

AGENDA

PLAN COMMISSION MEETING

Thursday, February 27, 2020 at 7:00 p.m.

Jackson Village Hall

N168 W20733 Main Street

Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of Minutes for the Plan Commission Meeting of January 30, 2020
3. Concept Plan – John and Steve Kreuser – Self-Storage Facility
4. Planned Unit Development Amendment – Design 2 Construct/J & M Ltd – Storage Building
5. Certified Survey Map – Town of Jackson, Behrens 1927 LLC – Sherman Road
6. Certified Survey Map – Town of Jackson, Steven Weinand – 4310 Jackson Drive
7. Resolution #20-02 – Reaffirming Plan Commission Approval of Village of Jackson Comprehensive Plan 2050
8. Citizens to Address the Plan Commission
9. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday, January 30, 2020 at 7:00 p.m.
Jackson Village Hall
N168 W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call

Pres. Schwab called the meeting to order at 7:00 p.m.

Members present: Tr. Emmrich, Tr. Kruepke, Jon Molkentin and Dan Reik

Member Excused: Keith Berben and Jon Weil

Staff Present: Collin Johnson, John Walther and Jilline Dobratz.

2. Approval of Minutes for the Plan Commission Meeting of October 31, 2019 and Special Plan Commission Meeting of January 14, 2020

Motion by Tr. Kruepke, second by Tr. Emmrich to approve the Plan Commission minutes of October 31, 2019 and the Special Plan Commission Meeting of January 14, 2020.

Vote: 5 ayes, 0 nays. Motion carried.

3. Conditional Use Permit – Scott Poole – Storage Building

Scott Poole was present and stated the building will be a good fit with the neighboring buildings and they want to improve the facility. Collin Johnson commented this is a redraft of another proposal for this property with a very similar type of use. He doesn't have an issue with it in terms of zoning. One concern is exterior storage on the site and asks for consideration of limiting or prohibiting exterior storage without an amendment. The building has been unkept for a while, any improvements to the building itself would be welcomed. The stormwater issue needs to be dealt with and asked the Board to impose a timeframe. This is something that should have been addressed years ago. The Ordinance does require a buffer between the M1 use district and the residential district. The board would address how to accommodate the requirement whether by fence, vegetative buffer or a combination of both. Discussion on outside storage ensued. Scott Poole commented they do not plan to store items outside and do not want to see outside storage. Collin stated the site does not have its own electrical supply. It is currently being provided from the adjoining property. Scott Poole gave information on how they plan to address the stormwater issue this summer, putting in fill/dirt in the back and adding a vegetative buffer. Collin remarked any stormwater plans and grading are subject to Village approval. It is up to them to bring a plan to the Village. Discussion ensued on water issues. John Walther commented a berm would contain any water that is on that parcel to that parcel and then they could proceed to understand how to get it to drain to the north. Scott Poole addressed the vegetation berm, he would like a mixture of tall grasses and some shrubs. Collin replied evergreens are a smart choice to provide a year-round buffer or a variety of shrubs and species.

Motion by Pres. Schwab, second by Dan Reik to recommend the Village Board approve the Conditional Use Permit – Scott Poole – Storage Building per staff comments and with the improvements as discussed to be complete by December 31, 2023, that the property not be used for exterior storage other than the occasional personal vehicle and that the buffer zone be put in with something that grows to a height of 6 feet on the surrounding property.

Vote: 4 ayes, 0 nays, 1 abstain (Tr. Kruepke). Motion carried

4. Citizens to Address the Plan Commission

None.

5. Adjourn

Motion by Pres. Schwab, second by Tr. Emmrich to adjourn.

Vote: 5 ayes, 0 nays. Meeting adjourned at 7:22 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCMC*
Village Clerk

VILLAGE OF JACKSON PLAN COMMISSION APPLICATION FORM

(Meetings are held the LAST Thursday of the month. Applications are DUE the 1st Friday of the month PRIOR to that month's Planning Commission Meeting)

Name of Applicant/Agent: John + Steve Kreuser
 Address: 1583 Saint Augustine Circle City: Hubert + 45 State: WI Zip: 53033
 Phone #: 414-312-1663 E-mail: Kreuserj049@gmail.com
 Property Owner: Jill Martin Zero - Primary Contact Person: David Buckley (Agent)
 Address: W208 N16927 N. Center St. West City: JACKSON State: WI Zip: 53037
 Phone #: 414-271-1870 E-mail: dbuckley@barrycle.com
 SUBJECT PROPERTY ADDRESS: LOT #2, ALCAN COURT Parcel No. Tax ID: V3-0090004

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See reverse)	Paper Copy	USB DRIVE
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe the intended use and operation	Yes	Yes
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') 4) Property owner acknowledgement of the request	Yes	Yes
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map	Yes	Yes
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat	Yes	Yes
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat 10) Certified Survey Map	Yes	Yes
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	Yes	Yes
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape and Buffer Plan	Yes	Yes
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure	4 (24x36)	Yes
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading / Drainage Plan 16) Water / Sanitary Sewer / Storm Sewer Plans	4 (24x36)	Yes
FINAL PLAT / Final Plat Reappl.	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections 18) Erosion Control Plan	4 (24x36)	Yes
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials 20) Developers Agreement		Yes
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements) 22) Other -		Yes
VARIANCE	\$150	1,2,3,4,6,7			
LABELS (If provided by the Village)	\$25		Submit additional fee unless providing mailing labels	Yes	

OFFICE USE ONLY: Date Received 2-7-2020 Date Paid 2-7-2020 Receipt # 228142 Amount Paid \$ 50.00

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____ - _____

PROPERTY INFORMATION

- ☒ **COMMERCIAL** ☐ **INDUSTRIAL** ☐ **RESIDENTIAL** ☐ **OTHER** _____
- ☐ **CONDITIONAL USE** ☐ **SPECIAL USE** ☒ **PLANNED UNIT DEVELOPMENT (PUD)**
- (See Ch. 48, Article III, Div. 5) (See Ch. 48, Article III, Div. 6) (See Ch. 48, Article III, Div. 2, Sec. 48-241)
- ☐ New ☐ New ☒ New
- ☐ Amended ☐ Amended ☐ Amended

Subject Property Address: LOT #2, Aican Court Unit: _____ Jackson, WI

Parcel #: Tax ID: V3-0090004 Lot Size: 4.875 Acres (212,355 sq. ft.) Building Area: 82,575 sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☒ PUD ☐ Other _____ ☐ Floodplain

APPLICANT INFORMATION

Name(s): John + Steve Kreuser

Mailing Address: 1583 Saint Augustine Circle, Hubertus State WI Zip 53033

Office: (____) _____ Cell: (414) 312-1663 Fax: (____) _____

Email: Kreuserj049@gmail.com

BUSINESS INFORMATION

Legal Business Name: LLC To be formed prior to closing

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (____) _____ Cell: (____) _____ Fax: (____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): Jill Martin

Address: W208N16927N. Center Street, Jackson State WI Zip 53037

Office: (____) _____ Cell: (414) 271-1870 Fax: (____) _____

Email: dbuckley@barrycre.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: Keller (Planners/Architects/Builders)

Primary Contact: Dave Uttech

Address: W204N11509 Goldendale Rd, German State WI Zip 53022
Town

Office: (262) 250-9710 Cell: (____) _____ Fax: (____) _____

Email: duttech@kellerbuilds.com

Applications shall be submitted NO LATER than 4:00 PM on the 1st Friday of the month to be considered at that month's meeting. In some cases, additional copies of a submittal may be required. Only COMPLETE applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month at which a public hearing may be held. A decision on the request could be made at that time.

