

AGENDA
PLAN COMMISSION MEETING
Thursday, April 28, 2022 at 7:00 p.m.
Jackson Municipal Complex
Village Board Room
N168W19851 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of Minutes for the Plan Commission Meeting of March 31, 2022
3. Conditional Use Permit – Request to exceed the maximum number of dogs per residence – N162W19241 Cedar Run Drive – David Starich
4. Conditional Use Amendment – Signage – N160W19170 Sherman Road – Sigma Engineering
5. Certified Survey Map – Tax Parcels: V3_011400A, V3_009600B – For property located at N168W20733-53 Main Street
6. Conditional Use Amendment - PUD 03 – Additional Storage Use and Tractor/Trailer Parking – Tax Parcel: V3_047700K – For property located at N168W19490 Main Street - KARM Properties
7. Phase I Development Agreement - Maple Fields Subdivision - Neumann Developments, Inc.
8. Draft Ordinance amending public hearing notification requirements for rezoning, conditional use, planned unit development, and street easement/vacation requests
9. Citizens to Address the Plan Commission
10. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

**DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday, March 31, 2022 at 7:00 p.m.
Jackson Municipal Complex
Village Board Room
N168W19851 Main Street
Jackson, WI 53037**

1. Call to Order and Roll Call

President Schwab called the meeting to order at 7:00 p.m.

Members Present: Tr. Emmrich, Tr. Kruepke, Dan Reik and Jon Weil

Excused Absent: Jon Molkentin

Village Board Member Present: Tr. Heckendorf

Staff Present: Building Inspector Collin Johnson, Administrator Jen Keller and Clerk Jilline Dobratz

Also Present: Kurt Henning of H & R Construction, Mark Hertzfeldt of Design 2 Construct, Dan Schaefer of Sign Works, Walter and Renee Miller of Miller Monument and Patrick Walia

2. Approval of Minutes for the Plan Commission Meeting of February 24, 2022

Motion by Trustee Emmrich, second by Jon Weil to approve the Plan Commission minutes of February 24, 2022.

Vote: 5 ayes, 0 nays. Motion carried.

3. Conditional Use – Request to exceed the maximum size for an accessory structure – Shed – 3128 Sherman Parc Circle – Patrick Walia

Patrick Walia was present to answer any questions.

Motion by Trustee Emmrich, second by Trustee Kruepke to recommend to the Village Board the approval of Conditional Use request to exceed the maximum size for an accessory structure at 3128 Sherman Parc Circle.

Vote: 5 ayes, 0 nays. Motion carried.

4. Conditional Use Amendment – Sign – W225N16712 Cedar Park Court – St. Vincent de Paul

Dan Schaefer of Sign Works was present to answer any questions.

Motion by Jon Weil, second by Trustee Emmrich to recommend to the Village Board the approval of a Conditional Use Amendment for the installation of a sign at W225N1712 Cedar Park Court for a sign 40 square feet in area and to allow the sign to exceed the 12-inch maximum projection from the building façade.

Vote: 5 ayes, 0 nays. Motion carried.

5. Two-Lot Certified Survey Map (CSM) for properties identified by Tax Key: V3_046500D9999 – DFN Properties

Kurt Henning from H & R Construction provided information on future planned residential and commercial uses of the property.

Administrator Keller gave information on the TID as it is currently planned for commercial use. It was also stated the TID plan can be amended by the Joint Review Board following Village of Jackson Village Board and Plan Commission approval. The cost estimate for Ehlers to oversee the process of amending the TID 7 plan is \$15,000.00.

Motion by President Schwab, second by Trustee Emmrich to recommend to the Village Board the approval of the Two-Lot Certified Survey Map (CSM) for properties identified by Tax Key: V3_046500D9999 – DFN Properties based on the general and specific conditions listed below.

General Conditions:

1. Staff and governmental approval. Prior to the Village signing the final CSM, the commencement of any construction of any improvement, whether public or private, or any site development, the developer shall satisfy all comments, conditions and concerns of the Village Engineer, the Village Administrator, and all reviewing, objecting and approving bodies, including, but not limited to, the Wisconsin Department of Administration per ch. 236, Wis. Stats. and ch. Comm. 85, Wisconsin Administrative Code; and Wisconsin Department of Administration per ch. 236, Wis. Stats.
2. Professional fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type, that the Village incurs in connection with this development, including the cost of professional services incurred by the Village (including engineering, legal, planning, and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional approval due to a violation of these conditions.
3. Payment of charges. Any unpaid bills owed to the Village by the subject property owner or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village; shall be placed upon the tax roll for the subject property if not paid within 30 days of the billing by the Village, pursuant to Section 66.0627, Wis. Stats. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Village, including possible cause for termination of the conditional approval.
4. Surveyor's responsibility. Although the Village of Jackson has reviewed the subdivision plat/certified survey map, the surveyor is entirely responsible for the thoroughness and accuracy of the survey and related matters and compliance with all state and local codes, ordinances, and procedures.

Specific Conditions:

1. Prior to recording of the final CSM, the Village Board, Joint Review Board and WI Department of Administration must approve an amendment to TID #7.
2. Prior to recording of the final CSM, the Sanitary Sewer and Watermain

Easements noted on page 1 shall be amended to reflect a 30' width.

3. Prior to recording of the final CSM, the signature blocks on page 4 shall be amended to reflect Administrator Jen Keller.
4. The surveyor's seal, signature, and date must appear on all sheets of the final CSM. The same revision date must also be noted on each sheet.

Vote: 5 ayes, 0 nays. Motion carried.

6. Planned Unit Development and Site Plan Review – Establishing PUD-02 – Tax Parcels: V3_011400A and V3_009600B – Walter & Renee Miller, Miller Monument Co., Inc.

Walter and Renee Miller were present to answer any questions.

Planned Unit Development Action

Motion by President Schwab, second by Trustee Emmrich to recommend to the Village Board the approval of the Planned Unit Development – Establishing PUD-02 – Tax Parcels: V3_011400A and V3_009600B – Walter & Renee Miller, Miller Monument Co., Inc. as set forth in the draft ordinance dated March 22, 2022.

Vote: 5 ayes, 0 nays. Motion carried.

Site Plan Action

Motion by President Schwab, second by Trustee Emmrich to recommend to the Village Board approval of the site plan subject to the following terms and conditions:

1. Any future alterations to the site, including ground mounted signage, shall require the applicant to amend and seek approval of a new site plan.
2. On-site parking is limited to licensee, registered, and operable vehicles.
3. Outdoor storage of equipment or product is prohibited.
4. Include the following notation on the site plan:
 - The Village of Jackson has adopted regulations in the Village's zoning regulations (Section 48-153) relating to the use and development of the subject property.
 - Any revisions to this site plan set are subject to Village review and approval if deemed necessary by the Village Administrator.
5. Prior to any occupancy the property owner shall obtain all necessary permits from the Building Inspector and Fire Department.
6. All necessary permits shall be obtained within 9 months of site and PUD approvals.
7. Property owner shall apply for an occupancy permit within one year of the date of issuance for any building permits.
8. A Certified Survey Map is created and approved combining the two parcels. The CSM must be approved and recorded at the Register of Deeds office

within 9 months of date of approval for the Site Plan.

Vote: 5 ayes, 0 nays. Motion carried.

Trustee Kruepke left the dais at 7:21 p.m.

7. Planned Unit Development Amendment and Site Plan Review – Establishing PUD-03 – Tax Parcel: V3_047700K, N168W19490 Main Street – KARM Properties

Mark Hertzfeldt from Design 2 Construct was present and gave information on the project including; building placement, vegetative buffer, eliminating a parking lot and facility usage.

Planned Unit Development Action

Motion by President Schwab, second by Jon Weil to recommend to the Village Board the approve the amendment of the Planned Unit Development – Establishing PUD-03 – Tax Parcel: V3_047700K, N168W19490 Main Street – KARM Properties. Set forth in the draft Ordinance on March 22, 2022.

Administrator Keller gave information on a Conditional Use Permit which would need to be applied for separately and Planned Unit Development Amendment approvals including public notices.

Vote: 4 ayes, 0 nays. Motion carried.

Site Plan Action

Motion by President Schwab, second by Dan Reik to recommend to the Village Board approval of the site plan subject to the following terms and conditions including sub points:

1. Access to Storage Units shall be limited to hours of operation as included in the application, 5AM-12AM.
2. Any permitted overnight parking of tractor/trailers be limited to the five parking stalls on the north end of the property and prohibit overnight idling of tractor/trailers between the hours of 9PM and 7AM consistent with the Village's regulations for loud and unnecessary noise (Section 30-4).
3. Outdoor storage of equipment of any kind is prohibited.
4. Include the following notation on the site plan:
 - The Village of Jackson has adopted regulations in the Village's zoning regulations (Section 48-154) relating to the use and development of the subject property.
 - Any revisions to this site plan set are subject to Village review and approval if deemed necessary by the Village Administrator
5. All necessary permits shall be obtained with the Village Building Inspector and Engineer prior to work commencing on the construction of the storage facility and, if applicable, sidewalk.

Vote: 3 ayes, 1 nays (Trustee Emmrich). Motion carried.

Trustee Kruepke joined the dais at 7:35 p.m.

8. Public notification practices for re-zoning, conditional use, planned unit development and street easement/vacation – Discussion Only

Building Inspector Johnson and Administrator Keller gave background information on processes and costs. Discussion included the Staff recommendation to adhere practices to State Statute and local ordinances, which would reduce the number of notices directly mailed to nearby property owners for PUD and rezoning applications.

9. Citizens to Address the Plan Commission

Kurt Henning, Stonewall Drive, spoke on Agenda Item #7. Mr. Henning inquired on details of the proposal and site specifications.

10. Adjourn

Motion by President Schwab second by Trustee Emmrich to adjourn.

Vote: 5 ayes, 0 nays. Meeting adjourned at 7:49 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCPC*
Village Clerk

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

- ☐ COMMERCIAL ☐ INDUSTRIAL ☒ RESIDENTIAL ☐ OTHER _____
- ☐ CONDITIONAL USE ☐ PLANNED UNIT DEVELOPMENT ☐ CERTIFIED SURVEY MAP
- ☐ New ☐ New ☐ CONCEPT PLAN
- ☐ Amendment ☐ Amendment
- ☐ Special Use ☐ Special Use ☐ OTHER _____
- (For existing Cond. Use ONLY) (For existing PUD ONLY)

Property Address: N162 W19241 CEDAR RUN DR. Unit: _____ Jackson, WI

Parcel #: _____ Lot Size: _____ sq. ft. Building Area: _____ sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☐ PUD ☐ Other _____ Floodplain: Y / N

APPLICANT INFORMATION

Name(s): DAVID J. STARICH

Mailing Address: N162 W19241 CEDAR RUN DR. State WI Zip 53037

Office: (____) _____ Cell: (262) 674-4103 Fax: (____) _____

Email: _____

BUSINESS INFORMATION (If New Business)

Legal Business Name: _____

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): COONEY REALTY GROUP (RAY VANDE MOORE)

Address: PO BOX 237 NASHOTAH State WI Zip 53058

Office: (____) _____ Cell: (262) 719-7044 Fax: (____) _____

Email: _____

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: _____

Primary Contact: _____

Address: _____ State _____ Zip _____

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: REQUESTING TO
KEEP 3RD DOG FOR PROTECTION FROM COYOTES
IN AND AROUND AREA

Provide a brief overview of proposed use(s) of entire property and/or lease space: _____

Hours of Operation: _____

Provide a brief overview of proposed daily on-site operations: _____

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: _____

Describe all businesses, properties and other entities located adjacent to the proposed use: TOWN HOMES -
CONDOS & FARM

Describe any proposed, development, on-site improvements or other construction/remodeling activities: _____

Describe any proposed grading, and/or stormwater management plan: _____

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____

Describe any proposed on-site security measures including site lighting: _____

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): _____

Describe the projected traffic circulation and impacts: _____

List all setbacks from rights-of-way and property lines and height limitations: _____

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: _____

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?
☐ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: _____

If construction is proposed, describe proposed exterior building materials (type, color, etc.): _____

Describe any site specific features/constraints, etc.: _____

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: _____

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): _____

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: _____

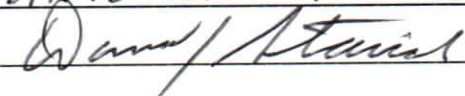
Projected Sewer/Wastewater Usage: _____ gal/year

Projected Water Usage: _____ gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print): DAVID J. STARICH

Applicant Signature: 

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: 03-27-2022

You MUST sign and date this Application!

SUBMIT TO: Village of Jackson – Village Hall (Checks shall be made payable to Village of Jackson)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For all **general questions** related to completing form or questions related to Village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For questions concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

Date Received: 3/30/22
Amount: \$ 175.00
Payment Type: CH / CC / CASH
Check/Rcpt. #: 245634 / 255666
Received By: [Signature]

VILLAGE OF JACKSON

N168W19851 MAIN ST

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 255634

Date: 3/28/2022

Cash

RECEIVED
FROM DAVID STARICH

\$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	150.00
	THIRD DOG APPLICATION/PLAN COMMISSION	

TOTAL RECEIVED

150.00

Receipt Memo: EXTRA DOG/PLAN COMMISSION/CASH

VILLAGE OF JACKSON

N168W19851 MAIN ST

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 255666

Date: 3/31/2022

Cash

RECEIVED
FROM STARICH

\$25.00

Type of Payment**Description****Amount**

Accounting

PLANNING / ZONING FEES

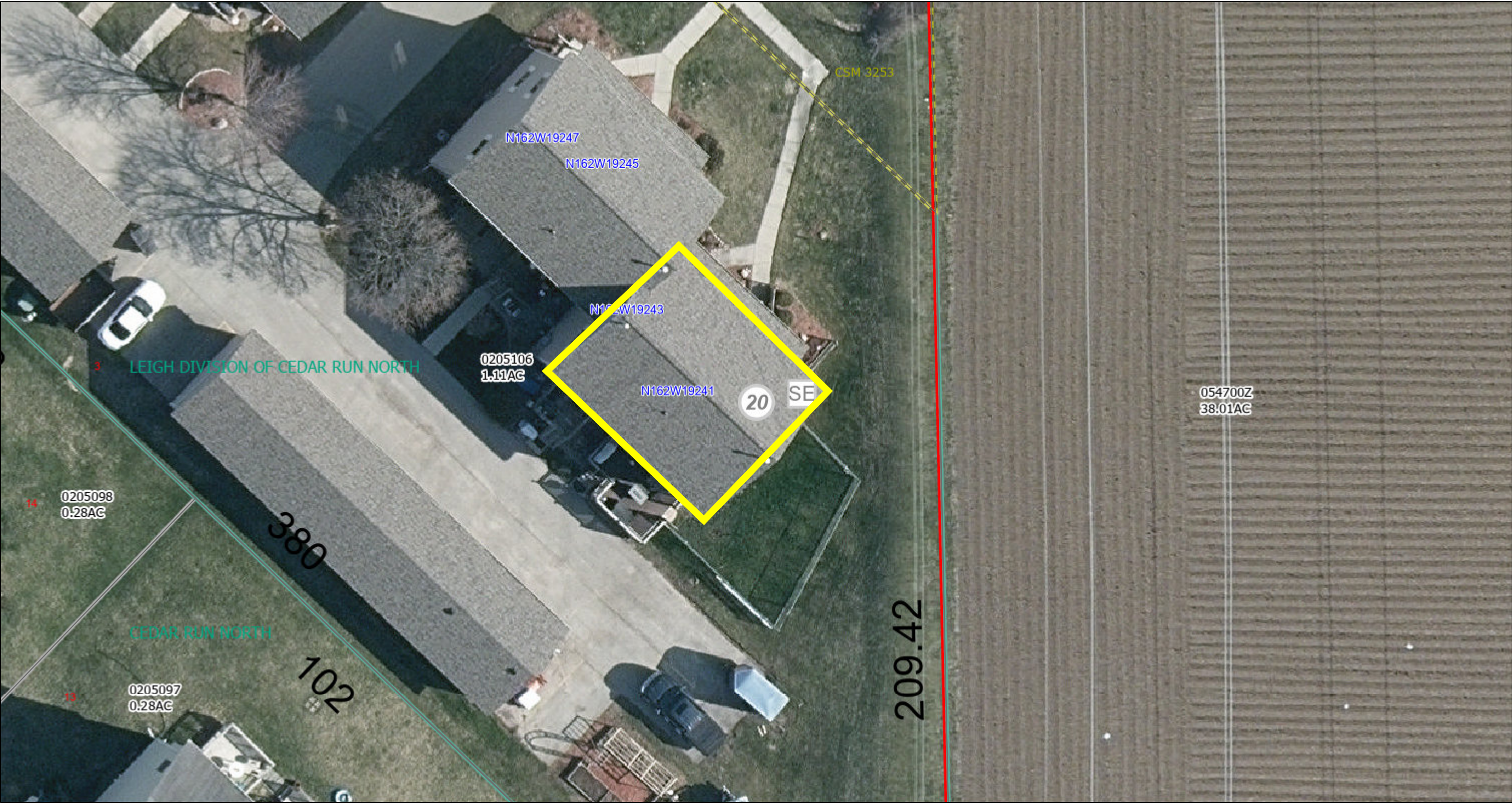
25.00

ADDITIONAL DOG

TOTAL RECEIVED25.00

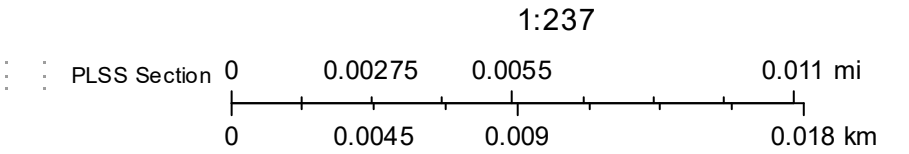
Receipt Memo: ADD FOR DOG/CASH

N162 W19241 Cedar Run Dr.



