Class I Notice is published, Morning Meadows, LLC, an owner of real property in the territory described below, intends to circulate a petition, in accordance with Wis. Stat.66.0217(3) for annexation of the territory described below from the Town of Jackson, Washington County, Wisconsin, to the Village of Jackson, Washington County, Wisconsin.

LEGAL DESCRIPTION OF TERRITORY PROPOSED TO BE ANNEXED

Part the Northwest 1/4 and Southwest 1/4 of Section 19, Township 10 North, Range 20 East, in the Town of Jackson, Washington County, Wisconsin, bounded and described as follows:

Beginning at the West 1/4 Corner of said Section 19; thence South 89° 11' 48" East along the North line of the Southwest 1/4 of said Section 19 for a distance of 435.60 feet to a point; thence North 01° 26' 58" West 150.00 feet to a point; thence North 42° 39' 13" West 330.37 feet to a point; thence North 89° 11' 48" West 217.80 feet to a point on the West line of the Northwest 1/4 of said Section 19; thence North 01° 26' 58" West along aforesaid West line 1093.45 feet to the Corporate Limits of the Village of Jackson; thence South 89° 13' 26" East along said Corporate Limit 215.16 feet to a point; thence South 33° 07' 45" East along said Corporate Limit 848.64 feet to a point; thence South 54° 09' 52" East along said Corporate Limit 1355.82 feet to a point on the aforesaid North line; thence North 89° 11' 48" West along said North line 475.84 feet to a point; thence South 01° 11' 51" East 1994.96 feet to a point; thence North 89° 14' 43" West 455.00 feet to a point; thence South 01° 11' 51" East 648.00 feet to a point on the South line of the Southwest 1/4 of said Section 19; thence North 89° 14' 43" West along said South line 600.43 feet to a point; thence North 01° 12' 50" West 626.10 feet to a point; thence North 89° 12' 04" West 208.71 feet to a point on the aforesaid West line; thence North 01° 12' 50" West along said West line 2017.80 feet to the Point of Beginning.

Said land contains 4,015,099 Square Feet or 92.1739 acres.

A copy of the scale map may be inspected at the office of the Town of Jackson Town Clerk and at the office of the Village of Jackson Village Clerk at the addresses below:

Julia Oliver, Town Clerk
Town of Jackson
3146 Division Road
Jackson, WI 53037

Jilline Dobratz, Village Clerk
Village of Jackson
N168 W20177 Main Street
Jackson, WI 53037

AFFIDAVIT OF MAILING

Name: William W. Carity
Petitioner: Morning Meadows, LLC.
12720 W North Ave, Suite 4
Brookfield, WI 53005

I, William W. Carity, swear or affirm:

1. That I am the Owner of Morning Meadows, LLC located in Town of Jackson, Wisconsin.
2. That on August 14, 2018, I mailed a copy of the Notice of Intention to Circulate Petition for Annexation of Territory from Town of Jackson to Village of Jackson to all entities listed below. The notice appeared in the West Bend Daily News edition of Friday, August 6, 2019.

I SWEAR OR AFFIRM THAT THE ABOVE AND FOREGOING REPRESENTATIONS ARE TRUE AND CORRECT TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF.

8-14-19

Date

William W. Carity
William W. Carity

STATE OF WISCONSIN
COUNTY OF WASHINGTON

Municipality: Julia Oliver, Clerk
Town of Jackson
3146 Division Rd
Jackson, WI 53037

Landowner: Jim Jackley
Wisconsin DNR
Real Estate Specialist
2300 Dr. Martin Luther King Dr
Milwaukee WI 53212

Municipality: Jilline Dobratz, Clerk
Village of Jackson
N168 W20733 Main St
PO Box 637
Jackson, WI 53037

State: Erich Schmidtke - Annexations
Municipal Boundary Review - DOA
101 E Wilson St
PO Box 1645
Madison, WI 53701

School District: Deb Roensch
West Bend School District
735 S Main St
West Bend, WI 53095

ANNEXATION MAP

N89°13'26"W 2593.77'
N. LINE NW 1/4 SEC. 19-10-20

NW CORNER
SEC. 19-10-20

S89°13'26"E 215.16'

VILLAGE OF JACKSON

MUNICIPAL BOUNDARY LINE

TOWN OF JACKSON

S53°07'45"E 848.84'

S54°09'52"E 1355.82'

N89°11'48"W 217.80'

N42°39'15"W 330.37'

N01°26'58"W 150.00'

S89°11'48"E 435.60'

P.O.B.
W. 1/4 CORNER
SEC. 19-10-20

N. LINE SW 1/4 SEC. 19-10-20

S89°11'48"E 2581.80'

N89°11'48"W 475.84'

CENTER
SEC. 19-10-20

AREA OF ANNEXATION
4,015,099 SQ. FT.
92.1739 ACRES

S01°11'51"E 1994.96'

TOWN OF JACKSON

TOWN OF POLK

N89°12'04"W 208.71'

N01°17'50"W 628.10'

TOWN OF JACKSON

N89°14'43"W 600.43'

S01°11'51"E 648.00'

TOWN OF JACKSON

N89°14'43"W 455.00'

S. LINE SW 1/4 SEC. 19-10-20

S89°14'43"E 2580.97'

SW CORNER
SEC. 19-10-20

TOWN OF JACKSON

SHERMAN RD.