EXPLANATION OF TYPES OF INFORMATION REQUIRED (From front page of application form)

1. **Application Form:** You **MUST SUBMIT both HARD (paper) and DIGITAL (USB Drive) copies of your application.**
2. **Letter of Intent:** What you are requesting in your own words? *(Be brief)*
3. **Mailing/Address Labels:** It is your responsibility to provide the Village with addresses labels of ALL adjacent property owners within a 200-foot radius of the subject property. If mailed notification is required for your application, an incorrect address may cause a delay. *(Additional \$25 is required if Village provides address labels.)*
4. **Proof of Property Ownership:** A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. **Impact Statement:** In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. General hours of operation.
 - B. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc).
 - C. Vehicle trip generation (trips per day per unit x number of units).
 - D. Estimated numbers of vehicles and/or equipment, materials, to be parked and/or stored on site.
 - E. Proposed sign(s) advertising business, directional signage, dwelling unit rental, etc.
 - F. Proposed dates of construction and completion.
 - G. Anticipated user profiles (for residential developments).
 - H. Annual water consumption estimate (100% occupancy and build-out).
 - I. Annual sewage generation estimate (100% occupancy and build-out).
6. **Location Map:** An aerial map indicating where the site is located within the Village.
7. **Development Plan:** Show entire proposal on the site. Include edge of pavement and/or back of the curb line, sidewalks (existing and proposed), structure footprint(s), driveways, parking areas, fencing, refuse enclosures, locations of accessory uses, and overall dimensions of structures and setbacks, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. **Plat Map:** Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. **Certified Survey Map:** A recordable document showing the legal and mapped description of the land division.
11. **Annexation Petition/Attachment Request:** Shows owner is supporting the annexation.
12. **Annexation Map:** A recordable map having the legal and mapped description of the parcel to be annexed.
13. **Sketch Plan:** An informal drawing depicting the proposal for discussion purposes.
14. **Landscape Plan:** Show location, size, type, botanical name & common name of proposed trees & shrubs. Also details surface treatments. Show walls, fence location and style, buffers/screening and similar details.
15. **Grading/Drainage Plan:** Show original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (Storm sewer system, ditches, culverts, etc.)
16. **Water/Sewer/Storm Sewer Plans:** Show size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer system with gradient profiles and invert elevations; shows the proposed storm drainage system as in #15 above.
17. **Street Crossing Sections:** Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. **Erosion Control Plan:** A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. **Proposed Building Colors and Materials:** Submit samples of exterior colors and materials.
20. **Improvement Agreement:** An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. **Annexation Agreement.**

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS

VILLAGE OF JACKSON

N168W20733 MAIN ST.

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 228142**Date:** 2/07/2020**Check****RECEIVED
FROM**

JOHN & STEVE KREUSER

\$50.00

Type of Payment**Description****Amount**

Accounting

Account Nbr: 100-00-45730-000-000

50.00

PLANNING / ZONING FEES

CONCEPT PLAN / PLAN COMMISSION / CK#3713

TOTAL RECEIVED50.00

Receipt Memo: CONCEPT PLAN/FEB PLAN COMMISSION/CK#3713

Please provide as much detailed information as possible. (Add additional pages if needed)

Briefly explain what you are requesting to be reviewed and/or approved: Review and approval of concept plan for the development of a self-storage facility located on Lot 2, Alcan Court in the Jackson Northwest Business Park. We believe this is a discrete location for the placement of a multi-storage facility which provides safe and convenient access.

Provide a brief overview of proposed use(s) of entire property and/or lease space:

We propose building a self storage facility with large and medium sized storage units. Larger units would be approx 15' wide x 45' deep to accommodate customers that have a need to store larger format items like travel trailers, fifth wheels, pontoon boats, etc. All units would be furnished with electricity and the larger format units would provide indoor lights, wall outlets and overhead garage door openers with press key pads for security and access. Site would be ADA compliant. Exterior lighting would be wall mounted, downward facing LED's to minimize light pollution while providing sufficient lighting for security.

Hours of operation: Customers would have access to their storage units 24/7.

Provide a brief overview of proposed daily on-site operations: Minimal impact to the neighboring community. Access would be provided from the cul-de-sac entrance on Alcan Court. Units are to be used for tenant storage of property.

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment etc.: Minimal environmental impact is anticipated to the site or adjacent properties. Snow removal will be maintained on the property, with the site graded so that water will sheet drain to existing swales.

Describe all businesses, properties and other entities located adjacent to the proposed use:

- North Adjacent: Cedar Creek Rd. with residential across the street
- East Adjacent: Residential property (1.84 Acres) & SE adjacent: 70,000SF Building Badger Tire & Wheel (Commercial /Industrial)
- South Adjacent: Vacant 3.12 Acre Lot (Industrial Park Lot) & SW adjacent: 50,000SF Germantown Iron & Steel (Commercial / Industrial)
- East Adjacent: P.W. Walsh & Company 50,000 SF (Commercial/Industrial)

Proposed, development, on-site improvements or other construction/remodeling activities: Phase one would be the construction of 2 buildings (see site plan). One building would consist of larger units (15'x45') and the second would consist of smaller units (10'x20').

Proposed grading and/or stormwater management plan: Site will be designed to sheet drain to North, East, South & West swales which will drain offsite to the industrial park's regional storm detention areas per the master grading plan for the development.

Proposed landscape plan/improvements including driveways, sidewalks vegetative plantings, etc: Please see proposed site plan for location of drives and planting areas. Proposed entry driveway will enter from Alcan Ct. with landscaping to be provided consistent with review conducted with Village Staff. Proposed plantings on the East and West property lines to provide side yard buffers. Plantings to the North with openings to allow for sight lines between the buildings from Cedar Creek road. Sight lines provided for improved visibility from the road and increased security as requested by Village Police.

Proposed on-site security measures including site lighting: Lighting to be provided via LED lights mounted to the buildings. 24/7 video security recording will be provided on each building. The landscape plan will allow for the creation of sight lines between plantings from Cedar Creek Road to the North.

Life Safety Systems – Existing or Proposed (including fire hydrants, fire suppression & fire alarm systems): Fire hydrants per village code. Other items per code.

Projected traffic circulation and impacts: Minimal impact to the Business Park.

Setbacks from rights-of-way and property lines and height limitations:

- North property line setback: 30' road setback
- East property line setback: 15' side yard setback
- South property line setback: 30' road setback
- West property line setback: 15' side yard setback
- Building heights are designed to be 11' (for smaller buildings) and 18' (for larger buildings) +/- Maximum height.

Status of State/Federal License(s) or Certificate(s) required for operation: N/A

Does the project require other jurisdictional Approvals from other Governmental or Regulatory entities?
No

Describe any proposed signage including type and location: Building mounted signs on the gable of building 1 facing South and the North facing gables of building 2 and 5.