3/30/2022, 1:36:11 PM

Lines	Road Centerline STH, CTH	Subdivision Name	Local Road Labels	Plat
Override 1	On/Off Ramp	Condominium Name	Township Road	Unknown
Current Parcel	State Highway	Certified Survey Number	City/Village Street	Certified Survey Map
Railroad Centerlines	County Highway	Lot Number	Private Street	Condominium
Road Centerline I, USH	Address Point	Landhook	Municipality	Assessor Plat; Cemetery Plat; Subdivision
Interstate Highway, I-41	Parcel Taxkey & Acreage	Meander Line	Retired Parcel	Lot
US Highway, FOND DU LAC AV; US Highway, HY 45	Leader Lines	PLSS Monument	Right-of-Way	PLSS Quarter



STAFF MEMO

Village of Jackson Plan Commission

Meeting Date: April 28, 2022

Agenda Item: Item #3

To: Mike Schwab, Village President
Village of Jackson Plan Commission
Jen Keller, Village Administrator

From: Collin Johnson, Director of Inspections

Subject: Conditional Use Application from David Starich, N162 W19241 Cedar Run Drive – Request to exceed maximum number of dogs per residence.

Description:

Mr. Starich has lived at this residence since 2007 and indicated that he previously had three dogs for several years until the oldest one passed away March 2020. In June of 2020, Mr. Starich obtained a German Shepard/Husky puppy again increasing the number of dogs to three. Mr. Starich was under the impression that a dog was not required to be licensed until it reached 1-year in age. Recently, Mr. Starich attempted to obtain annual licenses for all three of the dogs he currently owns and was informed that the Village restricts the number of at any one residence to a maximum of two (2).

Mr. Starich is now requesting a Conditional Use Permit to allow him to keep a third dog at his residence on Cedar Run Drive. Mr Starich is a tenant of Cooney Realty Group and is also employed by them. He is the on-site manager and caretaker of the property. In 2015, Mr. Starich constructed a 4-foot-high chain link fence along the south side of his home. Despite the fence, Mr. Starich claims that the third and larger dogs is needed to protect the smaller dogs from coyote attacks.

Village Ordinance Section 6-53(a) states: *Dog and cat licenses.*

(a) Required, fees. It shall be unlawful for any person in the village to own, harbor, or keep any cat or dog more than five months of age that has not been licensed by the village. License fees shall be as provided in the village fee schedule.

Village Ordinance Section 6-54 states: *Maximum number of cats and dogs per residence.*

No more than two dogs and two cats may be licensed for any one residence. Exceptions may be requested by application to the plan commission and village board for a conditional use permit or PUD amendment.

Site Plan: See aerial photo



Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision following a public hearing.

Notice Requirements:

Aside from posting on the agenda, notification of all opposite and abutting property owners within 200-feet is required as well as a Class II Legal Notice.

Potential Motion:

Motion to approve/deny the Conditional Use Permit for Mr. Starich to keep up to three dogs. If approved, the permit shall expire at such a time that any one of the current dogs passes away.

Attachments:

1. Application materials

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

☐ COMMERCIAL ☒ INDUSTRIAL ☐ RESIDENTIAL ☐ OTHER _____

☒ CONDITIONAL USE ☐ PLANNED UNIT DEVELOPMENT ☐ CERTIFIED SURVEY MAP
☐ New ☐ New ☐ CONCEPT PLAN
☒ Amendment ☐ Amendment
☐ Special Use ☐ Special Use ☐ OTHER _____
(For existing Cond. Use ONLY) (For existing PUD ONLY)

Property Address: N160 W19170 Sherman Rd Unit: _____ Jackson, WI

Parcel #: _____ Lot Size: _____ sq. ft. Building Area: _____ sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☒ PUD ☐ Other _____ Floodplain: Y/N ☒

APPLICANT INFORMATION

Name(s): Kathy Tiesling (Creative Sign Company)

Mailing Address: 505 Lawrence Dr. De Pere State WI Zip 54115

Office: (920) 336-8900 Cell: (920) 676-5773 Fax: (____)

Email: Kathy@creative signcompany.com

BUSINESS INFORMATION (If New Business)

Legal Business Name: Sigma Engineered Solutions

D/B/A: _____ FEIN #: _____

Mailing Address: N160 W19170 Sherman Rd Jackson State WI Zip 53037

Office: (920) 398-2361 Cell: (262) 302-9034 Fax: (____)

Email: phoppe@avalon-castings.com

Website: www.avalon-castings.com

PROPERTY OWNER INFORMATION

Name(s): Tony TrajKovich

Address: _____ State _____ Zip _____

Office: (262) 215-5152 Cell: (262) 215-5152 Fax: (____)

Email: tonytrajKovich@yahoo.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: Creative Sign Company

Primary Contact: Kathy Tiesling

Address: 505 Lawrence Dr. De Pere State WI Zip 54115

Office: (920) 336-8900 Cell: (920) 676-5773 Fax: (____)

Email: Kathy@creative signcompany.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: Signage

Provide a brief overview of proposed use(s) of entire property and/or lease space: N/A

Hours of Operation: N/A

Provide a brief overview of proposed daily on-site operations: N/A

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: None

Describe all businesses, properties and other entities located adjacent to the proposed use: Sherman Parc -

Describe any proposed, development, on-site improvements or other construction/remodeling activities: (3) New signs non illuminated

Describe any proposed grading, and/or stormwater management plan: None

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: None

Describe any proposed on-site security measures including site lighting: None lit

Installers follow OSHA safety standards.

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): N/A

Describe the projected traffic circulation and impacts: None

List all setbacks from rights-of-way and property lines and height limitations: all signs to be setback 33' from Sherman Rd centerline.

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: State of WI installer # 241

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

☒ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: (1) non-illuminated aluminum D/F monument sign (2) Directional signs D/F aluminum

If construction is proposed, describe proposed exterior building materials (type, color, etc.): N/A

Describe any site-specific features/constraints, etc.: N/A

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: N/A

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): N/A

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: N/A

Projected Sewer/Wastewater Usage: _____ gal/year

Projected Water Usage: _____ gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print):

Kathleen Tiesling

Applicant Signature:

Kathleen A Tiesling

Co-Applicant Name (Print):

CO-Applicant Signature:

Date of Application:

3/16/2022

You MUST sign and date this Application!

SUBMIT TO:

Village of Jackson – Building Inspection Dept.

(Checks shall be made payable to Village of Jackson)

W194 N16660 Eagle Drive

PO BOX 637

Jackson, WI 53037

QUESTIONS?

Building Inspector:

For questions concerning building codes, zoning, or technical questions.

Phone:

(262) 677-9696

Email:

collin.johnson@villageofjacksonwi.gov

Village Clerk:

For all general questions concerning meeting dates, times, etc.

Phone:

(262) 677-9001 Ext. 213

Email:

jilline.dobratz@villageofjacksonwi.gov

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY	
Acct. #: 100-00-45730-000-00	
Date Received:	3-29-22
Amount: \$	175.00
Payment Type:	CH/CC/CASH
Check/Rcpt. #:	34425793
Received By:	<i>[Signature]</i>



AllPaid
7820 Innovation Boulevard Suite 250
Indianapolis, IN 46278
24hr. Customer Service #: 888-604-7888

Utilities/fees Payment Confirmation (Ref #: 34425793)

PLC: Village Of Jackson
A00048 N168 W19851 Main Street
Jackson, Wisconsin 53037
For: Utilities/fees

Date: 03/29/2022 17:06 EDT

TRANSACTION INFORMATION

Name: Yvonne Thomas

Transaction Reference #: 34425793

Utility Account #:

Transaction Date/Time: 03/29/2022 17:06 EDT

Building Permit #:

Parking Ticket #:

Tax Bill:

General: Plan Commission Application - Sigma

BILLING INFORMATION

Name:

Yvonne Thomas

Address:

505 Lawrence Drive

City, State Zip:

De Pere, WI 54115

Phone #:

(920)336-8900

Card #:

xxxx-xxxx-xxxx-8396

PAYMENT INFORMATION

Approval #:

08946G

Payment Amount:

\$175.00

Service Fee:

\$4.64

Total Amount:

\$179.64

The service fee is not refundable.

ATTENTION CARDHOLDER

If you have questions about the processing of your payment, please call AllPaid at 888-604-7888.

Thank you for using AllPaid



505 LAWRENCE DR, DE PERE, WI 54115
920.338.8900 CREATIVESIGNCOMPANY.COM

CLIENT: SIGMA ENGINEERED SOLUTIONS

LOCATION: 2206 SHERMAN RD, JACKSON, WI 53037

DRAWN BY: AMANDA S

SALESPERSON: KATHY T

DATE: 1/24/22

DESIGN #: D19533

PAGE: 1

REVISION LOG:	INTL	DATE	DESCRIPTION
	AS	2/1/22	OPTION B
	BV	02/16/2022	TM
	AS	3/14/22	NON-LIT NOTE

MONUMENT

QUANTITY: 1 D/F NON-LIT MONUMENT SIGN

CABINET: FABRICATED ALUM (16"D)

LIGHTING: NONE

FACES: ALUMINUM

GRAPHICS: DIGITAL PRINT, 1ST SURFACE

VINYL: PREMIUM WITH GLOSS LAM

POLE COVER: FABRICATED ALUMINUM (9"D)

MOUNTING: DIRECT EMBEDMENT

INSTRUCTION: PRODUCE & INSTALL MONUMENT
SIGN.

COLORS:

- ☒ P-1 BLACK
- ☐ C-2 WHITE
- ☐ C-3 PMS 7453 C LIGHT BLUE
- ☐ C-4 PMS 2758 C BLUE

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X

SIGNATURE

DATE

A LOCATION VIEW (AFTER)
1 SCALE: 1/4" = 1'



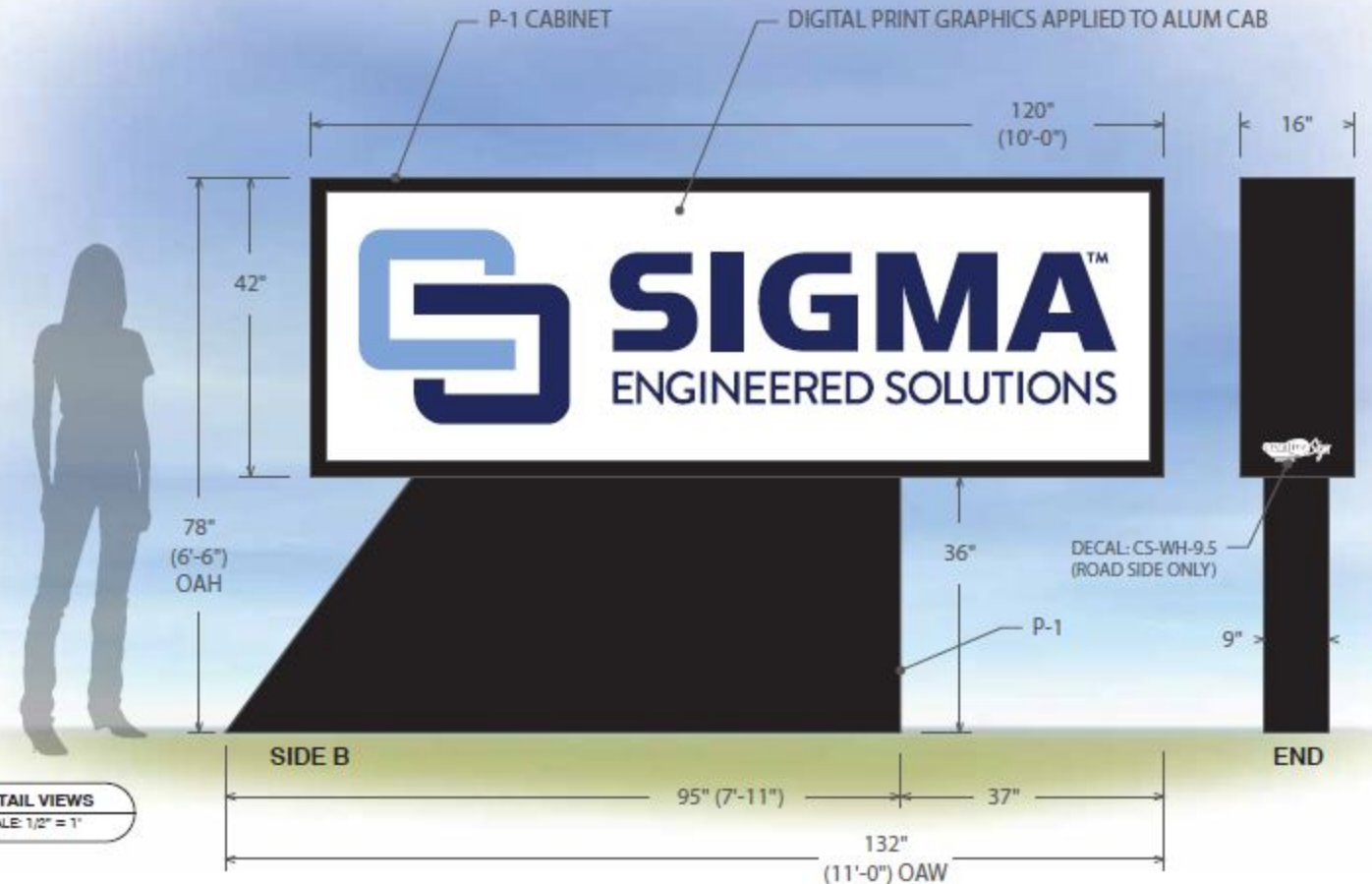
A EXISTING VIEW
2 N.T.S.



A NIGHT VIEW
3 N.T.S.

SIDE A

A DETAIL VIEWS
4 SCALE: 1/2" = 1'



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CONCEPTUAL DRAWING ONLY

All sizes and dimensions are illustrated for client conception of the project and are not to be understood as being exact size or exact scale. Renderings, including lighting effects, opacities, and coloration, are an approximation.

CUSTOMER RESPONSIBILITIES

Please review all drawing details closely, as Creative Sign will produce signs as approved drawing indicates. Some changes may occur based on production needs. While Creative Sign will make all efforts to correct any obvious spelling or grammatical errors, the customer is responsible for confirming that the above copy, including names and titles, appear as desired. Creative Sign will make every effort to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used.