GRAPHIC SCALE
0 150 300
(IN FEET)

raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemount Road
Bristolfield, VA 53005-5939
(202) 781-1000
rasmith.com

DATE: AUGUST 1, 2019

SHEET 1 OF 1

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rs.smith.com

SHEET 1 OF 1

**NOTICE OF INTENTION TO CIRCULATE
PETITION FOR ANNEXATION OF TERRITORY
FROM TOWN OF JACKSON TO VILLAGE OF JACKSON**

DATE: August 8, 2019

PETITIONER: Morning Meadows, LLC
12720 W NORTH AVE SUITE 4
BROOKFIELD, WI 53005

PLEASE TAKE NOTICE that not less than ten (10) days nor more than twenty (20) days from the date this Class I Notice is published, Morning Meadows, LLC, an owner of real property in the territory described below, intends to circulate a petition, in accordance with Wis. Stat. 66.0217(3) for annexation of the territory described below from the Town of Jackson, Washington County, Wisconsin, to the Village of Jackson, Washington County, Wisconsin.

LEGAL DESCRIPTION OF TERRITORY PROPOSED TO BE ANNEXED

Part the Northwest 1/4 and Southwest 1/4 of Section 19, Township 10 North, Range 20 East, in the Town of Jackson, Washington County, Wisconsin, bounded and described as follows:

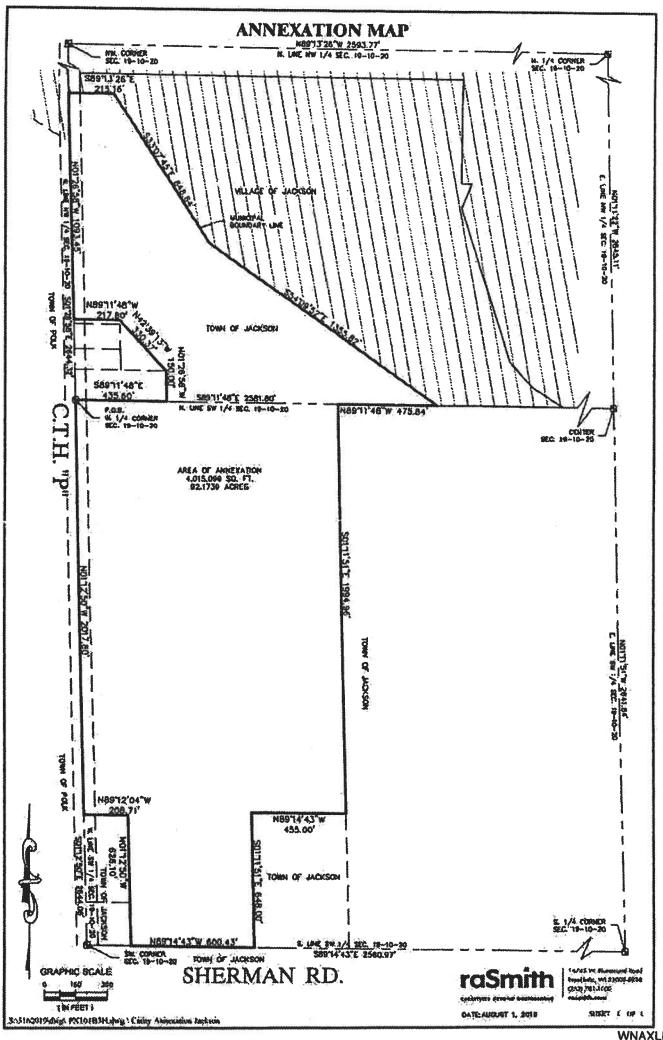
Beginning at the West 1/4 Corner of said Section 19; thence South 89° 11' 48" East along the North line of the Southwest 1/4 of said Section 19 for a distance of 435.60 feet to a point; thence North 01° 26' 58" West 150.00 feet to a point; thence North 42° 39' 13" West 330.37 feet to a point; thence North 89° 11' 48" West 217.80 feet to a point on the West line of the Northwest 1/4 of said Section 19; thence North 01° 26' 58" West along aforesaid West line 1093.45 feet to the Corporate Limits of the Village of Jackson; thence South 89° 13' 26" East along said Corporate Limit 215.16 feet to a point; thence South 33° 07' 45" East along said Corporate Limit 848.64 feet to a point; thence South 54° 09' 52" East along said Corporate Limit 1355.82 feet to a point on the aforesaid North line; thence North 89° 11' 48" West along said North line 475.84 feet to a point; thence South 01° 11' 51" East 1994.96 feet to a point; thence North 89° 14' 43" West 455.00 feet to a point; thence South 01° 11' 51" East 648.00 feet to a point on the South line of the Southwest 1/4 of said Section 19; thence North 89° 14' 43" West along said South line 600.43 feet to a point; thence North 01° 12' 50" West 626.10 feet to a point; thence North 89° 12' 04" West 208.71 feet to a point on the aforesaid West line; thence North 01° 12' 50" West along said West line 2017.80 feet to the Point of Beginning.