Exterior Building Materials (type, color, etc.):

Roofing: 29 gauge Galvalume "Grand Rib 3" exposed fasteners

Siding: 29 gauge Galvalume "Grand Rib 3" exposed fastener

Soffit/Fascia: Rollex Prefinished Aluminum w/prefinished aluminum "K" style gutters and downspouts

Site Specific Features/Constraints:

N/A: Site was master graded as pad ready for industrial park development.

Parking (Total No. of spaces plus number of dedicated handicapped parking and type): [Parking facilities to be provided per code. Minimal to no parking spaces are expected to be needed.](#)

Proposed screening/buffering from adjacent properties: [See comments above and site plan.](#)

Provisions for refuse and recycling collection / storage: [None provided: As this is not a typical feature provided by multi-storage operators.](#)

Projected Sewer/Wastewater Usage - [Zero gal/year](#)

Projected Water Usage - [Zero gal/year](#)

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Development Application and requirements and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print):

John Kreuser

Applicant Signature:

John Kreuser

Co-Applicant Name (Print):

CO-Applicant Signature:

Date of Application:

02/07/2020

You MUST sign and date this Application!

SUBMIT TO:

Village of Jackson – Village Hall (*Checks shall be made payable to Village of Jackson*)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For **general questions** related to filling out of forms or questions related to village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For inquiries concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

----- VILLAGE USE ONLY BELOW THIS LINE -----

VILLAGE APPROVAL:

☐ **TEMPORARY** *Expiration Date:* _____, 20____

Plan Commission Approval: *Meeting Date:* _____, 20____

Village Board Approval: *Meeting Date:* _____, 20____

In-House Approval (O-T-C): *Date:* _____, 20____

Approved by: John Walther, Administrator

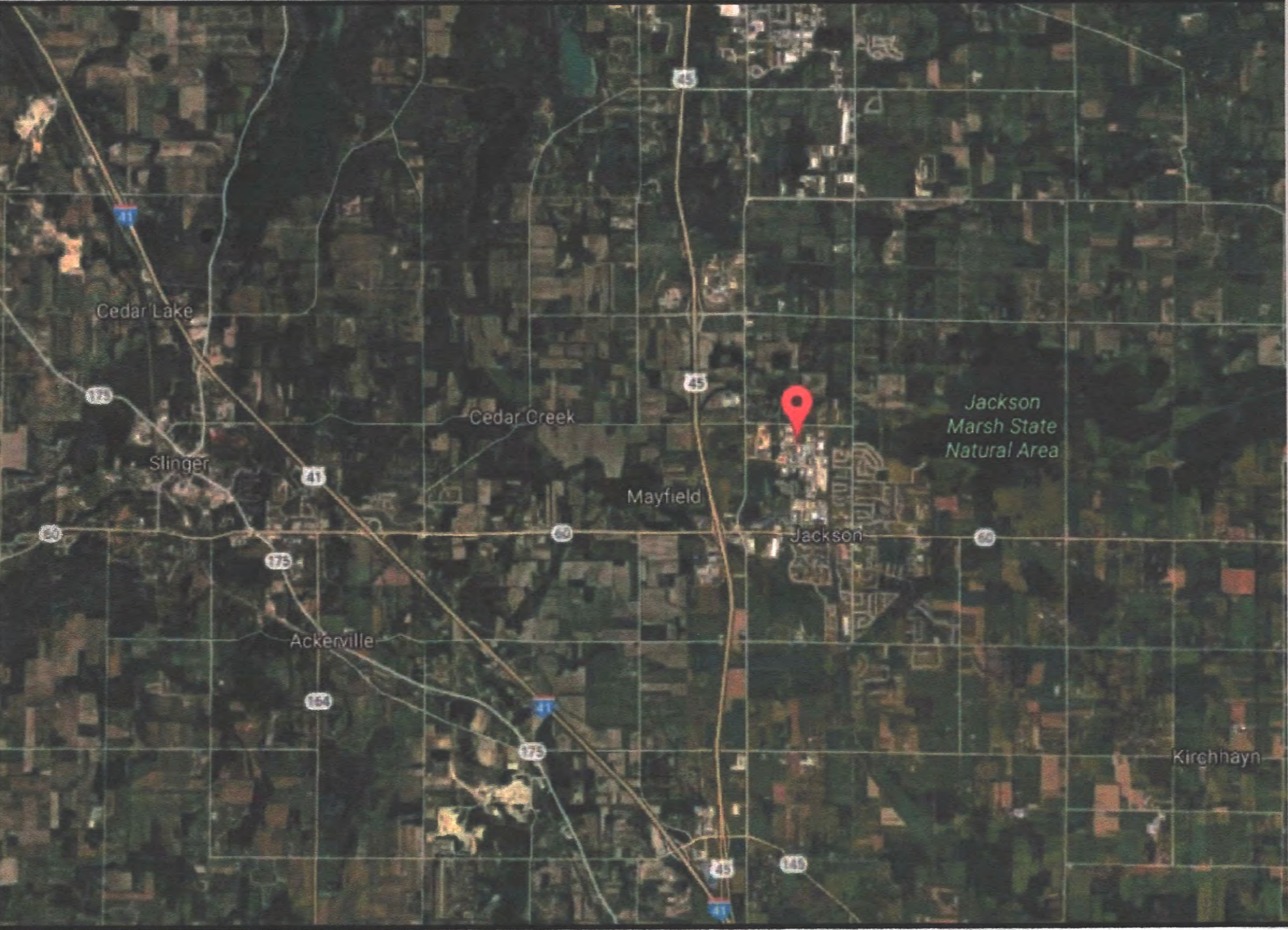
Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: *Date:* _____, 20____ *Staff Initials:* _____