CLIENT: SIGMA ENGINEERED SOLUTIONS

LOCATION: 2206 SHERMAN RD, JACKSON, WI 53037

DRAWN BY: AMANDA S

SALESPERSON: KATHY T

DATE: 3/16/22

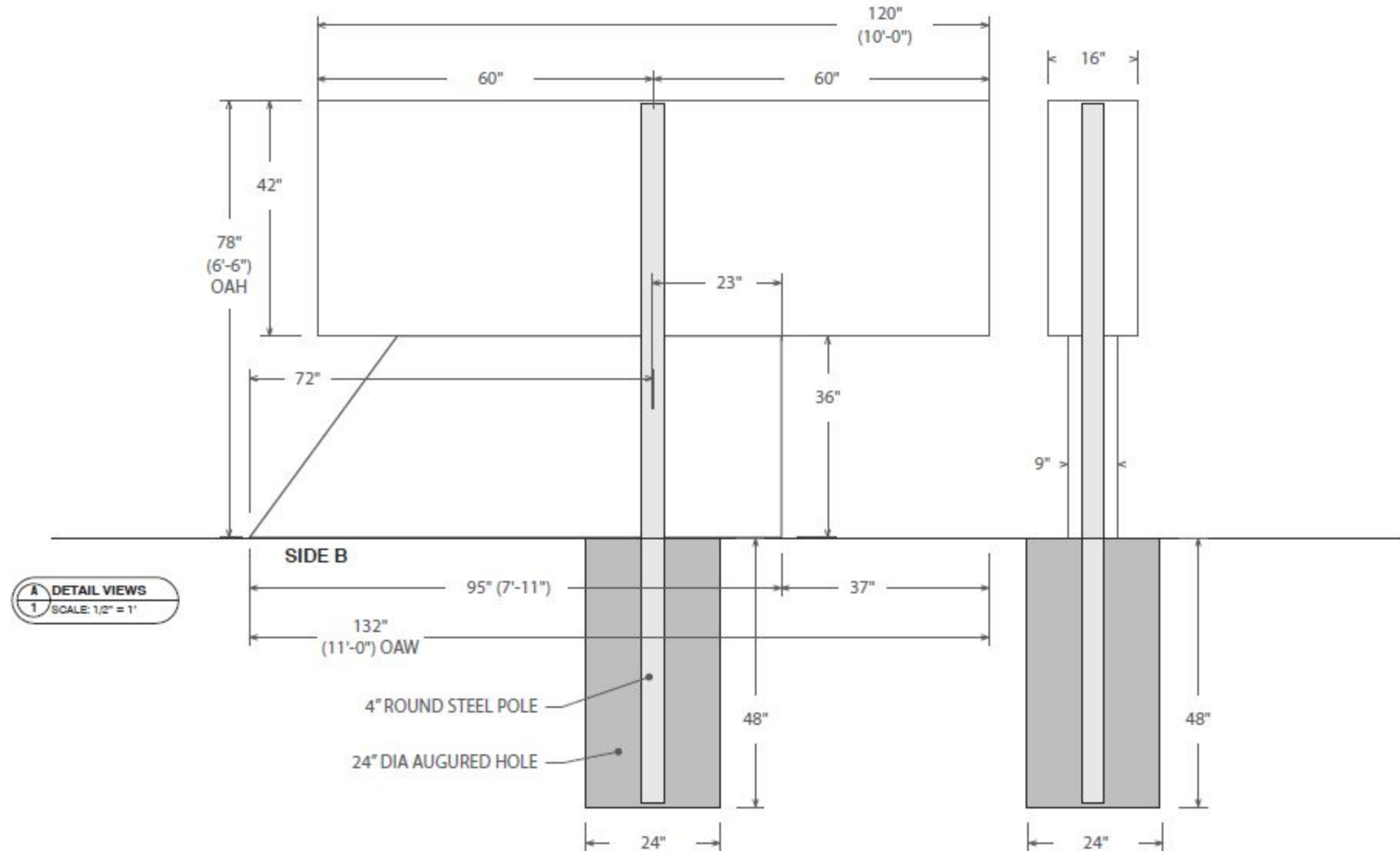
DESIGN #: D19533

PAGE: 1.1

REVISION LOG: INTL DATE DESCRIPTION

MONUMENT

SPECS: SEE PAGE 1 FOR DETAILS.



CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X

SIGNATURE

DATE

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505 LAWRENCE DR, DE PERE, WI 54115
920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: SIGMA ENGINEERED SOLUTIONS

LOCATION: 2206 SHERMAN RD, JACKSON, WI 53037

DRAWN BY: AMANDA S

SALESPERSON: KATHY T

DATE: 1/24/22

DESIGN #: D19533

PAGE: 2

REVISION LOG:	INTL	DATE	DESCRIPTION
	BV	02/16/2022	TM
	AS	03/16/2022	POLE DETAIL

DIRECTIONAL

QUANTITY: 1 D/F NON-LIT DIRECTIONAL SIGN

FACE: .090"D ALUM

GRAPHICS: DIGITAL PRINT & CUT VINYL

VINYL: WHITE REFLECTIVE WITH GLOSS LAM

SURFACE: 1ST SURFACE

FONT: FUTURA DEMIBOLD

POSTS/FRAME: 2" SQ ALUMINUM TUBE

INSTRUCTION: PRODUCE & INSTALL NEW SIGN
AS SHOWN.

COLORS:

- P-1 BLACK
- V-2 WHITE REFLECTIVE VINYL
- C-3 PMS 7453 C LIGHT BLUE
- C-4 PMS 2758 C BLUE

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X

SIGNATURE

DATE

A LOCATION VIEW (AFTER)
1 SCALE: 1/2" = 1'

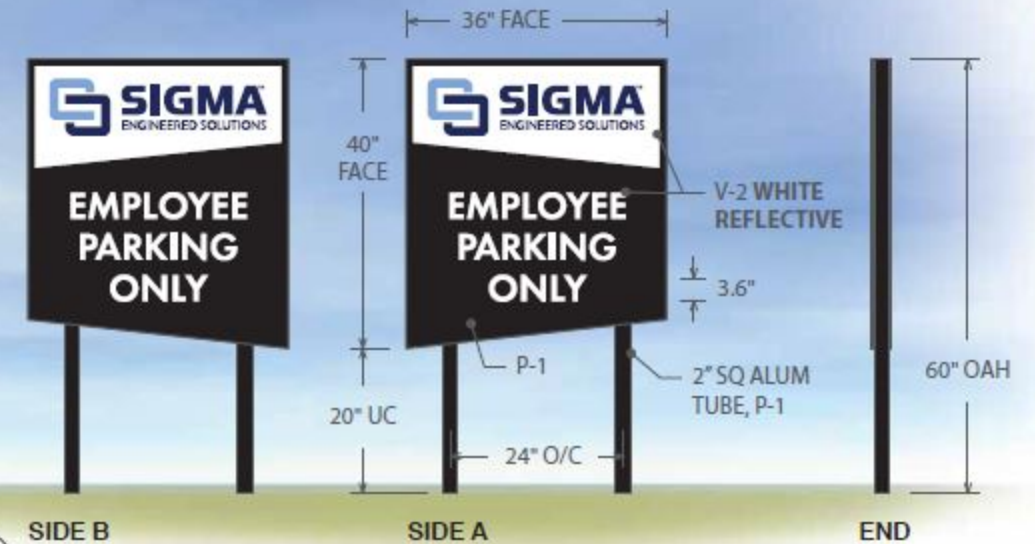


SIDE B



A EXISTING VIEW
2 N.T.S.

A DETAIL VIEWS
4 SCALE: 1/2" = 1'

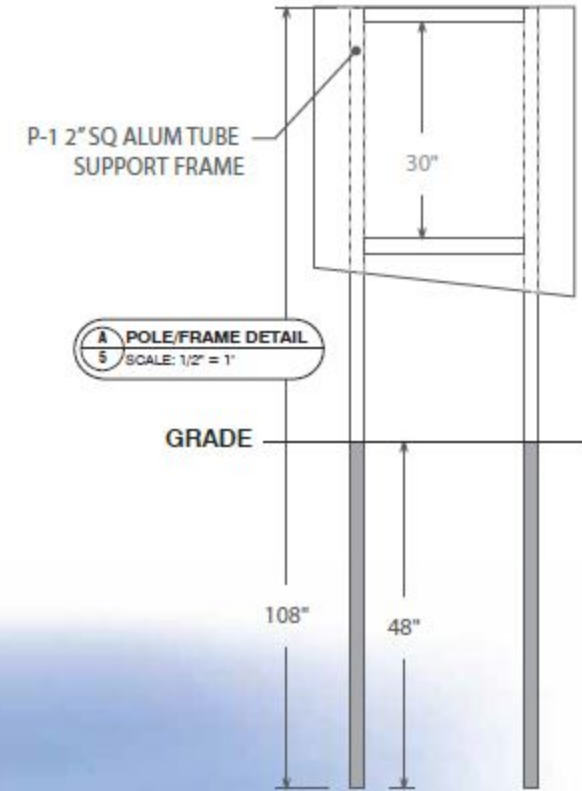


SIDE B

SIDE A

END

DIR-1: LOC-2
OPTION A



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505 LAWRENCE DR, DE PERE, WI 54115
920.338.8900 CREATIVESIGNCOMPANY.COM

CLIENT: SIGMA ENGINEERED SOLUTIONS

LOCATION: 2206 SHERMAN RD, JACKSON, WI 53037

DRAWN BY: AMANDA S

SALESPERSON: KATHY T

DATE: 1/24/22

DESIGN #: D19533

PAGE: 4

REVISION LOG: INTL DATE DESCRIPTION

BV 02/16/2022 TM

AS 03/16/2022 POLE DETAIL

DIRECTIONAL

QUANTITY: 1 D/F NON-LIT DIRECTIONAL SIGN

FACE: .090"D ALUM

GRAPHICS: DIGITAL PRINT & CUT VINYL

VINYL: WHITE REFLECTIVE WITH GLOSS LAM

SURFACE: 1ST SURFACE

FONT: FUTURA DEMIBOLD

POSTS/FRAME: 2" SQ ALUMINUM TUBE

INSTRUCTION: PRODUCE & INSTALL NEW SIGN
AS SHOWN.

COLORS:

■ P-1 BLACK

□ V-2 WHITE REFLECTIVE VINYL

■ C-3 PMS 7453 C LIGHT BLUE

■ C-4 PMS 2758 C BLUE

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X

SIGNATURE

DATE

A LOCATION VIEW (AFTER)

1 SCALE: 1/2" = 1'



SIDE B



A EXISTING VIEW

2 N.T.S.



A DETAIL VIEWS

4 SCALE: 1/2" = 1'

DIR-3: LOC-4

OPTION A

P-1 2" SQ ALUM TUBE
SUPPORT FRAME

A POLE/FRAME DETAIL

5 SCALE: 1/2" = 1'

GRADE

108"

48"

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920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: SIGMA ENGINEERED SOLUTIONS

LOCATION: 2206 SHERMAN RD, JACKSON, WI 53037

DRAWN BY: AMANDA S

SALESPERSON: KATHY T

DATE: 3/16/22

DESIGN #: D19533

PAGE: 4.1

REVISION LOG: INTL DATE DESCRIPTION

SITE PLAN

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X

SIGNATURE

DATE



LOC-4

LOC-2

LOC-1



STAFF MEMO

Village of Jackson Plan Commission

Meeting Date: April 28, 2022

Agenda Item: Item #4

To: Mike Schwab, Village President
Village of Jackson Plan Commission
Jen Keller, Village Administrator

From: Collin Johnson, Director of Inspections

Subject: Conditional Use Amendment – Sigma Engineering, N160 W19170 Sherman Road – New ground signage.

Description:

Sigma Engineering has hired Creative Sign Company to design and install new signage for their business located on Sherman Road. The proposal includes installing three non-illuminated ground signs including a double sided (42" x 120" / 35sf. each side) main sign and two double sided (36" x 40" / 10sf. each side) directional signs. Proposed signage locations are outside of the public right-of-way.

Property Information:

The property is zoned Planned Unit Development therefore, all signage is subject to Village review and approval. Additional zoning approvals will be needed prior to the business operating out of the facility, as it has not been operational on this location for several years.

Applicable Village Ordinance(s):

Sec. 48-301. Signs permitted in business and industrial districts with a permit.

Signs are permitted in all business and manufacturing districts subject to the following restrictions:

(1) Temporary signs, except as described in subsection (a) below; when seeking a special use permit shall, in each case, describe the material of the sign to be permitted; the size of the sign to be permitted; the time period the sign is to remain in place; and how the sign will be displayed, including the location. Signs which meet the definition of a non-permanent sign, but are anticipated to be displayed for a period exceeding 90 days, shall be approved as a conditional use or a planned unit development site plan amendment.

(a) Temporary banner signs shall be limited to one sign per tax parcel. Where multiple tenants exist on a single tax parcel, each tenant shall be permitted to display a single banner in 30 day increments, not to exceed a total of 90 days in any calendar year. Such banners shall not be displayed simultaneously except those described in section 48-300.

(2) Wall signs placed against the exterior walls of buildings shall not extend more than 12 inches outside of a building's wall surface, shall not exceed in area 30 percent of the signable area of the building, or 300 square feet, whichever is smaller, for any one premises. Wall signs shall not extend beyond the ceiling level of the top floor of the building upon which they are located.

(3) Projected signs, awning signs, canopy signs, and marquees fastened to, suspended from, or supported by structures shall not exceed 100 feet in area for any one premises; shall not extend more than six feet into any required yard; shall not extend more than three feet into any public right-of-way;

shall not be less than ten feet from all side lot lines; shall not exceed a height of 20 feet above the mean centerline street grade; and shall not be less than ten feet above the sidewalk nor 15 feet above a driveway or an alley.

(4) Ground signs shall not exceed 20 feet in height above the mean centerline street grade, shall not exceed 80 square feet on one side nor 160 square feet on all sides for any one premises. No ground sign shall be placed closer than 80 feet to another ground sign or projecting, awning, canopy, or marquee sign unless permitted by conditional use. The conditional use application shall include scaled drawings or renderings showing the sign relative to the site and structures, photos or videotapes of the proposed sign at both 20 feet in height and the proposed height from all directions that are deemed necessary by the village.

(5) Roof sign shall not exceed ten feet in height above the roof, shall meet the height requirements for the district in which it is located, and shall not exceed 300 square feet on all sides for any one premises.

(6) Window signs shall not exceed 25 percent of the glass area of the pane upon which the sign is displayed.

(7) The total area of all signs except window signs, erected or placed on any one premises shall not exceed 60 percent of the signable area of a building as defined in section 48-302 herein or 400 square feet, whichever is smaller.

Site Plan: See sign renderings, location diagrams, and aerial photo.

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision following a public hearing.

Notice Requirements:

Aside from posting on the agenda, notification of all opposite and abutting property owners within 200-feet is required as well as a Class II Legal Notice.

Potential Motion:

Motion to approve the Conditional Use Permit for new signage at Sigma Engineering located at N160 W19170 Sherman Road conditioned upon the following terms:

1. Inclusion of the street address located on both sides of the main sign base. Address letters shall contrast against the background on which they are placed and shall be no smaller than three (3) inches in height.
2. The applicant is required to return to the Village Plan Commission and Village Board for necessary zoning approvals prior to issuance of permits to construct the signage.

Attachments:

1. Application Materials
2. Sign Renderings & Location Map
3. Aerial Map



Taking the lead in Washington County.

Memo

To: Jen Keller, Village Administrator

From: Brian W. Kober, P. E., Director of Public Works 

Subject: CSM for Old Village Hall Property – N168 W20733 Main Street

Date: April 22, 2022

CC: Board of Public Works; Village Board

In order to sell the old Village Hall Property, a new CSM (Certified Survey Map) needed to be created. The creation connected the two existing parcels to be placed as one. Also, easements needed to be created for the existing water main and storm sewer on the property.

Recent discussion on Washington County's plan for "Rails with Trails" which would take the existing railroad tracks be converted to railroad tracks and a bike/hike trail along side each other. Outlot 1 would be retained by the Village of Jackson for the potential of having a location in the Village for public access to the trail or rail system.

If you have any questions, please let me know.

Brian W. Kober, P.E.