Said land contains 4,015,099 Square Feet or 92.1739 acres.

A copy of the scale map may be inspected at the office of the Town of Jackson Town Clerk and at the office of the Village of Jackson Village Clerk at the addresses below:

Julia Oliver, Town Clerk
Town of Jackson
3146 Division Road
Jackson, WI 53037

Jilline Dobratz, Village Clerk
Village of Jackson
N168 W20177 Main Street
Jackson, WI 53037



ORDINANCE #19-01

AMENDING SECTION 20 ARTICLE III OF THE VILLAGE CODE REGARDING SEX OFFENDER RESIDENCY ORDINANCE

**THE VILLAGE BOARD OF THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN,
upon proper notice and with quorum present and voting, hereby ordains the
following amendments to the Village's Sex Offender Residency Ordinance:**

ARTICLE III. Section 20-31 of the Village Code of the Village of Jackson is hereby amended to read the following:

Section 20-31. Recitals.

The Wisconsin Statutes, including Chapters 940, 944, and 948 thereof, govern the punishment of individuals who commit sex crimes. The Wisconsin Statutes also govern the release into the community of such individuals. The Village is responsible to maintain the public health, safety, and welfare and finds that sex offenders have high recidivism rates that threaten the public health, safety, and welfare, especially that of children.

The Village Board has reviewed findings in several studies related to recidivism and risk related to individuals who have committed sex crimes. Those studies include the following:

- Center for Sex Offender Management Fact Sheet: What You Need to Know About Sex Offenders. This fact sheet provided information about sex offender recidivism, including that it is estimated that one in every five girls and one in every seven boys are sexually abused by the time they reach adulthood; that one in six adult women and one in thirty-three adult men experience an attempted or completed sexual assault; that approximately 67% of all victims of reported sexual assaults are under age 18 and more than half are under age 12; and that about 12-24% of sex offenders will re-offend.
- U.S. Department of Justice, Bureau of Justice Statistics – Recidivism of Sex Offenders Released from Prison in 1994. This study found that compared to non-sex offenders released from state prisons, released sex offenders were four times more likely to be re-arrested for a sex crime.
- Correctional Service Canada – Forum on Corrections Research. This study of 178 sex offenders released from a maximum-security psychiatric facility found that after an average follow-up of 59 months, 27.5% of sex offenders in the study sexually recidivated and 40.4% of the sex offenders

were arrested, convicted, or returned to a psychiatric facility for a violent offence.

- California Research Bureau – The Impact of Residency Restrictions on Sex Offenders and Correctional Management: A Literature Review. This study found that at the time it was written twenty-two states had enacted some form of residency restriction that prohibits sex offenders from living within a certain distance of schools, daycare centers, or places where children congregate. The least restrictive among them was 500 feet, but distances from 1,000 to 2,500 feet were common.
- National Bureau of Economic Research – There Goes the Neighborhood? Estimates of the Impact of Crime Risk on Property Values from Megan's Laws. This study found that the majority of both violent and non-violent offenses take place less than one mile from victims' homes. It also found that prices of homes near sex offenders declined considerably following an offender's arrival in the neighborhood.
- An Evaluation of Sex Offender Residency Restrictions in Michigan and Missouri. This study found that while in Michigan, residency restrictions led to a slight increase in recidivism, in Missouri, the reconviction rate declined.

Based on the above studies and other information presented to the Village Board, the Board determines that the restrictions set forth in this Ordinance serve the purpose of protecting the public health, safety, and welfare from the risk of recidivism of sex offenders. The Board further determines that the intent and effect of this ordinance is not to banish sex offenders from residing within the Village, and careful attention has been given to ensure that there are ample locations for sex offenders to reside within the Village in compliance with the requirements of this ordinance.

The Board further determines that the opportunity for individualized consideration of the risks and benefits of residency restrictions on a case-by-case basis is the best approach to achieve the purposes of this ordinance and, to that end, this ordinance establishes an "exemption" process by which a sex offender may seek an exemption from its residency restrictions by petitioning to the Village's Sex Offender Residence Board.

ARTICLE III. Section 20-41 of the Village Code of the Village of Jackson is hereby created to read the following:

Section 20-41. Petition for Exemption.

- (a) A Sex Offender may seek an exemption from this Ordinance by petitioning to the Sex Offender Residence Board ("Residence Board").

- (b) The Residence Board shall consist of three citizens residing in the Village. Members shall be selected by the Village President subject to the approval of the Village Board. Members shall serve for a term of five years and shall serve no more than two consecutive terms. The terms for the initial members of the Residence Board shall be staggered with one member serving one year, a second member serving three years, and a third member serving five years.
- (c) The Residence Board shall approve an official petition form. The Sex Offender seeking an exemption must complete the petition and submit it to the Village Clerk, who shall forward it to the Residence Board. The Residence Board shall hold a hearing on each petition, during which the Residence Board may review any pertinent information and accept oral or written statements from any person. The Residence Board shall base its decision on factors related to the Village's interest in promoting, protecting, and improving the health, safety, and welfare of the community. Applicable factors for the Residence Board to consider include, but are not limited to:
- (1) Nature of the offense that resulted in designated offender status.
 - (2) Date of offense.
 - (3) Age at time of the offense.
 - (4) Recommendation of probation or parole officer.
 - (5) Recommendation of the Police Department.
 - (6) Recommendation of any treating practitioner.
 - (7) Counseling, treatment, and rehabilitation status of the Sex Offender.
 - (8) Remorse of Sex Offender.
 - (9) Duration of time since Sex Offender's incarceration.
 - (10) Support network of Sex Offender
 - (11) Relationship of offender and victim(s).
 - (12) Presence or use of force in offense(s).
 - (13) Adherence to terms of probation or parole.