Reason for Denial: _____



Subject Parcel

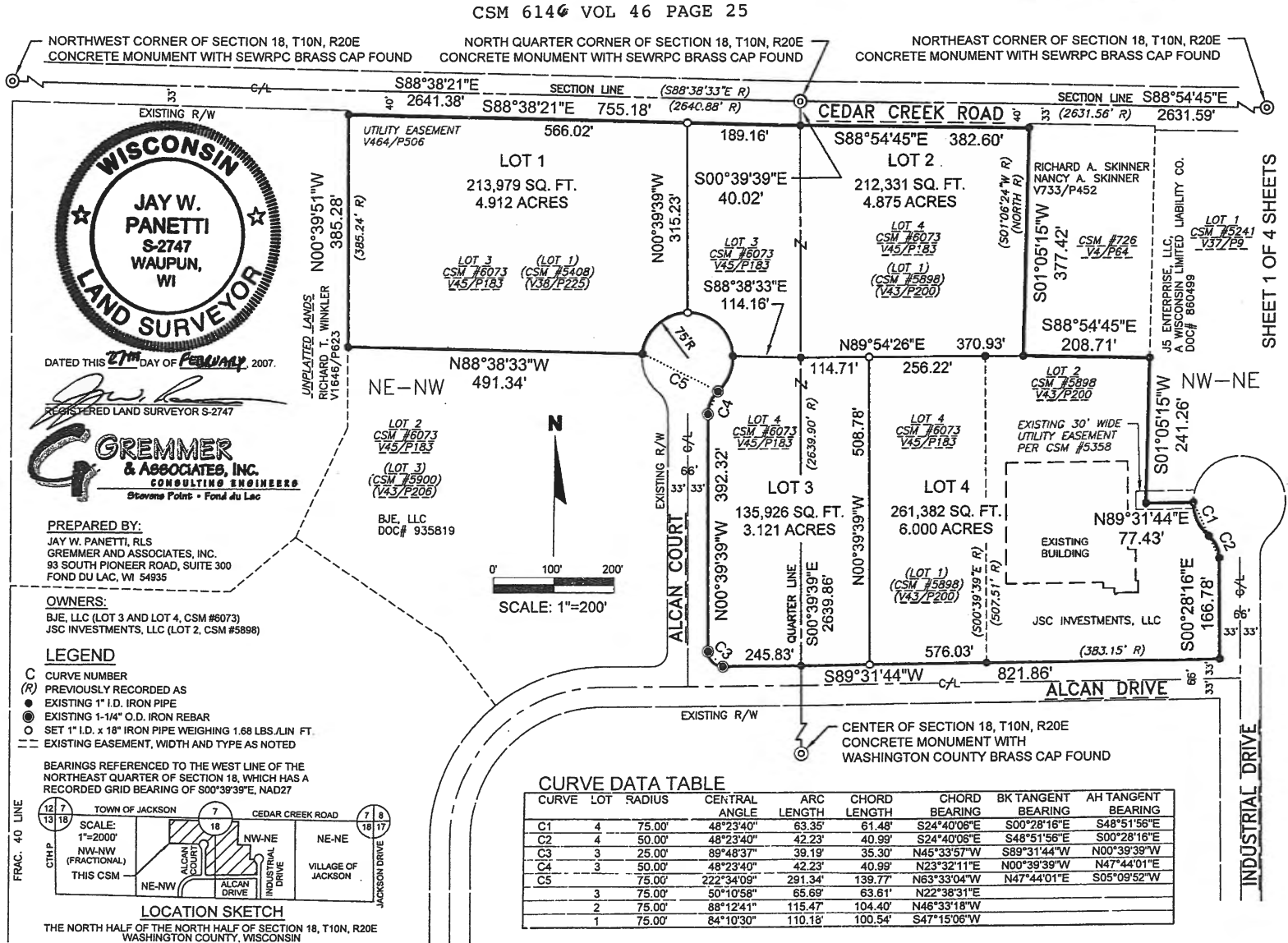
Cedar Creek Rd





CERTIFIED SURVEY MAP NO. 17-4

BEING PART OF THE NE1/4-NW1/4 AND PART OF THE NW1/4-NE1/4 OF SECTION 18, T10N, R20E, VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN, AND BEING A DIVISION OF LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 6073 VOLUME 45, PAGE 183, AND LOT 2 OF CERTIFIED SURVEY MAP NO. 5898 VOLUME 43, PAGE 200



SHEET 1 OF 4 SHEETS

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NE1/4-NW1/4 AND PART OF THE NW1/4-NE1/4 OF SECTION 18, T10N, R20E,
VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN,
AND BEING A DIVISION OF LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 6073 VOLUME 45, PAGE 183,
AND LOT 2 OF CERTIFIED SURVEY MAP NO. 5898 VOLUME 43, PAGE 200

SURVEYOR'S CERTIFICATE

I, Jay W. Panetti, Registered Land Surveyor, hereby certify to BJE, LLC and JSC Investments, LLC:

That at the direction of BJE, LLC and JSC Investments, LLC, as owners, I have surveyed, divided and mapped a parcel of land being a part of the Northeast Quarter of the Northwest Quarter and part of the Northwest Quarter of the Northeast Quarter of Section 18, Township 10 North, Range 20 East, Village of Jackson, County of Washington, State of Wisconsin, being a division of Lot 3 and Lot 4 of Certified Survey Map No. 6073 volume 45 page 183, and Lot 2 of Certified Survey Map No. 5898 volume 43 page 200, described as follows:

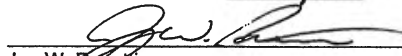
Commencing at the north quarter corner of Section 18, T10N, R20E;
thence S00°39'39"E, along the north/south quarter line of said Section 18, 40.02 feet to the existing south right-of-way line of Cedar Creek Road and the point of beginning;
thence S88°54'45"E, along the existing south right-of-way line of Cedar Creek Road, 382.60 feet to the west line of Certified Survey Map No. 726;
thence S01°05'15"W, along the west line of said Certified Survey Map No. 726, 377.42 feet to the south line of said Certified Survey Map No. 726;
thence S88°54'45"E, along the south line of said Certified Survey Map No. 726, 208.71 feet to the west line of Lot 1 of Certified Survey Map No. 5241;
thence S01°05'15"W, along the west line of said Lot 1, 241.26 feet to the southerly line of said Lot 1;
thence N89°31'44"E, along the southerly line of said Lot 1, 77.43 feet to the existing westerly right-of-way line of Industrial Drive;
thence southerly, along the existing westerly right-of-way line of Industrial Drive, along the arc of a curve concave easterly, having a radius of 75.00 feet, whose chord bears S24°40'06"E 61.48 feet;
thence southerly, along the existing westerly right-of-way line of Industrial Drive, along the arc of a curve concave southwesterly, having a radius of 50.00 feet, whose chord bears S24°40'06"E 40.99 feet;
thence S00°28'16"E, along the existing west right-of-way line of Industrial Drive, 166.78 feet to the existing north right-of-way line of Alcan Drive;
thence S89°31'44"W, along the existing north right-of-way line of Alcan Drive, 821.86 feet;
thence northwesterly, along the existing northerly right-of-way line of Alcan Drive, along the arc of a curve concave northeasterly, having a radius of 25.00 feet, whose chord bears N45°33'57"W 35.30 feet to the existing east right-of-way line of Alcan Court;
thence N00°39'39"W along the existing east right-of-way line of Alcan Court, 392.32 feet;
thence northerly, along the existing easterly right-of-way line of Alcan Court, along the arc of a curve concave easterly, having a radius of 50.00 feet, whose chord bears N23°32'11"E 40.99 feet;
thence northerly, along the existing northerly right-of-way line of Alcan Court, along the arc of a curve concave southerly, having a radius of 75.00 feet, whose chord bears N63°33'04"W 139.77 feet to the south line of Lot 3 of Certified Survey Map No. 6073;
thence N88°38'33"W, along the south line of said Lot 3, 491.34 feet to the southwest corner of said Lot 3;
thence N00°39'51"W, along the west line of said Lot 3, 385.28 feet to the existing south right-of-way line of Cedar Creek Road;
thence S88°38'21"E along the existing south right-of-way line of Cedar Creek Road, 755.18 feet to the point of beginning.

Said parcel contains 18.908 acres, more or less. Parcel subject to easements, restrictions and reservations in use or of record.

That this Certified Survey Map is a correct representation of the exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Land Division and Subdivision Ordinance of the Village of Jackson, in surveying, dividing, and mapping the same.

Dated this 27th day of February, 2007.