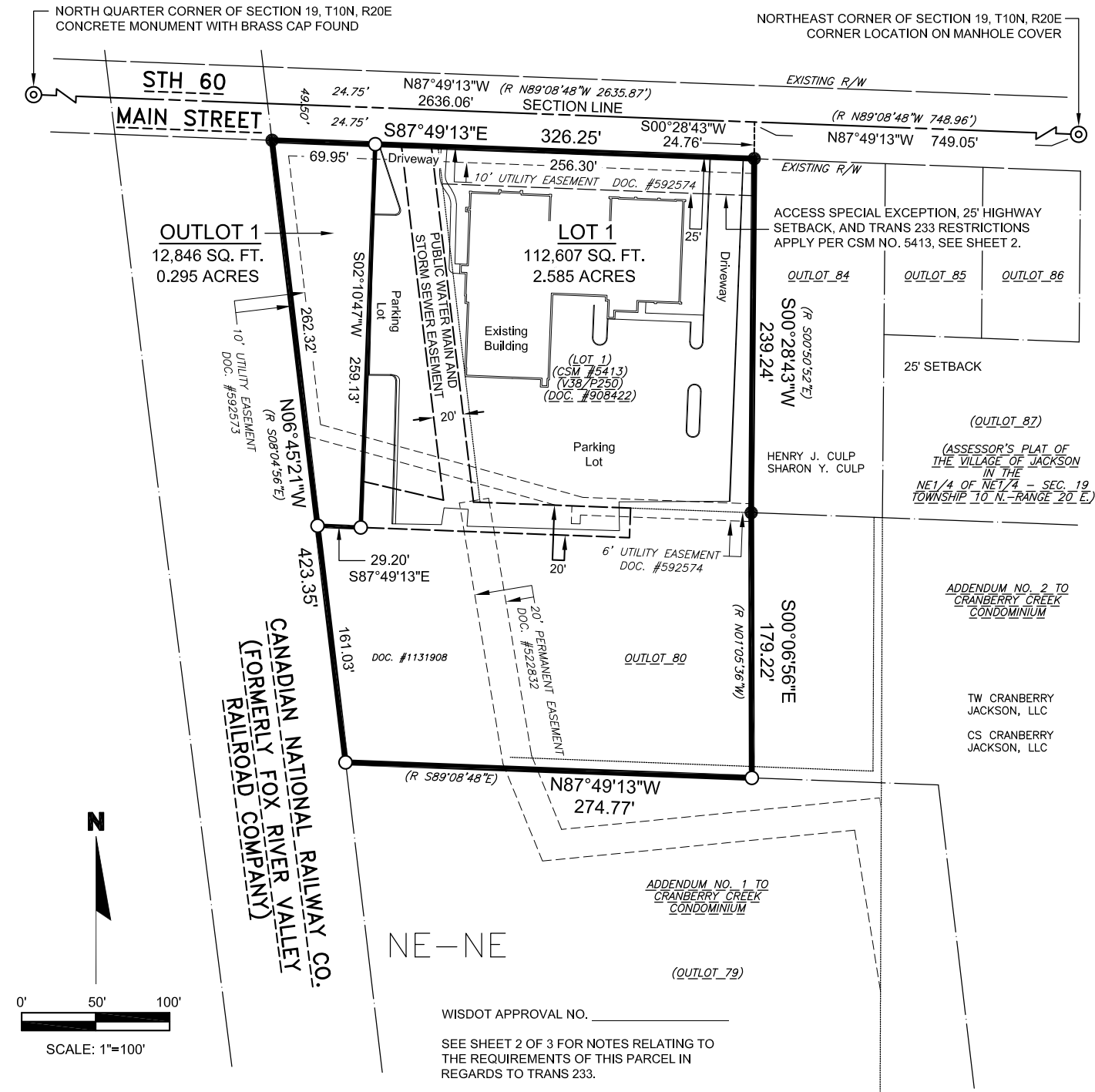
WI 94N16660
Eagle Drive
Jackson, WI 53037
Phone: 262-677-0707
Fax: 262-677-8770

Mailing Address:
P.O. Box 637

www.villageofjackson.com

CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5413, VOLUME 38, PAGE 250, PART OF OUTLOT 79 AND PART OF OUTLOT 80 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF JACKSON, AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 19, T10N, R20E, VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN



OWNER:
VILLAGE OF JACKSON

PREPARED BY:
JAY W. PANETTI, PLS
GREMMER AND ASSOCIATES, INC.
93 SOUTH PIONEER ROAD, SUITE 300
FOND DU LAC, WI 54935

LEGEND

- (R) PREVIOUSLY RECORDED AS
- EXISTING 1" IRON PIPE
- SET 1.32" O.D. x 18" IRON PIPE WEIGHING 1.68 LBS./LIN. FT.
- EXISTING EASEMENT, WIDTH AND TYPE AS NOTED

NOTE

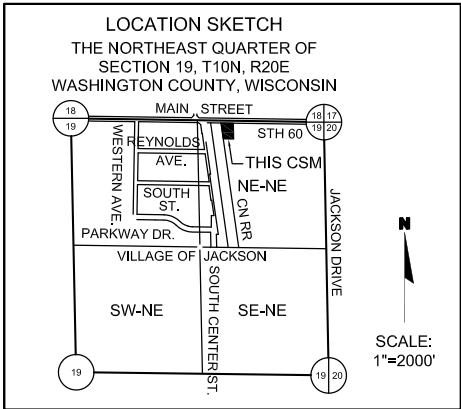
BEARINGS REFERENCED TO THE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCRS), NAD83 (2011), WHERE THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 19, HAS A GRID BEARING OF N87°49'13"W.

WISDOT APPROVAL NO. _____

SEE SHEET 2 OF 3 FOR NOTES RELATING TO THE REQUIREMENTS OF THIS PARCEL IN REGARDS TO TRANS 233.

DATED THIS _____ DAY OF _____, 2022.

PROFESSIONAL LAND SURVEYOR S-2747



CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5413, VOLUME 38, PAGE 250, PART OF OUTLOT 79 AND PART OF OUTLOT 80 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF JACKSON, AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 19, T10N, R20E, VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN

SURVEYOR'S CERTIFICATE

I, Jay W. Panetti, Professional Land Surveyor, hereby certify:

That at the direction of Brian Kober, agent for the Village of Jackson, I have surveyed, divided and mapped the following described parcel of land:

All of Lot 1 of Certified Survey Map No. 5413, recorded in Volume 38, Page 250 of Certified Survey Maps for Washington County as Document #908422, part of Outlot 79 and part of Outlot 80 of the Assessor's Plat of the Village of Jackson in the NE1/4 of the NE1/4 - Sec. 19, Township 10 N. - Range 20 E., and part of the Northeast 1/4 of the Northeast 1/4 of Section 19, T10N, R20E, Village of Jackson, County of Washington, State of Wisconsin, bounded and described as follows:

Commencing at the northeast corner of Section 19, T10N, R20E;
thence N87°49'13"W, along the north line of the Northeast 1/4 of said Section 19, 749.05 feet;
thence S00°28'43"W, 24.76 feet to the northeast corner of Lot 1 of Certified Survey Map No. 5413 and the point of beginning;
thence S00°28'43"W, along the east line of said Lot 1, 239.24 feet to the southeast corner of said Lot 1;
thence S00°06'56"E, 179.22 feet to the southeast corner of lands described in Document #1131908;
thence N87°49'13"W, along the south line of said lands, 274.77 feet to the southwest corner of said lands;
thence N06°45'21"W, along the westerly line of said lands, 423.35 feet to the northwest corner of said lands and the existing south right-of-way line of Main Street;
thence S87°49'13"E, along the existing south right-of-way line of Main Street, 326.25 feet to the point of beginning.

Said parcel contains 2.880 acres, more or less. Parcel subject to easements, restrictions and reservations in use or of record.

That this Certified Survey Map is a correct representation of the exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Land Division and Subdivision Ordinance of the Village of Jackson, in surveying, dividing, and mapping the same.

Dated this ____ day of _____, 2022.

Jay W. Panetti
Professional Land Surveyor S-2747

This instrument prepared by:
Jay W. Panetti, PLS
Gremmer & Associates, Inc.
93 South Pioneer Road, Suite 300
Fond du Lac, WI 54935
(920) 924-5720

NOTES

"The lots of this land division may experience noise at levels exceeding the levels in S. Trans 405.04, Table I. These levels are based on Federal Standards. The Department of Transportation is not responsible for abating noise from existing State Trunk Highways, in the absence of any increase by the Department to the highway's through-lane capacity."

"No improvements or structures are allowed between the right-of-way line and the highway setback line. Improvements and structures included, but are not limited to, signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in Section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns."

"All lots and blocks are hereby restricted so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any highway lying within the right-of-way of STH 60 or Main Street; it is expressly intended that this restriction constitute a restriction for the benefit of the public as provided in s. 236.293, Stats., and shall be enforceable by the department or its assigns. Any access shall be allowed only by special exception. Any access allowed by special exception shall be confirmed and granted only through the driveway permitting process and all permits are revocable."

CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5413, VOLUME 38, PAGE 250, PART OF OUTLOT 79 AND PART OF OUTLOT 80 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF JACKSON, AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 19, T10N, R20E, VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN

OWNER'S CERTIFICATE

As owners, we, the Village of Jackson, a municipal corporation, do hereby certify that we caused the land shown and described on this map to be surveyed, divided, mapped, and dedicated as represented on this map.

In witness whereof, the Village of Jackson has caused these presents to be signed by Michael E. Schwab, its Village President, and countersigned by Jen Keller, its Village Administrator, this _____ day of _____, 2022.

Village President - Michael E. Schwab

Village Administrator - Jen Keller

State of Wisconsin)
Washington County) SS

Personally came before me this _____ day of _____, 2022, _____, the above named persons, to me known to be the same persons who executed the foregoing instrument, and acknowledged the same.

Notary Public, State of Wisconsin

My commission expires

VILLAGE OF JACKSON PLANNING COMMISSION APPROVAL

Approved by the Planning Commission of the Village of Jackson on this _____ day of _____, 2022.

Chairperson - Michael E. Schwab

VILLAGE OF JACKSON VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Jackson on this _____ day of _____, 2022.

Village President - Michael E. Schwab

Village Administrator - Jen Keller

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

☒ **COMMERCIAL** ☐ **INDUSTRIAL** ☐ **RESIDENTIAL** ☐ **OTHER** _____

☒ **CONDITIONAL USE** ☒ **PLANNED UNIT DEVELOPMENT** ☐ **CERTIFIED SURVEY MAP**
☒ *New* ☒ *New* ☐ **CONCEPT PLAN**
☐ *Amendment* ☐ *Amendment*
☐ *Special Use* ☐ *Special Use* ☐ **OTHER** _____
(For existing Cond. Use ONLY) *(For existing PUD ONLY)*

Property Address: N168W19490 Main Street Unit: Jackson, WI

Parcel #: 047700K Lot Size: 5.62A sq. ft. Building Area: 6,125sf sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☒ **PUD** ☐ Other _____ Floodplain: Y / N

APPLICANT INFORMATION

Name(s): Mark Hertzfeldt - Design 2 Construct

Mailing Address: N173W21010 Northwest Passage, Jackson State WI Zip %3037

Office: (262) 677-9933 Cell: (262) 224-1342 Fax: (262) 677-9934

Email: mhertzfeldt@design2construct.com

BUSINESS INFORMATION *(If New Business)*

Legal Business Name: _____

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (_____) _____ Cell: (_____) _____ Fax: (_____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): Kurt Kruepke

Address: N168W19490 Main St., Jackson, State WI Zip 53037

Office: (262) 677-4901 Cell: (_____) _____ Fax: (_____) _____

Email: jmkapetro@att.net

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION *(Circle One)*

Firm Name: Same as Applicant

Primary Contact: _____

Address: _____ State _____ Zip _____

Office: (_____) _____ Cell: (_____) _____ Fax: (_____) _____

Email: _____

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: New unoccupied storage building
New Conditional Use to allow the additional storage building along with the existing storage building and parking
to the east of the existing storage building

Provide a brief overview of proposed use(s) of entire property and/or lease space: _____
New storage building to match existing, located along west property line

Hours of Operation: 5am - 12:00am

Provide a brief overview of proposed daily on-site operations: Access to storage units as necessary during
approved hours of operation

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: None

Describe all businesses, properties and other entities located adjacent to the proposed use: _____
South - Commercial PUD, East - Town of Jackson, North - Town of Jackson, West - Residential PUD

Describe any proposed, development, on-site improvements or other construction/remodeling activities: _____
Construction of new storage building in current asphalt area. Building is located 10'-0" north of existing south edge
of asphalt to avoid existing utility lines

Describe any proposed grading, and/or stormwater management plan: _____
Existing stormwater device will be utilized

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____
Added plantings along the west property line to screen building from western neighbor

Describe any proposed on-site security measures including site lighting: _____
Proposed wall pack security lighting on the east facade. One existing pole light on the west property line will be removed.
Existing installed lighting in the balance of the site to remain.

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): _____
existing, no new hydrants

Describe the projected traffic circulation and impacts: Traffic pattern is established, no new impacts

List all setbacks from rights-of-way and property lines and height limitations: _____
31'-6" from west property line, 123'-7" from north property line

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: N/A

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?
☒ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: None

If construction is proposed, describe proposed exterior building materials (type, color, etc.): _____
metal panel walls and roof, color to be complimentary to existing buildings, decorative, faux windows, thin brick veneer.

Describe any site specific features/constraints, etc.: None

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: _____
N/A

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): _____
Addition of new plantings to extend existing plantings further south along property line

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: N/A

Projected Sewer/Wastewater Usage: 0 gal/year

Projected Water Usage: 0 gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print):

Mark Hertzfeldt

Applicant Signature:



Co-Applicant Name (Print):

CO-Applicant Signature:

Date of Application:

03.04.2022

You MUST sign and date this Application!

SUBMIT TO:

Village of Jackson – Village Hall (*Checks shall be made payable to Village of Jackson*)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For all **general questions** related to completing form or questions related to Village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For questions concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY
Acct. #: 100-00-45730-000-00

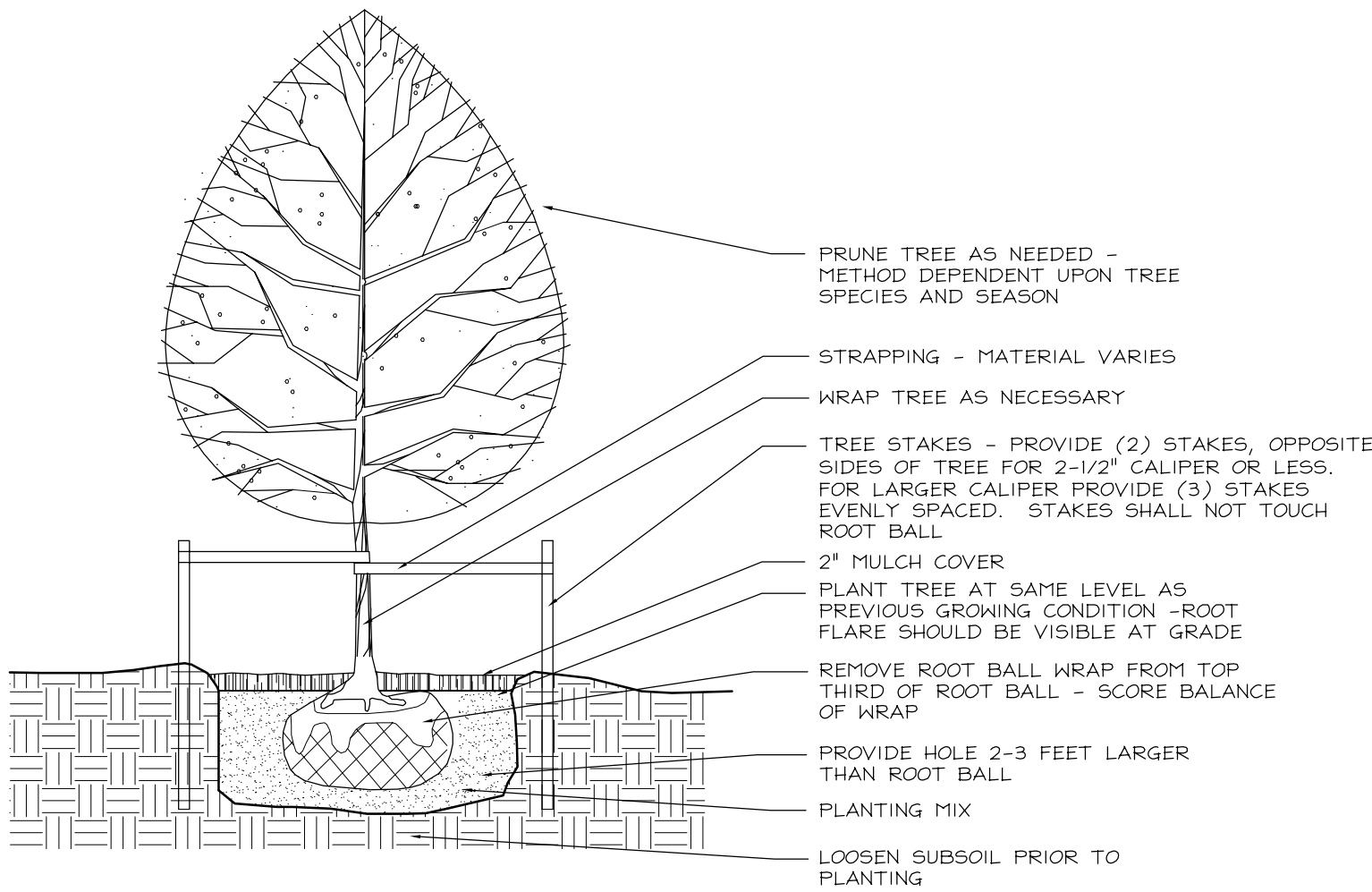
Date Received: 4-19-22
Amount: \$ 175.00
Payment Type: CH / CC / CASH
Check/Rcpt. #: 112602
Received By: [Signature]