(14) Proposals for safety assurances of Sex Offender.

(15) Conditions to be placed on the exemption.

(d) The Residence Board shall decide by majority vote whether to grant or deny an exemption. An exemption may be unconditional or limited to a certain address, time, or subject to other reasonable conditions. The Residence Board's decision shall be final for purposes of any appeal. A written copy of the decision shall be provided to the Sex Offender and the Police Department.

All other provisions of the Village's Sex Offender Residency Ordinance shall remain in full force and effect.

The Village Administrator and Village Attorney are hereby authorized and directed to take all action necessary to incorporate these amendments into the Village's Sex Offender Residency Ordinance.

Introduced by: _____

Seconded by: _____

Passed and Approved: _____

Vote: _____ Aye _____ Nay

Michael E. Schwab, Village President

Attest: Jilline Dobratz, Clerk

Proof of Posting:

I, the undersigned, certify that I posted copies of this Ordinance on bulletin boards at the Village Hall, Post Office and one other location in the Village.

Village Official: _____

Date: _____

VILLAGE OF JACKSON
SEX OFFENDER RESIDENCE BOARD EXEMPTION FORM

PERSONAL INFORMATION

Full name: _____
Current address: _____
Date of birth: _____ Telephone No.: _____
Age/relationship of those who you live with now: _____
To what address do you wish to move? _____
Attach a letter from the property owner which shows that he/she is willing to rent to you and knows you are a registered sex offender. **Your appeal will not be heard until you provide such proof.**
Age/relationship of those who you plan to live with: _____
Name of your Dept. of Corrections Agent, if applicable: _____

SEXUAL OFFENSE(S)

List **every** sexual offense on your conviction record and answer the following questions:

SEXUAL OFFENSE #1 **Conviction type:** ☐ ADULT ☐ JUVENILE
Offense Degree (circle one): **1st 2nd 3rd 4th** Offense: _____
Offense Date: _____ Conviction Date: _____ In what county? _____
Victim's age: _____ Sentence: _____ Time served: _____
Are you currently under supervision with the Department of Corrections for this offense? _____
How do you feel this sexual crime affected your victim? (Do not identify victim) _____

SEXUAL OFFENSE #2 **Conviction type:** ☐ ADULT ☐ JUVENILE
Offense Degree (circle one): **1st 2nd 3rd 4th** Offense: _____
Offense Date: _____ Conviction Date: _____ In what county? _____
Victim's age: _____ Sentence: _____ Time served: _____
Are you currently under supervision with the Department of Corrections for this offense? _____
How do you feel this sexual crime affected your victim? (Do not identify victim) _____

SEXUAL OFFENSE #3 **Conviction type:** ☐ ADULT ☐ JUVENILE
Offense Degree (circle one): **1st 2nd 3rd 4th** Offense: _____
Offense Date: _____ Conviction Date: _____ In what county? _____
Victim's age: _____ Sentence: _____ Time served: _____
Are you currently under supervision with the Department of Corrections for this offense? _____
How do you feel this sexual crime affected your victim? (Do not identify victim) _____

☐ Check here if you have been convicted of four or more sexual offenses, and attach extra sheets listing those offenses
{07491578.DOCX.1}

CRIMINAL HISTORY

Are you currently incarcerated? _____ If so, when is your expected release date? _____

List all previous criminal convictions below, including date and location of each offense (attach extra sheets, if needed):

	CRIME (Exclude Juvenile Offenses)	OFFENSE YEAR	IN WHAT MUNICIPALITY DID THIS OCCUR?
1.	_____	_____	_____
2.	_____	_____	_____
3.	_____	_____	_____
4.	_____	_____	_____

COMPLETED TREATMENT PROGRAMS

(This confidential part of your appeal will, to the extent permitted by law, only be available to the Board and not be available to the public.)

List the names of any treatment programs you have completed and attach a document proving that you have completed that treatment program, or answer "None" if you completed no programs.

THE BOARD WILL ASSUME YOU HAVE **NOT** COMPLETED A TREATMENT PROGRAM UNLESS YOU PROVIDE A DOCUMENT WHICH PROVES YOU HAVE COMPLETED THE TREATMENT PROGRAM AND YOUR DOC AGENT SIGNS BELOW.

	SUBJECT	NAME(S) OF COMPLETED TREATMENT PROGRAM(S)
☐	Sex Offender	_____ _____
☐	Anger	_____ _____
☐	Alcohol	_____ _____
☐	Drugs	_____ _____

DEPT. OF CORRECTIONS AGENT SIGNATURE (REQUIRED)

I HAVE REVIEWED THE INFORMATION COMPLETED BY THE APPLICANT REGARDING THE CRIMINAL HISTORY AND TREATMENT INFORMATION AND BELIEVE THAT IT IS TRUE AND COMPLETE TO THE BEST OF MY KNOWLEDGE.