Jay W. Panetti
Registered Land Surveyor S-2747



CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NE1/4-NW1/4 AND PART OF THE NW1/4-NE1/4 OF SECTION 18, T10N, R20E,
VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN,
AND BEING A DIVISION OF LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 6073 VOLUME 45, PAGE 183,
AND LOT 2 OF CERTIFIED SURVEY MAP NO. 5898 VOLUME 43, PAGE 200

CORPORATE OWNER'S CERTIFICATE

BJE, LLC, and JSC Investments, LLC, corporations duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owners, do hereby certify that said corporations caused the land shown and described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map.

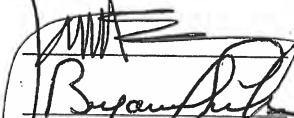
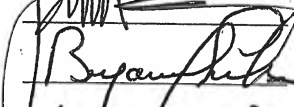
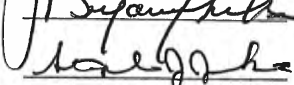
BJE, LLC, and JSC Investments, LLC, do further certify that this Certified Survey Map is required by s.235.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Jackson Planning Commission
Village of Jackson Village Board

IN WITNESS WHEREOF, the said BJE, LLC, has caused these presents to be signed by James G. Blise, Bryan J. Enders, and Stephen J. Jesmok III, its members, and the said JSC Investments, LLC, has caused these presents to be signed by Jeff Courtney, its member, at Jackson, Wisconsin, and its corporate seal to be hereunto affixed on this 29th day of March, 2007.

In presence of:

BJE, LLC
Corporate Name

James G. Blise
Member
Bryan J. Enders
Member
Stephen J. Jesmok III
Member

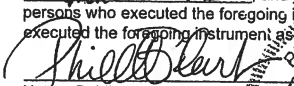
JSC Investments, LLC
Corporate Name

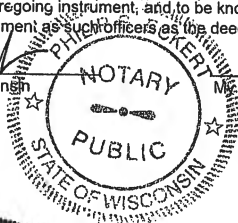


Jeff Courtney
Member

State of Wisconsin)
Washington County) SS

Personally came before me this 29th day of March, 2007, James G. Blise, Bryan J. Enders,
Stephen J. Jesmok III, and Jeff Courtney, owners of the above named corporations, to me known to be the
persons who executed the foregoing instrument, and to be known to be such members of said corporations, and acknowledged that they
executed the foregoing instrument as such officers as the deed of said corporations, by its authority.


Notary Public, State of Wisconsin
My commission expires 05/03/2009



CSM 6146 VOL 46 PAGE 27

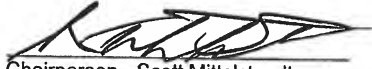
Doc# 156150

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NE1/4-NW1/4 AND PART OF THE NW1/4-NE1/4 OF SECTION 18, T10N, R20E,
VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN,
AND BEING A DIVISION OF LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 6073 VOLUME 45, PAGE 183,
AND LOT 2 OF CERTIFIED SURVEY MAP NO. 5898 VOLUME 43, PAGE 200

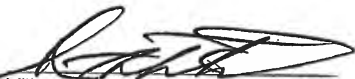
VILLAGE OF JACKSON PLANNING COMMISSION APPROVAL

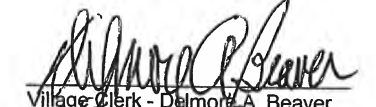
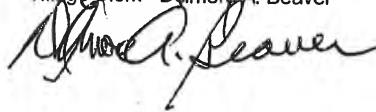
Approved by the Planning Commission of the Village of Jackson on this 29th day of March, 2007.


Chairperson - Scott Mittelsteadt

VILLAGE OF JACKSON VILLAGE BOARD APPROVAL

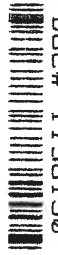
Approved by the Village Board of the Village of Jackson on this 29th day of March, 2007.