PLANT SCHEDULE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
CS	10	PICEA PUNGENS	COLORADO SPRUCE	40 - 50'	2-1/2" CAL.	B & B

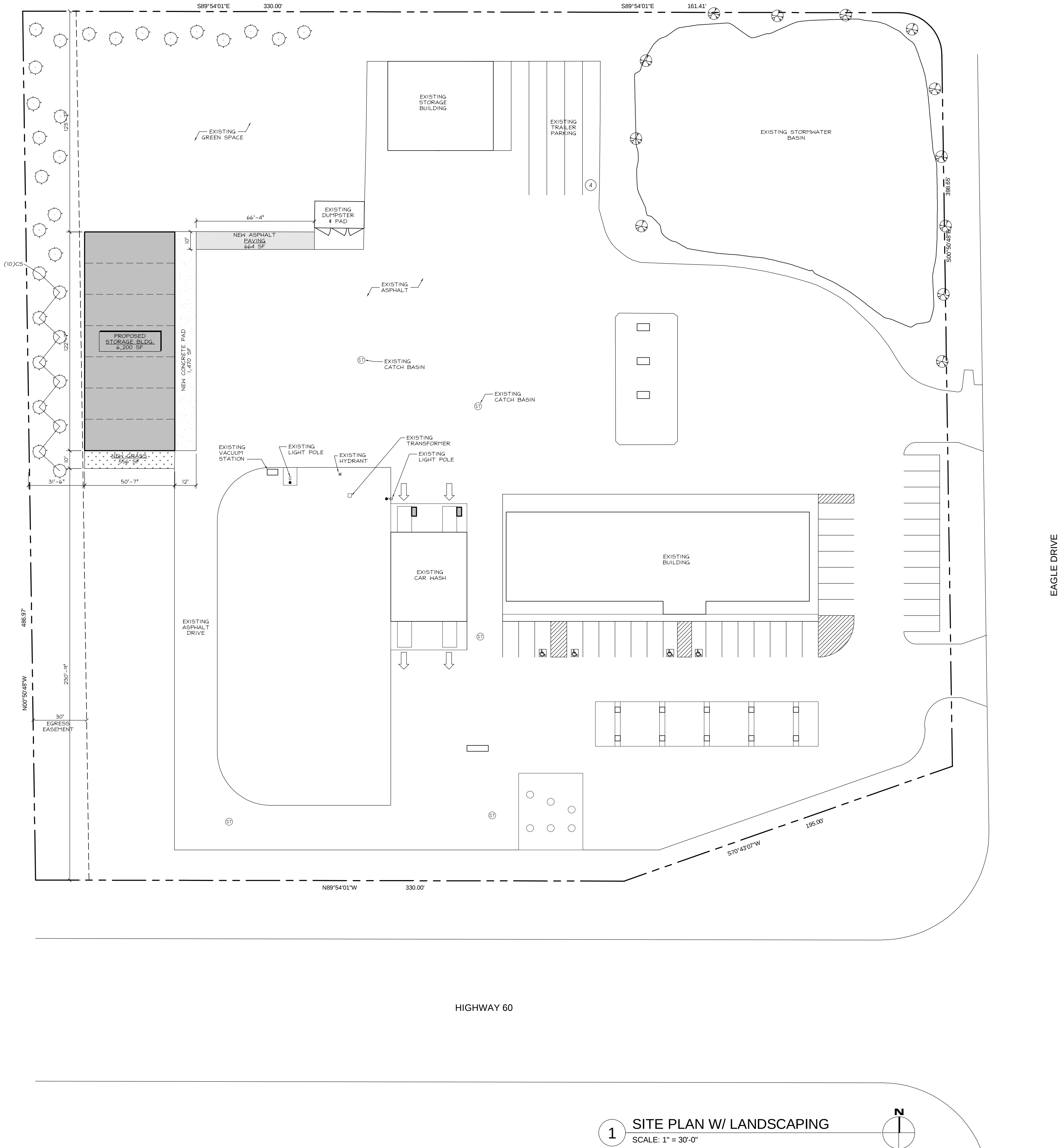
UNTAGGED LANDSCAPING IS EXISTING. TAGGED LANDSCAPING IS NEW.

NEW PLANTS ARE TO BE OF REASONABLE GROWTH.

TREES TO HAVE 2-1/2" (MIN.) CALIPER.



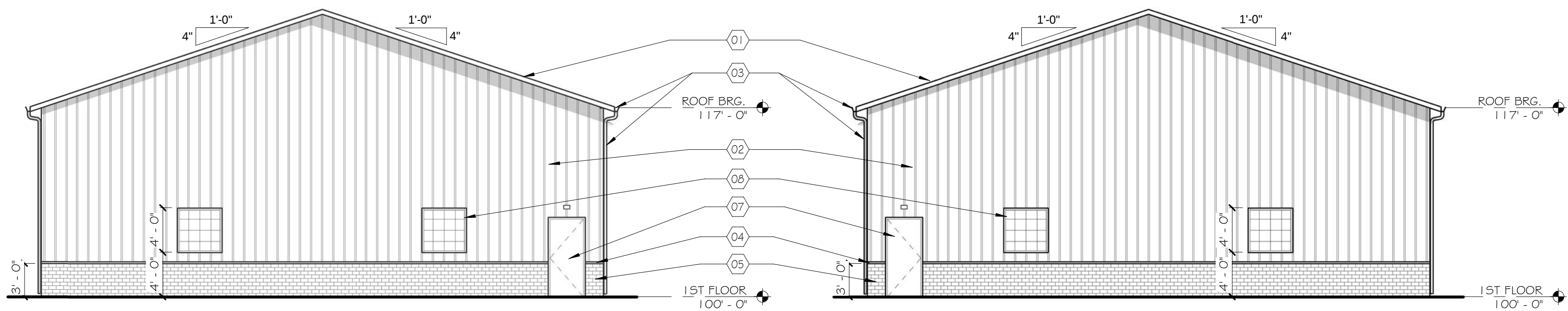
2 CONIFEROUS TREE PLANTING DETAIL
SCALE: NTS



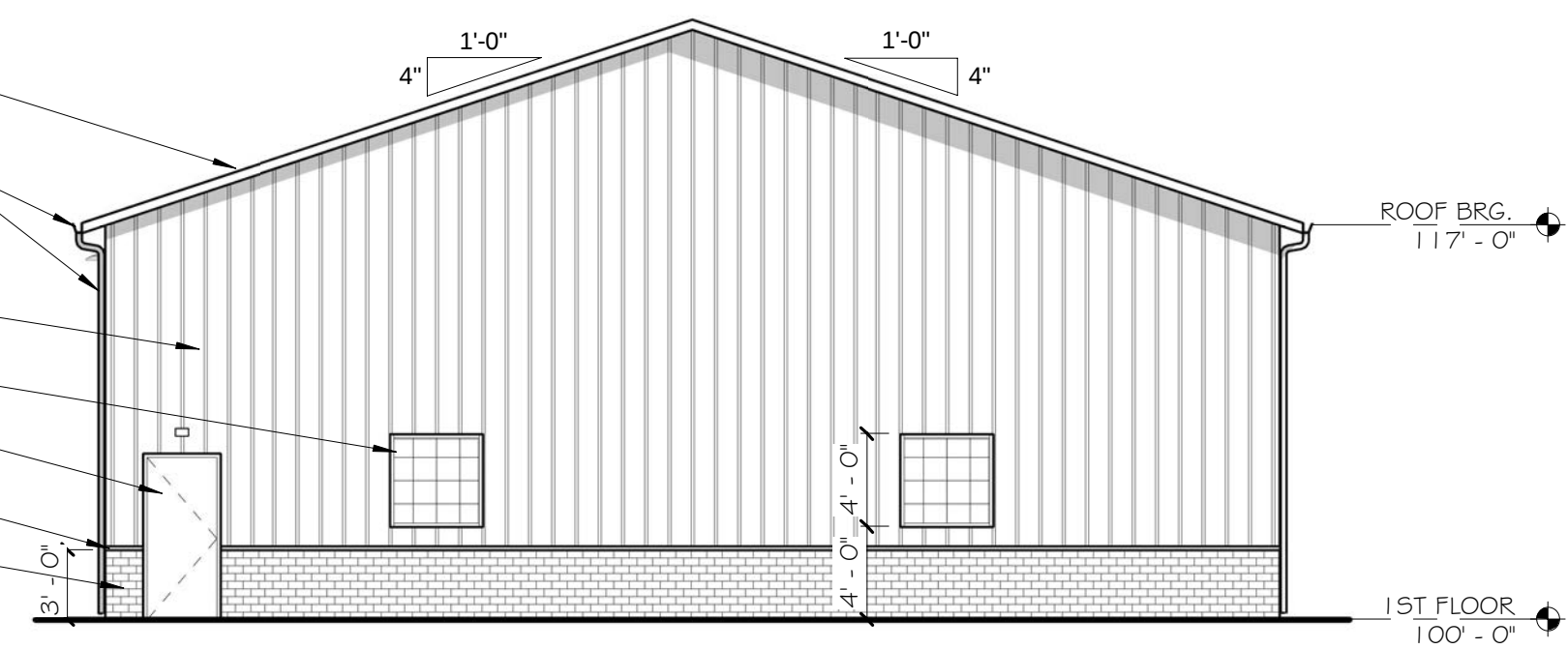
1 SITE PLAN W/ LANDSCAPING
SCALE: 1" = 30'-0"

ELEVATION NOTE LEGEND

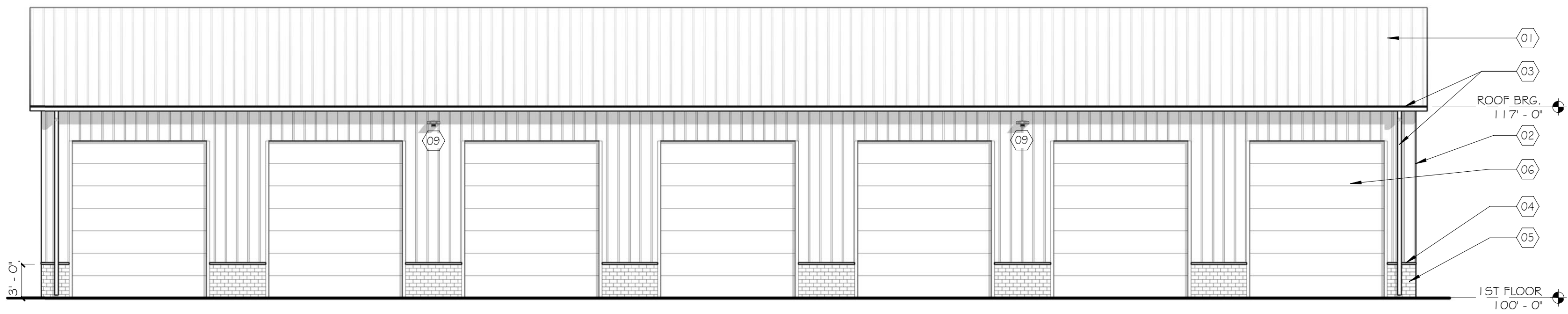
- 01 HI-RIB METAL ROOF PANELS WITH SNOW RETAINERS
02 HI-RIB METAL WALL PANELS
03 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT
04 PREFINISHED METAL FLASHING
05 "NICHIIA VINTAGE BRICK" WALL PANEL
06 12' x 14' ROLL-UP OVERHEAD DOOR
07 HOLLOW METAL DOOR AND FRAME
08 SPANDREL GLASS IN VINYL FRAME
09 LED WALL PACK LIGHT FIXTURE



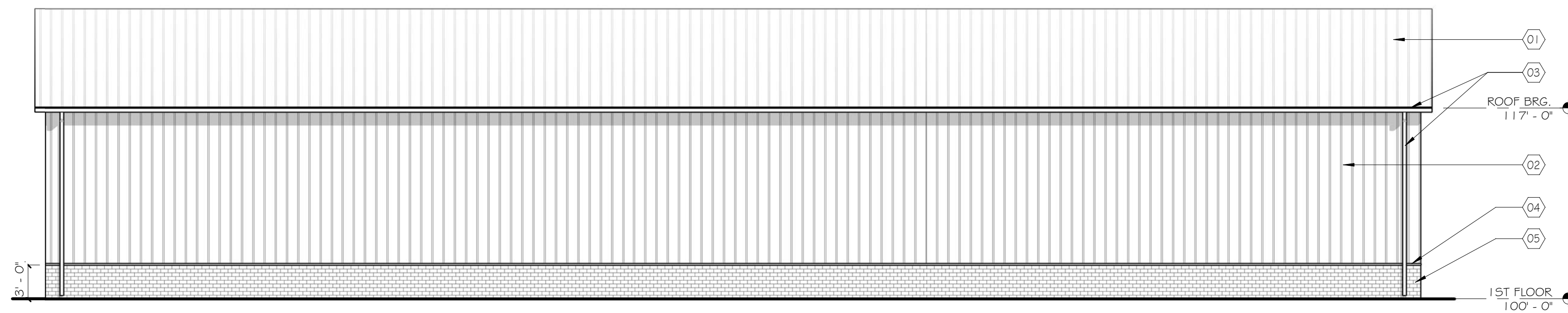
5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