Agent's Signature: _____

Date: _____

COMMUNITY TIES AND SUPPORT

Have you lived in Village of Jackson before? _____ If so, what years? _____

Identify by name which of the following people or groups will support you if you move to Village of Jackson.

NETWORK	NAMES OF OR RELATIONSHIP TO SUPPORTING PEOPLE/GROUPS
☐ Family	_____ _____
☐ Work	_____ _____
☐ Friends	_____ _____
☐ Other Support	_____ _____

APPELLANT'S SIGNATURE

BY SIGNING BELOW, I HEREBY CERTIFY THAT ALL STATEMENTS MADE ON THIS APPEAL FORM ARE TRUE AND COMPLETE. I UNDERSTAND THAT ANY OMISSIONS OR UNTRUTHFUL STATEMENTS WILL BE GROUNDS FOR DENIAL OF MY APPEAL.

Appellant's Signature: _____ Date: _____

ORDINANCE #19-02

AN ORDINANCE ANNEXING TERRITORY TO THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

THE VILLAGE BOARD OF THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN, does ordain as follows:

SECTION 1. Territory Annexed

In accordance with Wis. Stat., § 66.0217(3)(a) and the Petition for Direct Annexation by one-half approval filed with the Village of Jackson and signed by the owner of one-half of the land in area within the territory described below, and the Village Board having determined that there are zero (0) electors residing in such territory; the following described territory in the Town of Jackson, Washington County, Wisconsin, is hereby annexed to the Village of Jackson, Washington County, Wisconsin.

Annexation Description

Part the Northwest 1/4 and Southwest 1/4 of Section 19, Township 10 North, Range 20 East, in the Town of Jackson, Washington County, Wisconsin, bounded and described as follows:

See Attached Exhibits A and B

SECTION 2. Effect of Annexation.

From and after the date of this ordinance, the territory described in Section 1 shall be a part of the Village of Jackson for any and all purposes provided by law, and all persons coming or residing within such territory shall be subject to all ordinances, rules, and regulations governing the Village of Jackson.

SECTION 3. Temporary Zoning Classification.

The territory annexed to the Village of Jackson by this ordinance is temporarily zoned Planned Unit Development (PUD) - Residential, pursuant to Wis. Stat., § 66.0217(8)(a), this temporary zoning having been recommended by the Village of Jackson Plan Commission.

SECTION 4. Ward Designation.

The territory described in Section 1 of this ordinance is hereby designated to be included within the 10th Ward of the Village of Jackson, subject to the ordinances, rules, and regulations of the Village of Jackson governing wards.

SECTION 5. Population of Annexed Area.

The population of the territory described in Section 1 of this ordinance is zero (0).

SECTION 6. Severability.

If any provision of this ordinance is invalid or unconstitutional, or if the application of this ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the provisions or applications of this ordinance which can be given effect without the invalid or unconstitutional provision or application.

SECTION 7. Effective Date.

This ordinance shall take effect upon its enactment. The Village Administrator is hereby authorized and directed to take such further action necessary to give effect to this ordinance.

Introduced by:_____

Seconded by:_____

Vote: _____aye _____nay

Passed and approved_____

VILLAGE OF JACKSON

By:_____
Michael E. Schwab, Village President

Attest:

Jilline S. Dobratz, Village Clerk

Proof of Posting:

I, the undersigned, certify that I posted copies of this Ordinance on bulletin boards at the Village Hall, Post Office and one other location in the Village.

Village Official

Date

PETITION FOR DIRECT ANNEXATION BY ONE-HALF APPROVAL

The undersigned hereby petition the Village of Jackson, Washington County, Wisconsin, for annexation to the Village of Jackson of the territory contiguous to the Village of Jackson but lying in the Town of Jackson, Washington County, Wisconsin, legally described in the legal description and depicted on the scale map both attached hereto as Exhibit A and Exhibit B.

This petition is for direct annexation by one-half approval under Wisconsin Statute Section 66.0217(3)(a). Those signing this petition constitute the owners of at least one-half of the real property in land area and assessed value lying within the territory to be annexed. The population of the total territory to be annexed is 0 (zero) adults and children. The total number of electors residing in the territory is 0 (zero).

The purpose of the annexation is to make Village of Jackson services available to the territory for development consistent with the Village of Jackson's 2009 Comprehensive Plan. Those signing this petition request that the territory be zoned PUD (Planned Unit Development) simultaneously with the annexation.