Village President - Scott Mittelsteadt

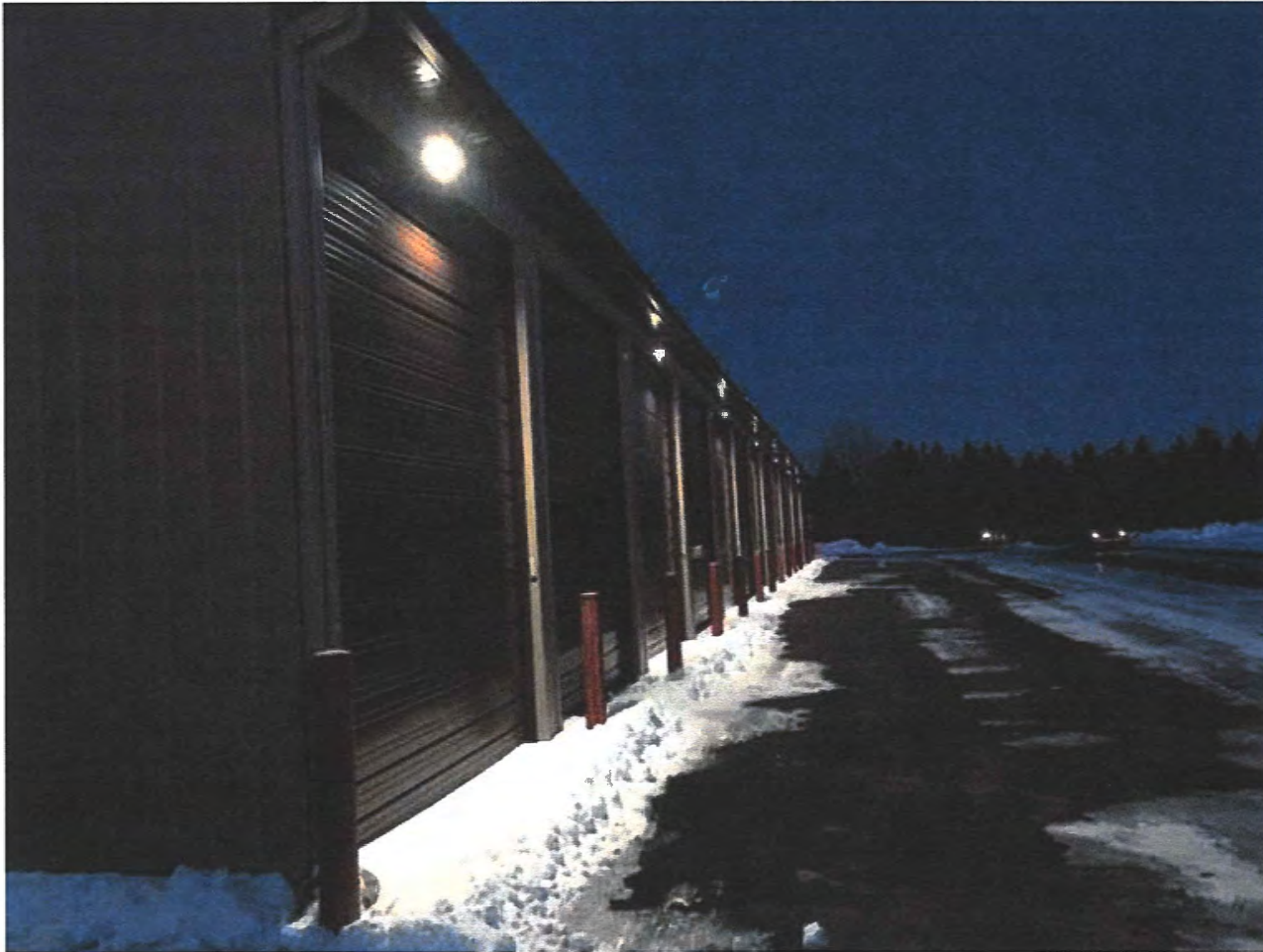

Village Clerk - Delmore A. Beaver




CSM 6146 VOL 46 PAGE 28

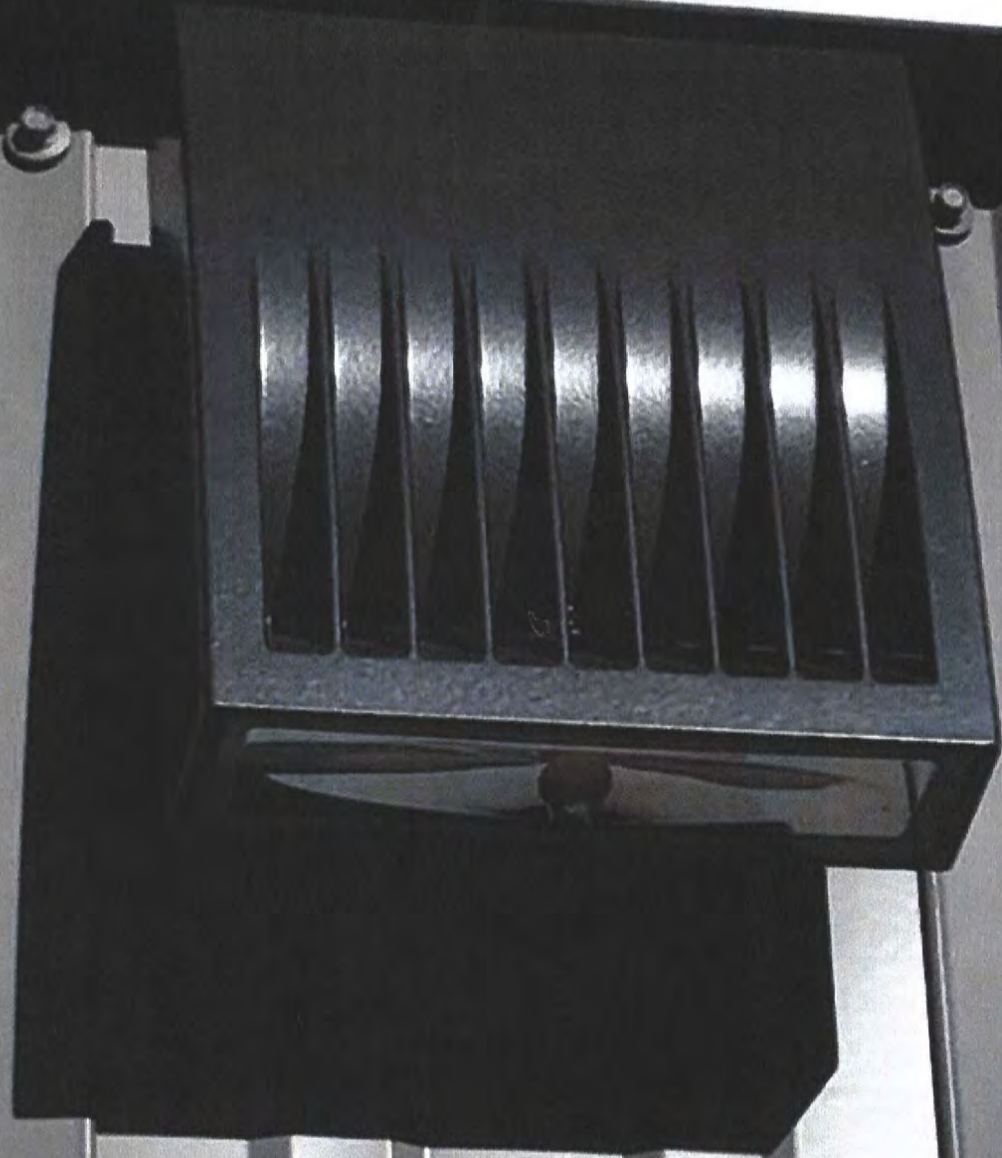
DOC# 1156150

Recorded
MAR - 30 - 2007 A: 10:15 AM
SHARON A MARTIN, REGISTER OF DEEDS
WASHINGTON COUNTY, WISCONSIN
Fee Amount: \$17.00
SHEET 4 OF 4 SHEETS