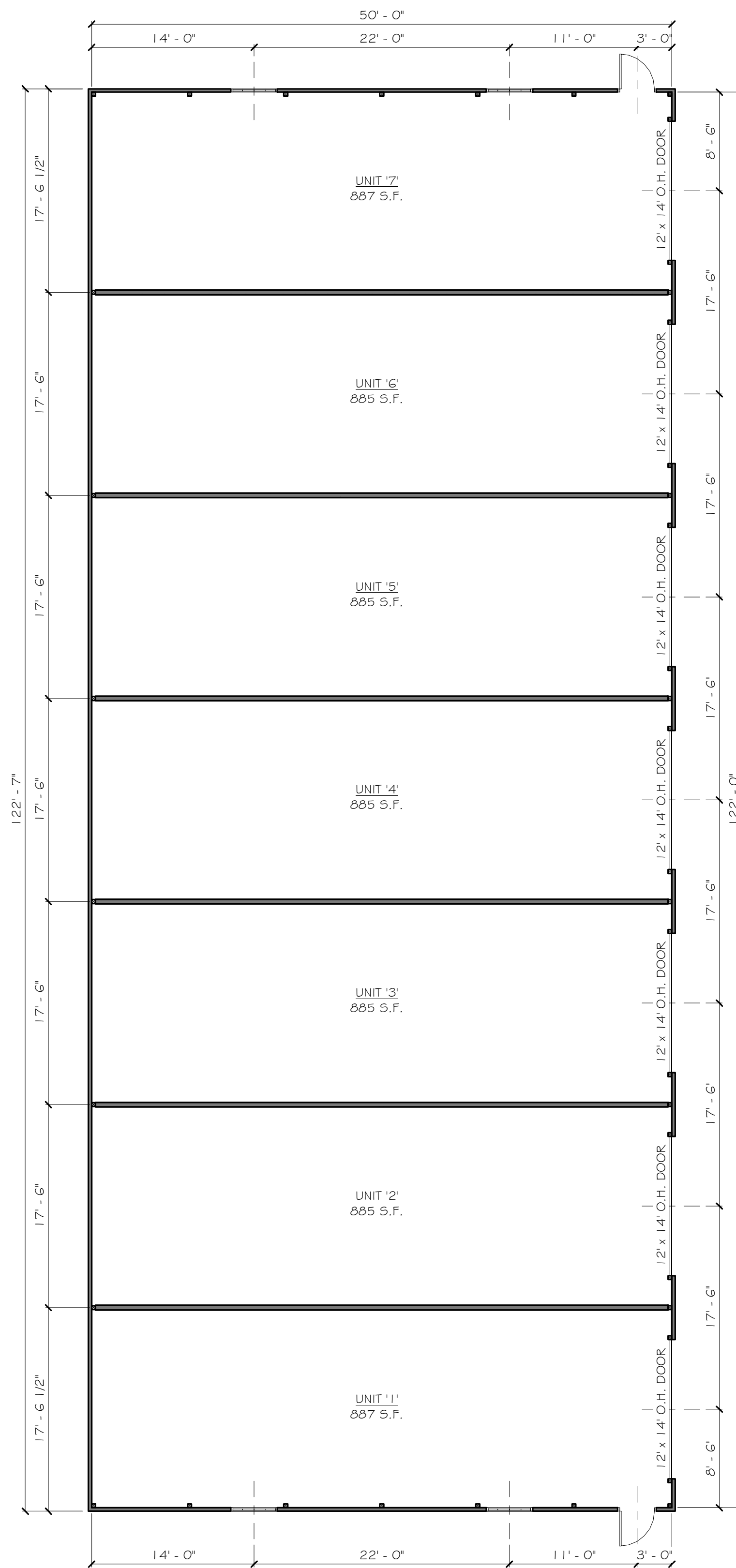
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

Collin Johnson

From: Jen Keller
Sent: Tuesday, April 5, 2022 3:50 PM
To: mhertzfeldt@design2construct.com
Cc: Collin Johnson; Tim Schwecke
Subject: KARM Properties PC Application Clarification

Mark,

Thank you for your patience while I worked to clarify with our Consultant Planner and Staff the necessary next steps in the process to review and possibly approve the additional storage facility for property located at N166 W21060 Parkway Drive. While speaking with our consultant planner and after reviewing the original application for PUD Amendment, dated 03.04.2022, I have concluded the following:

- The PUD application brought before the Plan Commission on March 31st necessary as there was a need for a documented approval of a PUD zoning ordinance that outlines what site uses are allowed by right or by conditional use, as well as a series of land improvement standards similar to other existing zoning districts which in the Village zoning code. I admit this process should have been clarified, and discussed together with myself well before the March 31 Plan Commission meeting. By establishing the site zoning via ordinance, it enables the property owner and Staff to understand the parameters any future changes to the property will need to abide by. For example, the PUD ordinance drafted on behalf of the applicant was constructed to formalize the current development standards on site via setbacks, uses allowed by right, and uses conditionally approved such as mini-storage and truck parking. I am of the understanding the PUD approval was withdrawn from the application process following Plan Commission recommendation of Village Board approval with intention of the item proceeding alongside a pending conditional use application to go before the Plan Commission in April and Village Board in May. (more details for CU below)
- An application for a Conditional Use is needed, as the additional storage structure expands the previous approvals on site for the personal storage activity. There is also a mutually identified benefit to formalize any conditional allowance for the parking of trucks to the east of the storage structure already on site. As shared with you last Thursday, the 4.1.22 deadline to apply for a PC item to appear on the April Plan Commission agenda was waived as Staff required additional time to consult together prior to sharing direction with you. Please proceed to apply for a Conditional Use, expanding storage use to include two (2) storage units on site and truck parking on the east side of the current storage facility. A fee of \$150 will be applied to the application and previously submitted site plans can be digitally reattached to this application. The applicable fee will provide for the additional consultant work, staff time, posting costs to mail notices to property owners within 200', and newspaper publication costs for the CU action.

If you and the property owner still prefer, Staff will see to it that this CU application goes before the Plan Commission at the April 28th meeting, and proceeds to the May 10th Village Board meeting where a public hearing will be conducted for the codified PUD zoning and documented CU approval. The payment for the application can be dropped off at the DPW/Utility/Building Inspection facility on

Eagle Drive. An additional physical set of plans are not required, and the PC application itself can be emailed or dropped off with the check.

As I shared with you yesterday, I thank you for your patience while we work to improve our Administrative processes related to requests for Plan Commission and Village Board review. Do not hesitate to contact me with any questions you may have.

Thank you,



Jen Keller

Village Administrator

E: jen.keller@villageofjacksonwi.gov

O: (262) 677-9001 ext. 215

M: (262) 305-6754

Jackson Municipal Complex—Administrative Offices

N168 W 19851 Main St.

PO Box 637

Jackson, WI 53037

BCC: Village President, Mike Schwab

Village Clerk, Jilline Dobratz

STAFF MEMO

Village of Jackson Plan Commission

Meeting Date: April 28, 2022

Agenda Item: Item #6

To: Mike Schwab, Village President
Village of Jackson Plan Commission
Jen Keller, Village Administrator

From: Collin Johnson, Director of Inspections

Subject: Conditional Use Amendment to allow for expanded commercial storage use and tractor/trailer parking – KARM Properties, N168 W19490 Main Street

Description:

KARM Properties are requesting a conditional use amendment for their property located at N168 W19490 to allow for expanded commercial storage. The expanded use would include construction of a new 50' x 122', seven-unit storage building along the western edge of the property adding to the existing storage already located onsite.

Property Information:

The property is zoned Planned Unit Development. Permitted conditional uses include mini-storage and truck (tractor-trailer) parking. The request for additional storage capacity is subject to Village review and approval.

Applicable Village Ordinance(s):

Sec. 48-154. – PUD-03 KARM Planned Unit Development District.

(a) **Generally.** The KARM Planned Unit Development District (PUD-03) was established in 2022 to accommodate the unique needs of a mixed-use commercial development.

(b) **Uses allowed by right.** Uses allowed by right, subject to other requirements of the zoning code: (1) vehicle fuel station, (2) car wash, (3) general retail, (4) restaurant, and (5) laundromat.

(c) **Conditional uses.** Uses allowed as a conditional use, subject to other requirements of the zoning code: (1) mini-storage facility and (2) truck parking.

(d) **Lot area and width.** Lots shall have a minimum area of 5 acres and shall not be less than 60 feet in width at the setback line.

(e) **Building height.** No building or part of a building shall exceed 35 feet in height.

(f) **Setbacks and yards.** There shall be a minimum building setback of 50 feet from the right-of-way of all streets. There shall be a side yard on each side of all buildings not less than 20 feet in width and a rear yard of not less than 25 feet.

(g) **Building coverage.** The maximum building coverage is 60 percent.

(h) **Maximum impervious surface.** The maximum impervious surface area is 80 percent.

(i) **Division of land restricted.** This district includes two adjoining parcels which shall be owned and operated as a single parcel. The subject property may not be subdivided by any means. Further, the configuration of the subject property shall not hereafter be modified by any means without the approval of the Village Board upon recommendation of the Plan Commission.

(j) **Revisions to the zoning map.** Upon adoption of this section, the subject property shall be designated as a planned development district with reference to this section. Hereafter, the subject property is subject to this section and other sections of this code as applicable.

Site Plan: See attachments

Additional Staff Comments: Public Works – The elevation for the new storage building would be set at a height for proper drainage. The proposed hours of operation are 5am to 12am. Since the storage building is on the west property line abutting a residential use, the hours of operation of the storage building should be more in line with the residential use. Recommend 6am to 10pm for storage use operations. Hours of operation should be posted on the building(s).

Review Procedures:

The Plan Commission is advisory; and the Village Board makes the final decision following a public hearing.

Notice Requirements:

Aside from posting on the agenda, notification of all opposite and abutting property owners within 200-feet is required as well as a Class II Legal Notice.

Potential Motion:

Motion to approve/deny the Conditional Use Amendment to allow for construction of the proposed 6,100 storage building for use as commercial storage (mini storage) and tractor/trailer parking.

Attachments:

1. Application Materials
2. Sight Plan and Building Renderings
3. Administrator Memo

MAPLE FIELDS – PHASE 1 DEVELOPMENT AGREEMENT

This Development Agreement (“Agreement”) is entered into as of the latest date set forth below by and between Neumann Developments, Inc. (“Developer”), and its successors and assigns, and the Village of Jackson, Washington County, Wisconsin (“Village”).

Recitals

- A. Developer owns or intends to own the property shown on the Preliminary Plat attached hereto as Exhibit A (the “Property”). The Property is located within the Village.
- B. The public improvements within the project shall be completed in three phases in accordance with the plan attached hereto (see Exhibit B).
- C. Developer intends to develop the Property as a Hundred (100) lot residential subdivision with Two (2) Outlots. Phase 1 contains Thirty-five (35) single family residential lots. The Property will be developed with municipal sewer and water provided by the Village (the “Development”).
- D. The Village seeks to protect the health, safety, and general welfare of the community in approving the Development by requiring Developer to comply with the terms and conditions set forth in this Agreement.

NOW, THEREFORE, in consideration of the above recitals and the mutual obligations and benefits provided hereunder, Developer and the Village agree as follows:

1. **Scope of Agreement.** The Development is proposed to be developed in multiple phases as shown on Exhibit A. This Agreement is intended to govern Phase One.
2. **Construction of Improvements.**
 - a. **Incorporation of Plans.** Construction of the Development will occur in compliance and conformity with the following plans, which have been approved by the Village and are attached hereto as Exhibit B. [Attach plans – Road plans, development plans, grading plans, landscape plans, erosion control plans, drainage plans, stormwater management plans, etc.]
 - b. **Contractors Engaged by Developer.** Developer agrees to engage fully qualified and experienced contractors for all construction included in this Agreement. The contractors shall perform their work to the standards of the Village and shall comply with the requirements of the Village’s ordinances and standards in

performing their work. Developer shall furnish the Village with the names of all contractors and their subcontractors; with classification of the work, they will perform prior to beginning any work.

- c. Village Approval and Starting Dates. No land disturbance or work may begin without the Village's approval of the starting date and schedule, which shall be submitted by Developer to the Village a minimum of seven calendar days before work or land disturbance is scheduled to begin. A starting date will not be approved until final plans and specifications for the land disturbance and work have been approved by the Village.
- d. Responsibility for Costs. Developer agrees that the Village shall not be responsible for any costs or charges related to the Development except any specifically enumerated and agreed to in writing by the Village and the Developer.
- e. Acceptance of Work.
 - (1) The Village may have an inspector on site during the construction of the improvements. If acceptable, the Village will certify the improvements as being in compliance with the standards and specifications of the Village. Before obtaining final acceptance of any improvement, the Developer shall present to the Village valid lien waivers from all persons providing materials or performing work on the improvements.
 - (2) No improvements will be accepted by the Village until they have been inspected and approved by the Village and, further, not until all outstanding Village incurred costs, including engineering, inspection, and legal charges indicated herein, have been paid in full and affidavits and lien waivers are received by the Village indicating that Developer's contractors and their suppliers have been paid in full for all work and materials furnished under this Agreement.
- f. Letter of Credit. Developer agrees to provide the Village, on or before the effective date of this Agreement, with security in the form of an irrevocable letter of credit or cash deposit, as deemed acceptable by the Village and its legal counsel, in the minimum amount of \$1,787,672 to secure completion of the improvements within the Development. In addition, such security shall remain in full force and effect until the expiration of 14 months from substantial completion as defined by WI Statute 236. The security on any letter of credit shall be payable to the Village at any time upon presentation of (i) a sight draft drawn on the issuing bank in the amount to which the Village is entitled to draw pursuant to the terms of this Agreement, (ii) an affidavit executed by the Village

President stating that Developer is in default under this Agreement; and (iii) the original of the letter of credit.

- g. Guaranty. Developer agrees to guarantee and warrant all work on the road improvements or other public infrastructure performed under this Agreement against defects in workmanship or material for a period of twelve months from the date of acceptance by the Village. If any defect should appear during the guaranty period, Developer agrees to make required replacement or acceptable repairs of the defective work at Developer's expense. This expense includes total and complete restoration of any disturbed surface or components of the improvements to the standards provided in the plans and specifications. All guarantees or warranties for materials or workmanship from contractors or subcontractors to Developer which extend the twelve-month guaranty period shall be assigned by Developer to the Village.
- h. Street Signs, Street Lamps, Trash Containers, Detention Pond and other Facilities. Developer shall cause electrical power and telephone facilities to be installed at the Development in such a manner as to make adequate service available to each lot within the Development. No electrical or telephone service may be located on overhead poles unless specifically authorized by the Village due to exceptional topography or other physical barrier. Plans indicating the proposed location of all electrical power and telephone distribution and transmission lines required to service the Development shall be approved by the Village. The Developer shall reimburse the Village for installation of all signs at the intersection of all streets proposed to be dedicated a street sign of a design as approved by the Village.
 - (1) Streetlamps. The Developer agrees to pay for the cost of the installation of streetlamps and restoration required by the installation of underground wiring per the Village developed plan. The Village of Jackson will select the type and location of the streetlamps used for the Subdivision. The Village of Jackson will hire a contractor for the installation. The Street Lamps will be owned and maintained by the Village of Jackson..
 - (2) Trash Containers. A standard Village trash container and recycling bin will be provided by the Village at the time of the Certificate of Occupancy is issued for each residential unit contracted for trash and recycling pickup.
 - (3) Detention Pond. The detention pond easement area of Outlot 1 on Maple Fields Final Plat, as approved by the Village for this development, and the responsibility for the maintenance of the entrance median within the development shall be transferred to a homeowner's association

created by Developer. The Developer shall maintain the detention pond and the common areas until they are transferred to the homeowner's association. Upon transfer to the homeowner's association, the homeowner's association shall be responsible for maintaining the pond and the common areas. The Village shall be a party entitled to enforce the obligations of all members of the homeowner's association.

- i. Temporary Signs. Developer may apply for and place its temporary promotional signs on the Developer's property, if approved by the Village, until the models are sold.
- j. Maintenance of Improvements. Developer shall provide for the maintenance and repair of all improvements described in Exhibit B until such time that the improvements, as applicable, are dedicated to the Village (and then, subject to the warranties contained herein).
- k. Time for Completion. Completion of the improvements described in Exhibit B shall occur in accordance with the project schedule attached as Exhibit C. Time is of the essence regarding all dates set forth in the project schedule.
 - (1) In addition to the time limits outlined in Exhibits B and C, Developer shall complete the binder course of asphalt prior to issuance of building permits within the site.
 - (2) The second course of asphalt shall be installed no later than 12 months following the installation of the first course of asphalt, or as directed by the Village Engineer.
- l. Indemnification and Insurance. Developer will indemnify, defend, and hold the Village harmless from and against all claims, costs, and liabilities of every kind and nature, for injury or damage received or sustained by any person or entity in connection with, or on account of, the performance of work described in this Agreement except to the extent caused by the willful or negligent acts or omissions of the Village or its officers, employees, agents, or contractors. Developer is not an agent or employee of the Village. Developer shall require its contractors engaged in the construction of the Development to maintain a current Certificate of Insurance on file with the Village in amounts approved by the Village and naming the Village as additional insured. Developer shall also require that its contractors and their subcontractors indemnify, defend, and hold the Village harmless in the manner set forth in this Agreement.

Developer shall indemnify, defend, and hold the Village and its officers, employees, and agents harmless from any claims, judgments, damages, penalties,

finances, costs, or loss (including reasonable fees for attorneys, consultants, and experts) that arise as a result of the presence or suspected presence in or on the real property dedicated or conveyed to the Village by, under, pursuant to, or in connection with the Plat or this agreement (including, but not limited to, street right of way and park land) of any toxic or hazardous substances arising from any activity occurring prior to the acceptance of all improvements. Without limiting the generality of the foregoing, the indemnification by the Developer shall include costs incurred in connection with any site investigation or any remedial, removal, or restoration work required by any local, state, or federal agencies because of the presence or suspected presence of toxic or hazardous substances on or under the real property, whether in the soil, groundwater, air, or any other receptor.