Signature of Petitioner(s) and Electors	Date of Signing	Owner	Elector	Address
Morning Meadows, LLC By: <u>William W. Carity</u> William W. Carity, Owner	<u>8-19-19</u>	X		12720 W North Ave, Suite 4 Brookfield, WI 53005

EXHIBIT A



R.A. Smith, Inc.
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000 | rasmith.com

MORNING MEADOWS, LLC VILLAGE OF JACKSON ANNEXATION

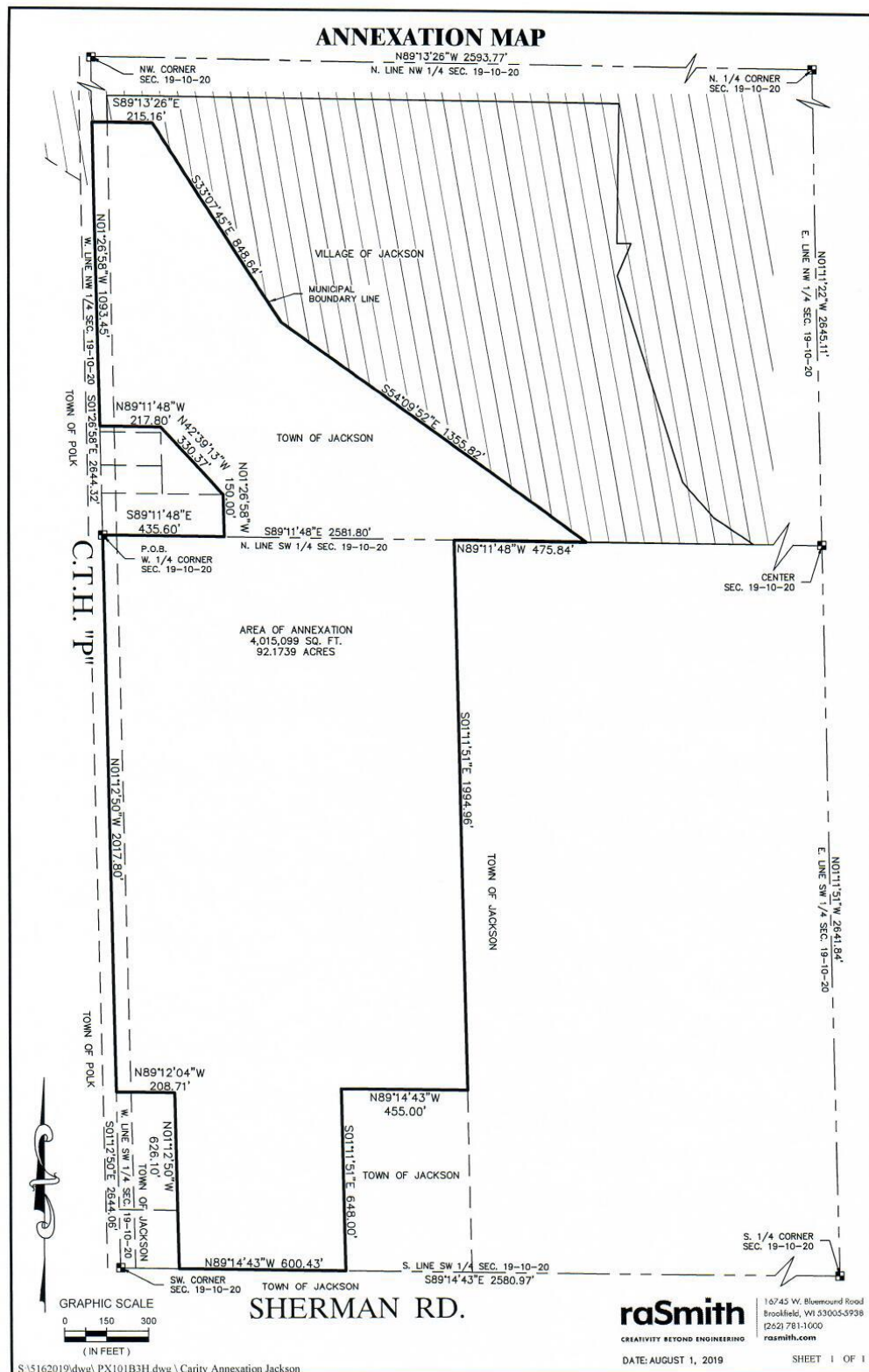
Part the Northwest 1/4 and Southwest 1/4 of Section 19, Township 10 North, Range 20 East, in the Town of Jackson, Washington County, Wisconsin, bounded and described as follows:

Beginning at the West 1/4 Corner of said Section 19; thence South 89° 11' 48" East along the North line of the Southwest 1/4 of said Section 19 for a distance of 435.60 feet to a point; thence North 01° 26' 58" West 150.00 feet to a point; thence North 42° 39' 13" West 330.37 feet to a point; thence North 89° 11' 48" West 217.80 feet to a point on the West line of the Northwest 1/4 of said Section 19; thence North 01° 26' 58" West along aforesaid West line 1093.45 feet to the Corporate Limits of the Village of Jackson; thence South 89° 13' 26" East along said Corporate Limit 215.16 feet to a point; thence South 33° 07' 45" East along said Corporate Limit 848.64 feet to a point; thence South 54° 09' 52" East along said Corporate Limit 1355.82 feet to a point on the aforesaid North line; thence North 89° 11' 48" West along said North line 475.84 feet to a point; thence South 01° 11' 51" East 1994.96 feet to a point; thence North 89° 14' 43" West 455.00 feet to a point; thence South 01° 11' 51" East 648.00 feet to a point on the South line of the Southwest 1/4 of said Section 19; thence North 89° 14' 43" West along said South line 600.43 feet to a point; thence North 01° 12' 50" West 626.10 feet to a point; thence North 89° 12' 04" West 208.71 feet to a point on the aforesaid West line; thence North 01° 12' 50" West along said West line 2017.80 feet to the Point of Beginning.