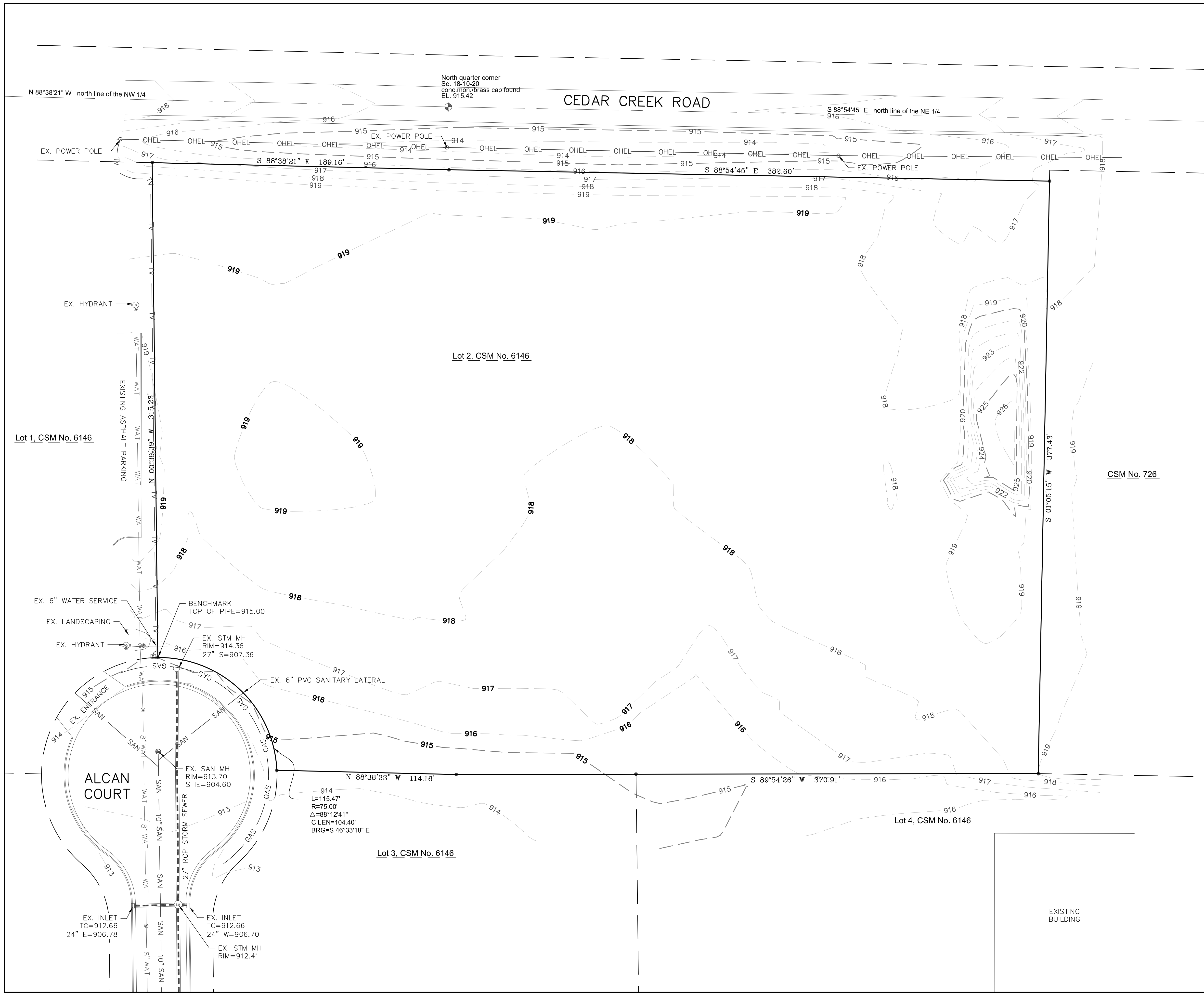










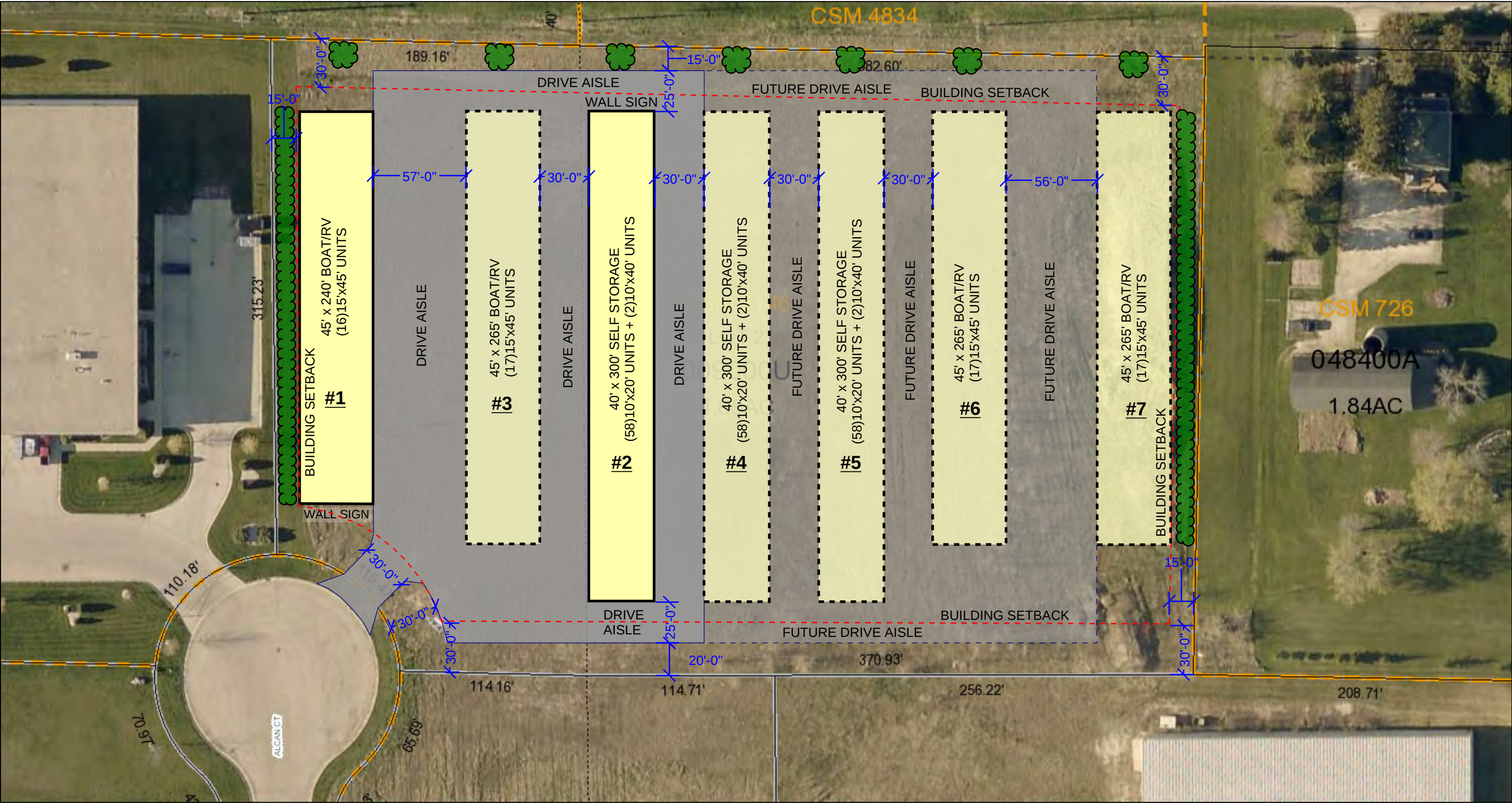


Lot 2 of Certified Survey Map No. 6146, as recorded in the Washington County Registry on March 30, 2007 in Volume 46 of Certified Survey Maps pages 25-28 as Document No. 1156150, being part of the NE 1/4-NW 1/4 and part of the NW 1/4-NE 1/4 of Section 18, T10N. R20E, Village of Jackson, Washington County, State of Wisconsin, and being a division of Lot 3 and Lot 4 of Certified Survey Map No. 6073 Volume 45, page 183, and Lot 2 of Certified Survey Map No. 5898, Volume 43, page 200.

RJ WOODS - ALCAN COURT
EXISTING CONDITIONS PLAN
DATED: APRIL 7, 2015

C-101

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
544 South Main Street, Suite B; West Bend, Wisconsin 53095
Phone (262) 338-6641; www.quamengineering.com



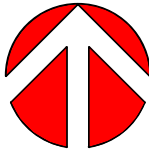
January 16, 2020

- Trails
- Public Open Spaces
- Current Parcel
- PLSS Monument

- Road Centerline I, USH
Road Centerline STH, CTH
Road Centerline TWN, CVS, PVT
- Landhook
 - Meander Line
 - PLSS Boundary

- Plat
- Lot
- Parcels
- Parcel Retired YTD
- Right-of-Way
- Text Leader Lines

NORTH



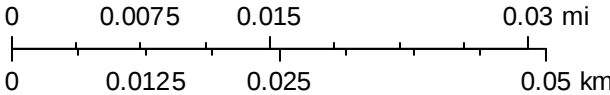
CONCEPTUAL SITE PLAN

02.06.2020

Zoned: PUD Planned Unit Development

JACKSON SELF-STORAGE

1:705



VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Design 2 Construct
 Contact Mark Hertzfeldt Address/ZIP N173W21010 Northwest Passage, Jackson, WI 53037 Phone # 262-677-9933
 E-mail Address mhertzfeldt@design2construct.com E-mail Address where Agenda/Staff comments are to be sent. mhertzfeldt@design2construct.com
 Name of Owner Kurt Kruepke Address/ZIP P.O. Box 477 Phone# -
 Owner Representative/Developer Design 2 Construct
 Proposed Use of Site storage buldings Present Zoning PUD

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>ZIP DRIVE (USB)</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Mark Hertzfeldt Signature _____ Date _____

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

☐ Special Use ☒ Conditional Use ☐ Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a ☐ **Special Use** ☐ **Conditional Use** ☐ **Planned Unit Development**

Permit to:

Name of Business/Applicant: J & M Ltd

For a property located at (address): N168W19490 Main St., Jackson, WI 53037

Phone number of Business/Applicant: 262-677-4901

For (land use, activity, sign, site plan, other): new unoccupied, storage building for use by property owner

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): none

Hours of Operation: N/A

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): metal panel walls and roof, color to be complimentary to existing buildings, decorative faux windows, thin brick veneer.