- m. Specifications for Improvements. Developer shall abide by all applicable Village ordinances and conditions in effect at the time of approval and in place for the Development by the Village Board, Plan Commission, or the Village's engineers when fulfilling its obligations under this Agreement. Developer shall also fully comply in a timely fashion with all Village ordinances, including zoning, subdivision, and utility-related ordinances.
 - n. General Standards. Where standards and/or specifications have not been established by the Village, all work shall be done in accordance with generally established engineering practices, as designated and approved by the Village.
 - o. Inspections. The Village may inspect the improvements constructed pursuant to this Agreement at intermittent times as they are constructed and completed and, if acceptable to the Village, certify them as being in compliance with the standards and specifications of the Village. If inspection reveals that any improvements do not conform to Village standards or are otherwise defective, the Village will provide timely notice to Developer. Developer shall have 30 days from issuance of such notice to correct or substantially correct the defect. The Village shall not declare a default under this Agreement during the 30-day correction period on account of any such defect unless it is clear that Developer does not intend to correct the defect or unless the Village determines that immediate action is required in order to remedy a situation that poses an immediate health or safety threat.
 - p. Improvements are Private Unless Dedicated. All improvements constructed by Developer shall remain private at all times unless dedication of any improvement is accepted in writing by the Village Board.
3. Street Repair. Developer is liable to the Village for any damage to any Village Street caused by construction of the Development. Developer hereby consents pursuant to

Wis. Stat. § 66.0703(7)(b) to the Village levying special assessments or special charges if the Village is required to repair or replace all or any portion of a Village Street.

4. **Developer to Reimburse Village for Costs Sustained.** Developer shall reimburse the Village for its actual cost of design reviews, inspections, testing, and associated engineering, legal, and other fees relating to the review, approval, and construction of the improvements described in this Agreement. Developer shall also be responsible for paying all fees applicable to the Development in accordance with the Village's ordinances, resolutions, and fee schedules.
5. **Waiver of Special Assessment Notice/Hearing.** In accordance with Wis. Stat. § 66.0703(7)(b), Developer and all relevant property owners waive all special assessment notices and hearings pursuant to the provisions of Wis. Stat. § 66.0703.
6. **Subdivision Covenants.** A copy of the covenants for the Development are attached hereto as Exhibit D. These covenants may not be amended without recording the changes with the affected properties. The Village of Jackson will not act as an enforcement agent of said covenants.
7. **Supplemental General Conditions.**
 - a. **No Vested Rights Granted.** Except as provided by law, or as expressly provided by this Agreement, no other vested rights in connection with the Development shall inure to the Developer. In addition, the Village does not warrant by this Agreement that the Developer is entitled to approvals of any other nature other than as specified in this Agreement.
 - b. **No Waiver.** No waiver of any provision of this Agreement shall be deemed or constitute a waiver of any other provision, nor shall it be deemed or constitute a continuing waiver unless expressly provided for by a written amendment to this Agreement signed by both Village and Developer, nor shall the waiver of any default under this Agreement be deemed a waiver of any subsequent default or defaults of the same type. The Village's failure to exercise any right under this Agreement shall not constitute the approval of any wrongful act by the Developer or the acceptance of any improvement. No Village approval pursuant to this Agreement eliminates the need for other local, state, or federal authorizations relevant to the Development.
 - c. **Amendment.** This Agreement may be amended or modified only by written agreement, signed by both parties.
 - d. **Default.** The Village reserves to itself all remedies available at law or equity as necessary to cure any default by Developer. Remedies shall be cumulative, and the exercise of one shall not preclude the exercise of others.

- e. Entire Agreement. This Agreement, and any written amendments and referenced attachments, hereto, shall constitute the entire agreement between the Village and Developer pertaining to the Development.
- f. Binding Effect. This Agreement is binding upon the parties hereto, as well as their respective heirs, successors and assigns.
- g. Enforcement Attorneys' Fees. If the Village is required to resort to litigation, arbitration, or mediation to enforce the terms of this Agreement, and if the Village substantially prevails on any claim in the litigation, arbitration, or mediation, the Developer shall pay all Village costs, including reasonable attorneys' fees and expert witness fees.
- h. No Assignment. The benefits of this Agreement to the Developer are personal and shall not be assigned without the express, prior written approval of the Village. Such approval may not be unreasonably withheld, but any unapproved assignment is void. Notwithstanding the above, the burdens of this Agreement are personal obligations of the Developer and shall also be binding on the heirs, successors and assigns of the Developer.
- i. Insurance. The Developer shall provide the Village with a certificate of insurance and active insurance naming the Village as an additional insured for the issuance of permits, ongoing operations, and completed operations with minimum commercial general liability coverage of \$2,000,000 per occurrence and \$5,000,000 general aggregate together with workers' compensation and employers' liability in the amount of \$500,000 for each accident. Such insurance must be maintained for a period of not less than twelve months after the acceptance of the project and completion of all work described in this agreement. Insurance must be provided by an insurance company authorized to do business in the State of Wisconsin and must have an AM Best rating at the time of inception of the policy of A- or better. Developer must also require their contractors and subcontractors to provide insurance no less than above, including additional insured provisions protecting the Village for ongoing and completed operations.
- j. Sovereign Immunity. Nothing contained in this Agreement constitutes a waiver of the Village's sovereign immunity under Wisconsin law.
- k. Disclaimer of Personal Liability of Public Officials. Under no circumstances shall any Village official, officer, employee or agent (together "Village") have any personal liability arising out of this Agreement, and no party shall seek or claim any such personal liability. Furthermore, the Village shall have no obligation or liability for any obligations or responsibility to any lending institution, contractor

or subcontractor or any other party retained by the Developer in the performance of its obligations and responsibilities under the terms and conditions of this Agreement. The Developer specifically agrees that no representation, statements, assurances or guarantees will be made by the Developer to any third party or by any third party that is contrary to this provision.

- l. Developer Representations and Warranties. Developer represents and warrants to the Village (a) that it is a corporation duly organized and existing under the laws of the State of Wisconsin and that all proceedings of the Developer necessary to authorize the negotiation and execution of this Agreement, and the consummation of the transaction contemplated by this Agreement, have been taken in accordance with applicable law, and (b) that all documents required to be executed and delivered by the Developer have been duly and validly authorized, executed and delivered and will be enforceable against the Developer in accordance with their terms, except as limited by bankruptcy, insolvency or other similar laws of general application affecting the enforcement of creditors' rights.
- m. Severability. If any part, term, or provision of this Agreement is held by a court of competent jurisdiction to be illegal or otherwise unenforceable, such illegal or unenforceable part, term or provision shall not affect the validity of any other part, term or provision and the rights of the parties will be construed as if the part, term or provision was never included in this Agreement.
- n. Recording. The parties agree that this Agreement shall be recorded with the Washington County Register of Deeds. The Developer shall reimburse the Village for the cost of recording this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the dates set forth below.

Dated this _____ day of _____, 2022.

VILLAGE OF JACKSON

By: _____
Mike Schwab, Village President

Attest: _____

Dated this _____ day of _____, 2022.

NEUMANN DEVELOPMENTS, INC.

By: _____
Authorized Representative

DRAFT

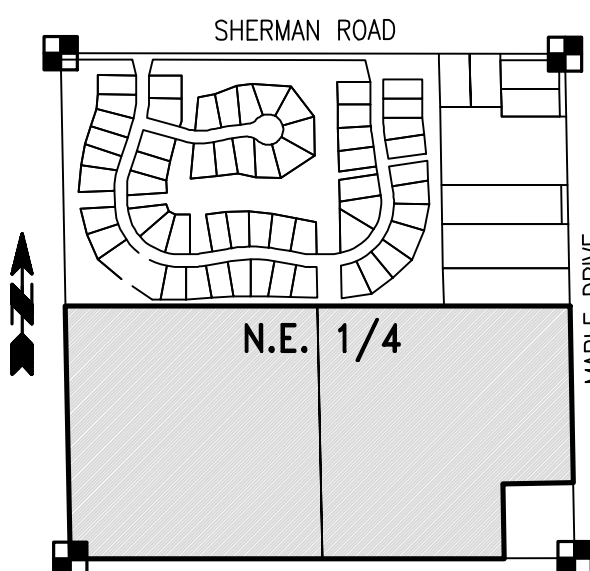
PRELIMINARY PLAT OF MAPLE FIELDS

BEING A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29,
TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



4100 N. CALHOUN ROAD
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: gg@trioeng.com

SCALE: 1" = 100'



LOCALITY MAP:
N.E. 1/4, SEC. 29,
T. 10 N., R. 20 E.
SCALE: 1"=1000'

DEVELOPER:

NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072
PHONE: (262) 542-9200

ENGINEER / SURVEYOR:

TRIO ENGINEERING, LLC
4100 N. CALHOUN ROAD, SUITE 300
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480

PROJECT:
MAPLE FIELDS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
09/30/2021	VILLAGE SUBMITTAL
11/04/2021	VILLAGE SUBMITTAL

DATE:

NOVEMBER 4, 2021

JOB NUMBER:

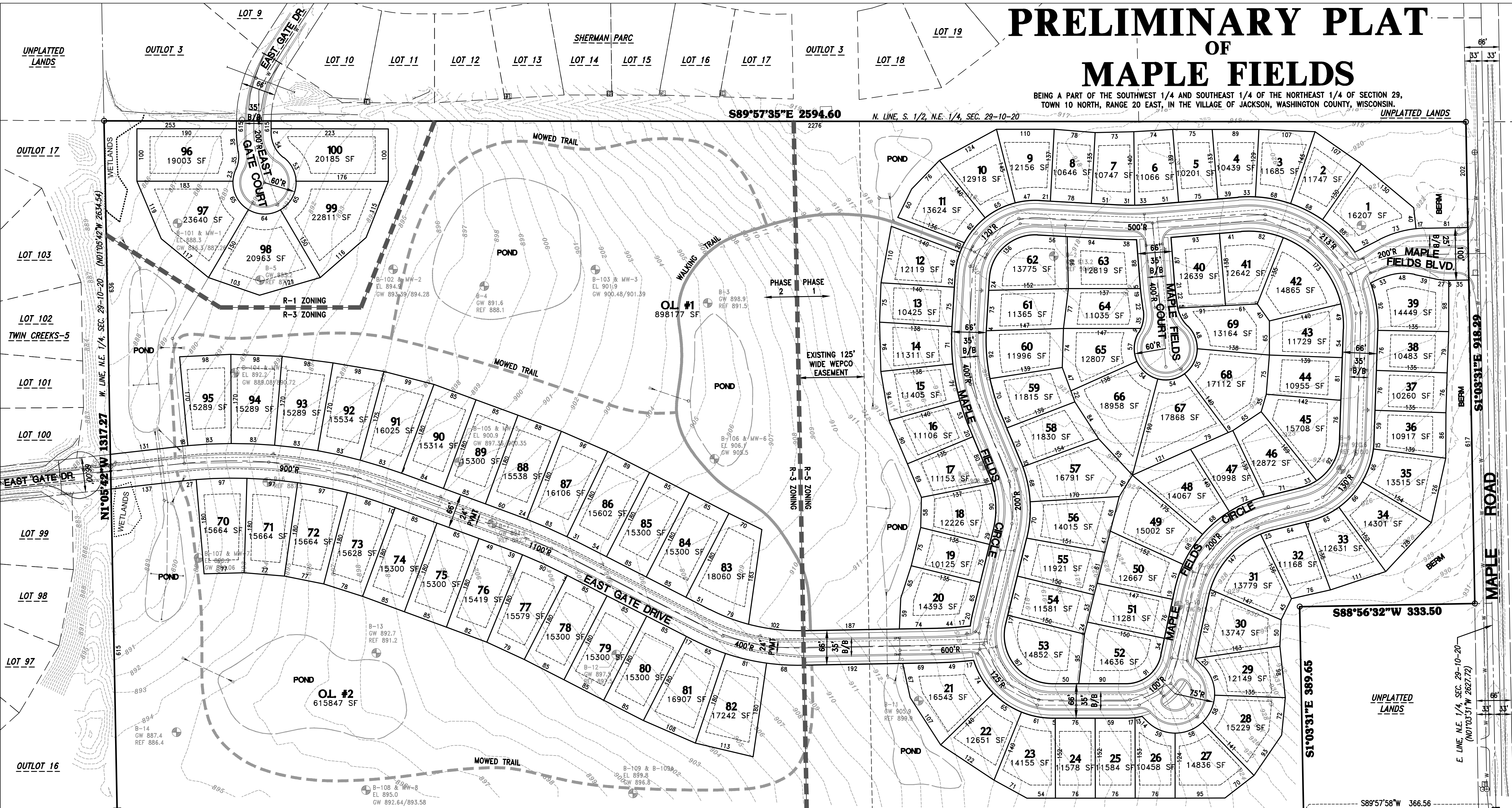
16-016-953-01

DESCRIPTION:

PRELIMINARY
PLAT

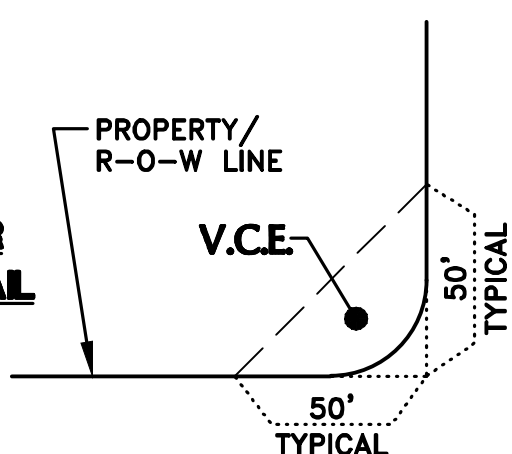
SHEET

1 OF 1



UNPLATTED LANDS
CENTER, SEC. 29-10-20
WIS. STATE PLANE COORD.
SYSTEM - SOUTH ZONE
CONG. MON. W/ BRASS CAP
N 478,997.75
E 2,491,876.65

VISION CORNER EASEMENT DETAIL



VISION CORNER EASEMENT: (V.C.E.)

Corner lots as shown on this plat are subject to a Vision Corner Easement in that no structure or improvements of any kind is permitted within the Vision Corner. No vegetation (except trees) shall exceed a maximum height of 30 inches, as measured from the road edge to the top of the vegetation, in the location designated as the vision corner. Trees in the vision corner shall be trimmed to a height of 60 inches, as measured from the road edge to the bottom branches, to allow for a clear view of oncoming traffic.

LOTS 1-69

Proposed Zoning: R-5
Minimum Lot Area= 8,000 sf
(Typ. Lot Area= Min. 10,000 sf)
Minimum Lot Width at Setback Line = 70'
(Typ. Lot Width at Setback Line = 75')
Minimum Front Yard Setback = 25'
Minimum Side Yard Setback = 8'
Minimum Rear Yard Setback = 25'
Avg. Lot Size = 12,810 sf

LOTS 70-95

Proposed Zoning: R-3
Minimum Lot Area= 12,000 sf
(Typ. Lot Area= Min. 15,000 sf)
Minimum Lot Width at Setback Line = 80'
(Typ. Lot Width at Setback Line = 85')
Minimum Front Yard Setback = 30'
Minimum Side Yard Setback = 12'
Minimum Rear Yard Setback = 25'
Avg. Lot Size = 15,700 sf

LOTS 96-100

Proposed Zoning: R-1
Minimum Lot Area= 16,000 sf
(Typ. Lot Area= Min. 19,000 sf)
Minimum Lot Width at Setback Line = 100'
Minimum Front Yard Setback = 30'
Minimum Side Yard Setback = 15'
Minimum Rear Yard Setback = 25'
Avg. Lot Size = 21,320 sf

SITE DATA:

Total Site Area = 75.33 ac
Proposed Zoning = R-1, R-3, & R-5
Proposed Number of Lots = 100
- R-1 Lots = 5 lots
- R-3 Lots = 26 lots
- R-5 Lots = 69 lots
Net Density = 1.33 un/ac
Open Space = 34.76 ac (46.1%)
(OL 1 & OL 2)
Total Street Length = 5,417 lf (54.2 lf/lot)
- R-5 Road = 3,500 lf (50.7 lf/lot)
- R-3 Road = 1,767 lf (68.0 lf/lot)
- R-1 Road = 150 lf (30.0 lf/lot)

LEGEND

	INDICATES SOIL BORING LOCATION
	INDICATES PROPOSED FIRE HYDRANT
	INDICATES EXISTING WATERMAIN
	INDICATES PROPOSED WATERMAIN
	INDICATES EXISTING SANITARY SEWER
	INDICATES PROPOSED SANITARY SEWER
	INDICATES EXISTING STORM SEWER
	INDICATES PROPOSED STORM SEWER
	INDICATES EXISTING CONTOUR

DEVELOPMENT SUMMARY:

- Tax Key Nos. T7_0751 & T7_075200A
- Subdivision contains approximately 75.3278 Acres.
- Subdivision contains 100 Lots and 2 Outlots.
- All lots to be served by Sanitary Sewer and Watermain.
- Public Roads to have Asphalt Pavement. Sidewalks and Concrete Curb and Gutter are provided in areas as illustrated and/or noted on the plan.
- All lots to have Underground Telephone, Electric, and Gas Service.
- Zoning = R-1, R-3, & R-5
- Stormwater Management Facilities are located on Outlots 1 and 2 of this Subdivision.