Said land contains 4,015,099 Square Feet or 92.1739 acres.

Date: August 1, 2019
Project No.: 162019
Prepared by: John P. Casucci, PLS

EXHIBIT B



RESOLUTION #19-26

A RESOLUTION TO PURSUE DEVELOPMENT OF A JOINT PUBLIC LIBRARY WITH WEST BEND COMMUNITY MEMORIAL LIBRARY

WHEREAS, the purpose of the public library system law is to make quality library resources and services readily available to all citizens of the State of Wisconsin and to promote the development and improvement of public libraries in order to encourage the most effective use of library resources in the state; and

WHEREAS, in 2020, Washington County will be required to subsidize other counties' libraries in the amount of \$160,989 for unserved residents, due to 2005 Act 420; and

WHEREAS, such subsidies result in many residents paying for out-of-county libraries they do not utilize, while Washington County libraries' resources are cut; and

WHEREAS, Chapter 43 of the Wisconsin Statutes allows counties and municipalities to create joint libraries to serve the entire population; and

WHEREAS, joint libraries could reduce Washington County library levy dollars from leaving the county, and improve services to Washington County residents;

NOW, THEREFORE, BE IT RESOLVED by the Village Board that the Village of Jackson pursues the development of a Joint Public Library with the City of West Bend, town of West Bend, town of Barton, town of Trenton, town of Jackson, and Village of Newburg.

BE IT FURTHER RESOLVED that the Village Board seeks approval from the Washington County Board and Washington County Library Services Board to create a Joint Public Library.

BE IT FURTHER RESOLVED that the Village Board requests an opinion of the Department of Public Instruction on the feasibility and desirability of establishing a Joint Public Library.

BE IT FURTHER RESOLVED that a copy of this resolution be sent to the Washington County Clerk, each clerk of the participating municipality for the development of the proposed Joint Library, and the Department of Public Instruction Division for Libraries and Technology.

Introduced by:_____

Seconded by:_____

Vote:_____Aye _____ Nay

Passed and Approved:_____

Michael E. Schwab – Village President

Attest:_____
Jilline S. Dobratz – Village Clerk

Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

Village Official

Date

AGREEMENT

This Agreement made and entered into by the **VILLAGE OF SLINGER**, a municipal corporation, **VILLAGE OF SLINGER POLICE DEPARTMENT**, (Slinger Police Department), **VILLAGE OF JACKSON**, a municipal corporation, and the **VILLAGE OF JACKSON POLICE DEPARTMENT**, (Jackson Police Department).

RECITALS

WHEREAS, the undersigned public law enforcement agencies are charged with the duty of enforcing the law and protecting their citizens from illegal activity; and,

WHEREAS, the undersigned public law enforcement agencies recognize that the jurisdiction and authority of each is limited and that such limitations are detrimental in combating crime within the agencies' jurisdiction; and,

WHEREAS, the undersigned public law enforcement agencies recognize that the problem can be most effectively combated by the pooling of their resources in the joint exercise of their respective authority; and,

WHEREAS, the Slinger Police Department and the Jackson Police Department are Wisconsin law enforcement agencies located within close proximity to each other; and,

WHEREAS, in the absence of this agreement the efforts of the Slinger Police Department and the Jackson Police Department to combat crime within the respective jurisdictions are occasionally hampered by jurisdictional limitations inherent in the separate sovereignty of the Village of Slinger and the Village of Jackson;

NOW, THEREFORE, the Village of Slinger, the Slinger Police Department, the Village of Jackson, and the Jackson Police Department hereby agree as follows:

1. **Authority:** The parties enter into this agreement in accordance with the authority vested in them by Section 66.0301 and 66.0313 of the Wisconsin Statutes.
2. **Purpose:** The purpose of this agreement is to establish the jurisdictional authority and operational guidelines for the participating agencies.
3. **Arrest Powers:** Subject to the notification requirements set forth below in section (4), Jackson and Slinger police officers shall have all police powers and authority, including power to arrest, when called to each other's jurisdiction for mutual aid.

In addition, the participating agencies may conduct other official business or provide emergency assistance as requested by the home agency.

It is understood that persons arrested by either party while within the jurisdiction of the other shall be turned over to the home agency as soon as possible following the arrest. This agreement does not authorize covert or overt investigations outside of a law enforcement

officers' home jurisdiction, unless such investigations are conducted with the mutual consent of both parties to this agreement. This agreement does not interfere with the arrest authority vested to law enforcement officers in fresh pursuit within the meaning of Section 175.40(2).

4. **Notification:** Each agency shall notify the other before either agency does any of the following within the borders of the other agency's jurisdiction;
 - a. Conducts follow-up investigations
 - b. Make arrests
 - c. Conducts training

Unless exigent circumstances exist, neither party shall make an arrest within the borders of the agency's jurisdiction unless the home agency has been notified and has authorized such arrest. Notification procedures shall be established by the parties to this agreement for the purposes of paragraphs three and four of the agreement (a copy of which is attached hereto and made part of by reference as though fully set forth herein).

5. **Term:** This agreement shall remain in force until one of the participating agencies requests that it be terminated. Notice of termination shall be given in accordance with paragraph 11 below.
6. **Benefits:** The parties hereto waive the provisions of section 66.0513(2), Wis. Stats., as to Requests for Assistance under this Agreement. Law enforcement officers acting under this Agreement shall continue to be covered by their home agency for purposes of compensation, Workers' Compensation, unemployment compensation, benefits under Chapter 40 of the Wisconsin Statutes and other employee benefits, and civil liability, and shall be considered while so acting to be in the ordinary course of their employment.
7. **Immunities:** Any law enforcement officer acting under this agreement shall be subject to such immunities from liability or limitations on liability to the same extent as if the officer were an officer of the requesting agency.
8. **Liability:** Subject to the exceptions set forth in section 66.3013, Wis. Stats., any law enforcement officer acting under this agreement shall be considered an employee of the officer's home agency regardless of the supervision control of the officer's actions while within or en route to the requesting agency's jurisdiction.
9. **Operational Procedures:** The following operational procedures shall be used in connection with the activities pursuant to this agreement:
 - a. **Supervision:** When responding to requests for assistance the responding officers shall be under the operational control of the requesting agencies supervisor or in the absence of a supervisor, the most senior full-time officer on duty.

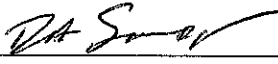
- b. Reports: Incident and/or supplement reports shall be required whenever:
 - Emergency assistance is provided
 - An arrest is made
 - Accidents occur (motor vehicle, personal injury and/or property damage).
 - Use of Force techniques or applications are used
 - c. Staffing Requirements: All officers that may be assigned tasks pursuant to this agreement shall be sworn law enforcement officers of their respective law enforcement agencies. All officers acting pursuant to this agreement shall adhere to all laws of the State of Wisconsin and the United States of America. All officers shall comply with their respective agency policies/procedures.
 - d. Communications: Pursuant to the provisions of this agreement, radio communications shall be established between the participating agencies. Whenever possible, communications should be established on frequencies that are accessible to participating officers. These frequencies may include but are not limited to:
 - MUNI_DSP
 - WCSD_DSP
 - e. Expedited Response: When a Slinger or Jackson police officer calls for emergency assistance, an officer from the other jurisdiction shall notify the dispatcher that he/she is responding, and proceed to the requesting officer's location. While doing so, the officer shall monitor the radio as the dispatcher checks the location of sheriff's squads. In the event that a sheriff's deputy is closer to the officer needing help, the responding officer shall terminate the response, notify the dispatcher, and return to the home jurisdiction. The officer may continue to respond if he or she has reason to believe that more help is needed at the scene, based on what is known at the time.
10. **Misconduct/Disciplinary Procedures:** In the event that an agency receives a complaint alleging that a law enforcement officer from either police department acting under authority of this agreement engages in misconduct, the following procedure shall be used:
- a. The agency that receives or initiates a complaint shall immediately notify the officer's employing agency of the allegations of the complaint.
 - b. If the complaint alleges conduct of a criminal nature, a criminal investigation may be requested by the agency having territorial jurisdiction. The parties may agree to have an outside agency conduct the investigation.
 - c. If the complaint alleges that the law enforcement officer committed a violation of policy or procedure, the officer's employing agency shall conduct an investigation.
11. **Termination and Modification of Agreement:** Either party may terminate or modify this agreement by giving the other party 30 days written notice of that party's intent to terminate or modify the contract. The notice shall state the effective date of termination of

modification and shall be mailed to the other party at least 30 days prior to the date of termination. No modification shall be effective unless the modification is made in writing, and signed by both parties, with the same formality as the mutual agreement.

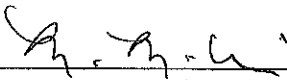
12. **Requests for Assistance:** The following shall be procedure for requesting emergency assistance, specialty unit response, and large-scale operations:
- a. **Requesting Emergency Assistance:** Requests for emergency assistance are required to be authorized by an agency supervisor, pursuant to the policies/procedures of the requesting agency. In the case where there are no supervisory personnel available, such requests must then be authorized by the most senior officer on duty.
 - b. **Large Scale Operations:** Whenever time permits, requests for mutual assistance for a large-scale incident, operation or event shall be made in writing. These requests should be forwarded to the Chief of Police of the providing agency.
13. **Insurance Coverage:** Upon execution of this Agreement, the parties shall exchange evidence of their insurance coverage against claims of liability brought by third parties against one or both of the parties. The respective amounts of coverage shall be the same or similar and each party must agree to the insurance coverage of the other. Each party will name the other as an additional insured and all policies of insurance will be kept in full force and effect so long as this Agreement is in effect.

Dated this 4th day of SEPTEMBER, 2019.

**VILLAGE OF SLINGER
POLICE DEPARTMENT**

By: 
Dean A. Schmidt/Chief of Police

By: 
Russell Brandt/Village President

By: 
Margaret Wilber/Village Administrator

**VILLAGE OF JACKSON
POLICE DEPARTMENT**

By: _____
Ryan Vossekui/Chief of Police

By: _____
Michael Schwab/Village President

By: _____
John Walther/Village Administrator