HORIZONTAL DATUM PLANE:

All bearings are referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-27), in which the East line of the N.E. 1/4 of Section 29, Town 10 North, Range 20 East, Bears North 01°03'31" West.

VERTICAL DATUM PLANE:

All elevations are referenced to the National Geodetic Vertical Datum of 1929. Topographic Information shown hereon is from a field Topographic Survey performed by Trio Engineering, LLC.

WETLAND DELINEATION NOTE:

Wetland boundaries shown herein were delineated by Statelac Inc May 2018 and field surveyed by Trio Engineering, LLC in May 2018.

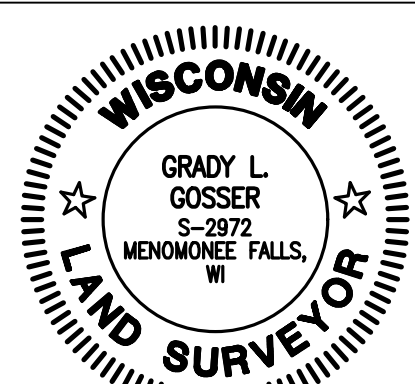
WETLAND RESTRICTIONS:

These areas identified as WETLAND on this Plat shall be subject to the following restrictions:

- Grading, filling and removal of topsoil or other earthen materials are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use-Planning and Zoning Division. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use-Planning and Zoning Division shall also be permitted. The removal of any vegetative cover that is necessitated to provide access or service to an approved residence or accessory building, shall be permitted only when the access or service cannot be located outside of the Conservancy/Wetland/Floodplain/Primary Environmental Corridor and with approval from the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use-Planning and Zoning Division.
- Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited within the Conservancy/Wetland/Floodplain area and shall be discouraged to the greatest extent possible within the Primary Environmental Corridor area.
- The introduction of plant material not indigenous to the existing environment is prohibited.
- Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The construction of buildings is prohibited.

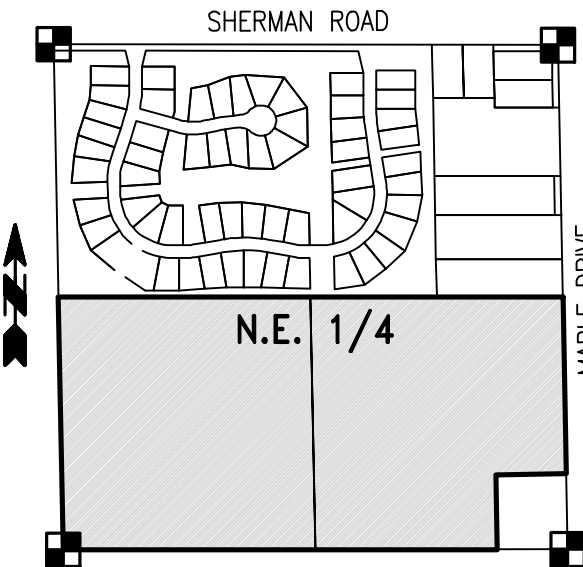
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OF
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4100 N. CALHOUN ROAD
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: ggosser@trioeng.com

SCALE: 1" = 100'
0 50 100 200



LOCALITY MAP:
N.E. 1/4, SEC. 29,
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SCALE: 1"=1000'

DEVELOPER:

NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072
PHONE: (262) 542-9200

ENGINEER / SURVEYOR:

TRIO ENGINEERING, LLC
4100 N. CALHOUN ROAD, SUITE 300
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480

PROJECT:
MAPLE FIELDS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
09/30/2021	VILLAGE SUBMITTAL
11/04/2021	VILLAGE SUBMITTAL

DATE:

NOVEMBER 4, 2021

JOB NUMBER:

16-016-953-01

DESCRIPTION:

PRELIMINARY
PLAT

SHEET

1 OF 1

Phase 1

Phase 3

Phase 2

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- R-5 Lots = 69 lots
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	INDICATES SOIL BORING LOCATION
	INDICATES PROPOSED FIRE HYDRANT
	INDICATES EXISTING WATERMAIN
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- The construction of buildings is prohibited.

AGENCIES HAVING THE AUTHORITY TO OBJECT:

- State of Wisconsin, Department of Administration
- Washington County Planning and Parks Commission

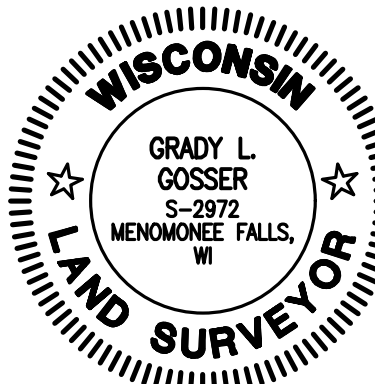
APPROVING AUTHORITY:

- Village of Jackson

SURVEYOR'S CERTIFICATE:

I hereby certify that this preliminary plat is a correct representative of all existing land divisions and features and that I have fully complied with the provisions of the subdivision and platting code of the Village of Jackson.

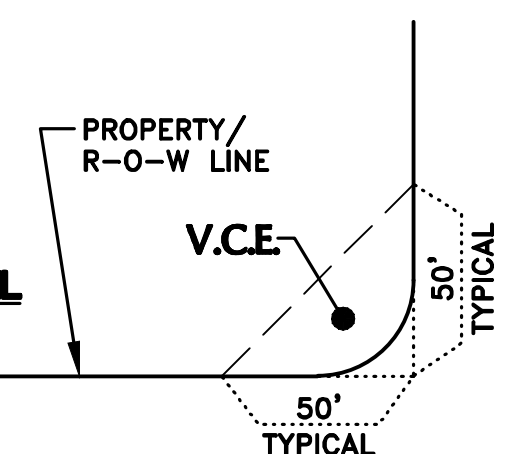
Date: 09-30-21
Revised: 11-04-21



Grady L. Gosser, P.L.S.

Surveyor Registration Number S-2972
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

VISION CORNER
EASEMENT DETAIL



VISION CORNER EASEMENT: (V.C.E.)

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Avg. Lot Size = 12,810 sf

LOTS 70-95

Proposed Zoning: R-3
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(Typ. Lot Area= Min. 15,000 sf)
Minimum Lot Width at Setback Line = 80'
(Typ. Lot Width at Setback Line = 85')
Minimum Front Yard Setback = 30'
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Minimum Lot Width at Setback Line = 100'
Minimum Front Yard Setback = 30'
Minimum Side Yard Setback = 15'
Minimum Rear Yard Setback = 25'
Avg. Lot Size = 21,320 sf



Public Improvements Letter of Credit

	Public Works			
	Original \$	Prior Completed	Current Completed	Balance
Sanitary Sewer				
8" PVC SDR-35 Sanitary Sewer Main (Spoil Backfill)	160,950.00			\$ 160,950.00
8" PVC SDR-35 Sanitary Sewer Main (Granular Backfill)	181,872.00			\$ 181,872.00
6" PVC SDR-35 Sanitary Lateral	79,053.00			\$ 79,053.00
48" Dia. Sanitary Manhole	87,300.00			\$ 87,300.00
Connection to Existing Sanitary Sewer	1,000.00			\$ 1,000.00
6" PVC SDR-35 Sanitary Lateral (Granular Backfill)	93,450.00			\$ 93,450.00
Sub-Total:	603,625.00			603,625.00
Water Main				
8" PVC C-900 Class 235 Water Main (Spoil Backfill)	132,986.00			\$ 132,986.00
8" PVC C-900 Class 235 Water Main (Granular Backfill)	166,241.00			\$ 166,241.00
6" PVC C-900 CLASS 235 Water Main (Spoil Backfill)	6,480.00			\$ 6,480.00
6" PVC C-900 CLASS 235 Water Main (Granular Backfill)	8,930.00			\$ 8,930.00
8" Gate Valve w/ Valve Box	27,500.00			\$ 27,500.00
6" Gate Valve w/ Valve Box	26,600.00			\$ 26,600.00
Hydrant Assembly w/ 6" Valve	59,800.00			\$ 59,800.00
Existing Hydrant - Relocated	1,500.00			\$ 1,500.00
1 1/2" Poly Water Service Line	59,085.00			\$ 59,085.00
Curb Stop	11,400.00			\$ 11,400.00
Connect to Existing Water	1,500.00			\$ 1,500.00
Sub-Total:	502,022.00			502,022.00
Storm Sewer				
8" PVC Storm Pipe	1,350.00			\$ 1,350.00
12" RCP Storm Sewer	44,660.00			\$ 44,660.00
15" RCP Storm Sewer	2,880.00			\$ 2,880.00
15" HDPE Storm Culvert	3,840.00			\$ 3,840.00
18" RCP Storm Sewer	28,850.00			\$ 28,850.00
24" RCP Storm Sewer	30,910.00			\$ 30,910.00
6" Sump Collector	16,875.00			\$ 16,875.00
6" PVC (sump laterals)	24,350.00			\$ 24,350.00
Sump Clean Out	9,600.00			\$ 9,600.00
2x3 Precast Inlets w/Frame & Grate	26,250.00			\$ 26,250.00
48" Dia. Precast Manhole (w/ sump)	2,500.00			\$ 2,500.00
42" Dia. Precast Field Inlet	5,700.00			\$ 5,700.00
48" Dia. Precast Manhole	20,000.00			\$ 20,000.00
15" HDPE End Section w/ Rip rap	1,600.00			\$ 1,600.00
15" Pipe End Section	1,000.00			\$ 1,000.00
18" Pipe End Section	800.00			\$ 800.00
Storm Ponds				
36" RCP Pond Outlet Pipe	13,000.00			\$ 13,000.00
24" RCP Pond Outlet Pipe	4,500.00			\$ 4,500.00
8" PVC Riser Inlet Pipe	900.00			\$ 900.00
48" Riser Structure	2,500.00			\$ 2,500.00
60" Riser Structure	3,000.00			\$ 3,000.00
36" End Section w/ Rip Rap	1,000.00			\$ 1,000.00
24" End Section w/ Rip Rap	900.00			\$ 900.00
Sub-Total:	246,965.00			246,965.00
Curb, Gutter & Roadways				
6" - 3/4" Traffic Bond Base Course	56,100.00			\$ 56,100.00
6" - 1.25" Traffic Bond Base Course	47,850.00			\$ 47,850.00
30" Mountable Curb & Gutter	67,386.00			\$ 67,386.00
Concrete Flumes	1,050.00			\$ 1,050.00
Bituminous Asphalt Pvmt. (Binder Course)	88,454.00			\$ 88,454.00
Base Stone-sidewalk	18,060.00			\$ 18,060.00
Mobilization & Concrete Sidewalk 5"	61,690.00			\$ 61,690.00
ADA Ramps	2,250.00			\$ 2,250.00
Milling, Paving Rings & Interim Inlets	36,900.00			\$ 36,900.00
Bituminous Asphalt Pvmt. (Surface Course)	55,320.00			\$ 55,320.00
Sub-Total:	\$ 435,060.00			\$ 435,060.00
Sanitary, Water & Storm LOC:	\$ 1,787,672.00			\$ 1,787,672.00



Maple Fields Phase 1 Pre-Construction Schedule 04/01/22		2022										2023				
#	TASK	April	May	June	July	Aug	Sept	Oct	Nov			May	June	July	Aug	Sept
1	Pre-Construction Meeting															
2	Silt Fence / Mobilization															
3	Strip Topsoil															
4	Mass Grading - Roadways & Ponds															
5	Sanitary Sewer Main / Laterals															
6	Mass Grading - Lots															
7	Pond Clay Liners															
8	Topsoil Respread - Ponds															
9	Stabilize Ponds and Drainage Swales															
10	Water Main & Laterals															
11	Storm Sewer															
12	Grade Roads & Re-Spread Spoils															
13	Topsoil Respread & Stabilize- Pads															
14	Proof Roll Roadways															
15	Stone for Road Base															
16	Curbs															
17	Backfill Curbs															
18	Fine Grade & Paving (binder course)															
19	Sidewalks															
20	Gas Installation															
24	Electrical Installation															
25	Topsoil & Stabilize ROW															
Phase 1 - Final Lift (2023)																
1	Milling															
2	Curb Replacements/Interim Inlets															
3	Adjustments															
4	Asphalt paving															

Scheduled Task 
Completed Task 

STAFF MEMO

Village of Jackson Plan Commission

Meeting Date: April 28, 2022

Agenda Item: Item #7

To: Mike Schwab, Village President
Village of Jackson Plan Commission
Tim Schwecke, Planner

From: Jen Keller, Village Administrator

Subject: Developers Agreement – Phase I Maple Fields Subdivision – Neumann Development, Inc.

Description:

Neuman Developments Inc. and the Village of Jackson shall enter into a Developer's Agreement for the improvement of parcels identified by tax ID V3_075200A and V3_0751, totaling 76.02 acres. The subject parcels were rezoned in early 2022 to fit the use as proposed by Neumann Development for R-1, R-3, and R-5 single family residential zoning districts. The preliminary plat was approved by the Village Board on December 14, 2021. Staff have worked with the applicant to draft a Developer's Agreement for Phase I of a three (3) phased construction of the Maple Fields subdivision. Phase I shall consist of 35 lots and Outlot #1. Additional plans available at the time of this memo being authored have been included which will be attached to the Developer's Agreement.

Plans which the developer will need to submit for review and approval by the Village prior to land disturbance include stormwater plans, drainage plans, erosion control plans, grading and landscaping plans, and road/utility plans. These reviews are anticipated to take place at the Staff level between Engineer Kober, Administrator Keller, Planner Schwecke, and Attorney Parmentier.

Review Procedures:

The Plan Commission is advisory to the Village Board.

Notice Requirements:

There are no additional notice requirements aside from posting on the agenda.

Potential Motion:

Motion to recommend the Village Board approval of the Maple Fields Phase I Development Agreement conditioned upon Staff review and approval of the forthcoming plans to satisfy requirements for Exhibit B plans.

Attachments:

1. Application Materials
2. Draft Developers Agreement

STAFF MEMO

Village of Jackson Plan Commission

Meeting Date: April 28, 2022

Agenda Item: Item #8

To: Mike Schwab, Village President
Village of Jackson Plan Commission
Tim Schwecke, Planner

From: Jen Keller, Village Administrator

Subject: Review and recommendation of draft ordinance establishing public hearing notification requirements for Planned Unit Development, Conditional Use, Rezoning, and Street Easement/Vacations

Description:

At the March Village Board meeting, Staff were directed to draft an ordinance to establish direct notification via mailed public hearing notices to all contiguous property owners to properties with a scheduled public hearing for an application for a Planned Unit Development, Conditional Use, Rezoning or Street easement/vacation.

Review Procedures:

The Plan Commission is advisory to the Village Board.

Notice Requirements:

There are not additional notice requirements side from posting on the agenda.

Potential Motion:

Motion to recommend the Village Board approval of the draft ordinance establishing public hearing notification requirements for Planned Unit Development, Conditional Use, Rezoning, and Street Easement/Vacations.

Attachments:

1. Draft Ordinance (forthcoming)