Setbacks from rights-of-way and property lines: 27'-8" from R.O.W.

Screening/Buffering: see plans

Landscape Plan (sizes, species, location): see plans

Signing (dimensions, colors, lighting, location): no signage proposed

Lighting (wattage, style, pole location and height, coverage): no lighting proposed

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): n/a

Storm-water Management: Existing stormwater device will be utilized

Erosion Control: see plans

Fire Hydrant Location(s): existing, no new hydrants

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: none

Hazardous Material Storage: none

Alarm Systems: none

Site Features/Constraints: none

Parking (no. of spaces, handicapped parking, and dimensions): n/a

Tree and shrub preservation: N/A

Setbacks/height limitations: 20' r.o.w. setback, 10' side yard setback

Wastewater Usage Projected: 0 gal/year Water Usage Projected: 0 gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther

John Walther, Administrator

John Krupnik, Owner
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on a Zip Drive (USB).**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

VILLAGE OF JACKSON

N168W20733 MAIN ST.

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 228131**Date:** 2/07/2020**Check****RECEIVED
FROM** DESIGN 2 CONSTRUCT

\$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	Account Nbr: 100-00-45730-000-000	150.00
	PLANNING / ZONING FEES	
	CONDITIONAL USE / PLAN COMM / CK#107658	

TOTAL RECEIVED	150.00
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Receipt Memo: PLAN COMMISS CONDITIONAL USE / CK #10658



MEMORANDUM

February 7, 2019

Job Name: Jackson Storage
Job Number: 19-00150
Re.: Plan Commission Submittal

To: Village of Jackson

LETTER OF INTENT

Dear Plan Commission:

It is the Owner's intent to have Design 2 Construct build (1) storage building along the north property line of the existing site, located directly behind the existing facility located at N168W19490 Main Street in Jackson.

The building will be approximately 60'x 50' with a peak height of 25'-6"

The building will have access provided with (4) roll up doors on the south facade and two man doors one the east and west sides of the building.

IMPACT STATEMENT

There will be no water use. There is no waste produced.

Vehicle traffic will be limited to access for the building by the property owner.

We anticipate the facility to be open fall 2020..

There will be no hazardous materials, unusual conditions, noises or odors.

Thank you,

J & M Ltd.

N173 W21010
Northwest Passage

Jackson, WI 53037

Tel: 262.677-9933

Fax: 262.677.9934

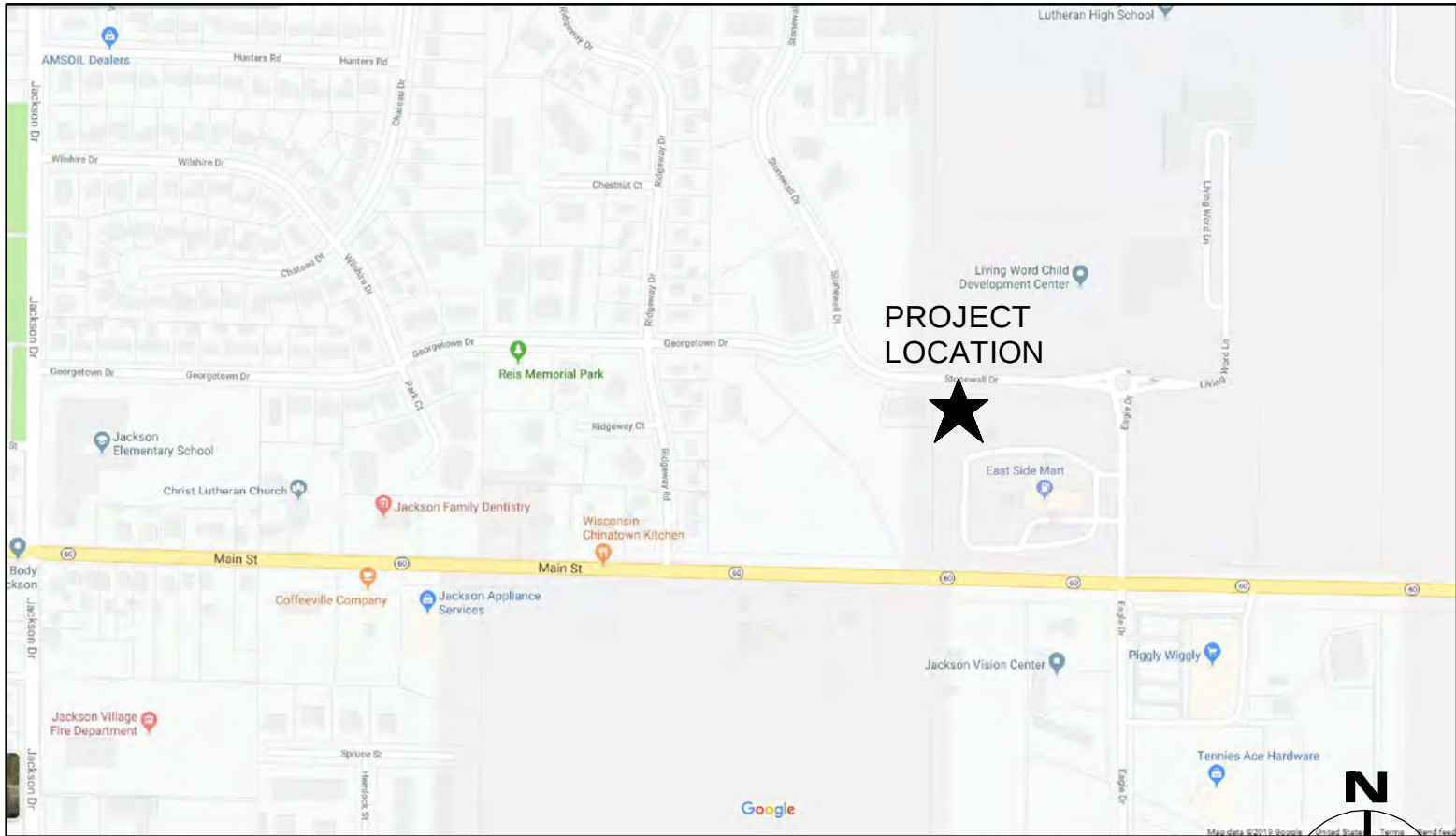


BUILDING DESIGN FOR:

JACKSON STORAGE
N168W19490 MAIN STREET
JACKSON, WI 53037

PROJECT DATA: SHEET INDEX:

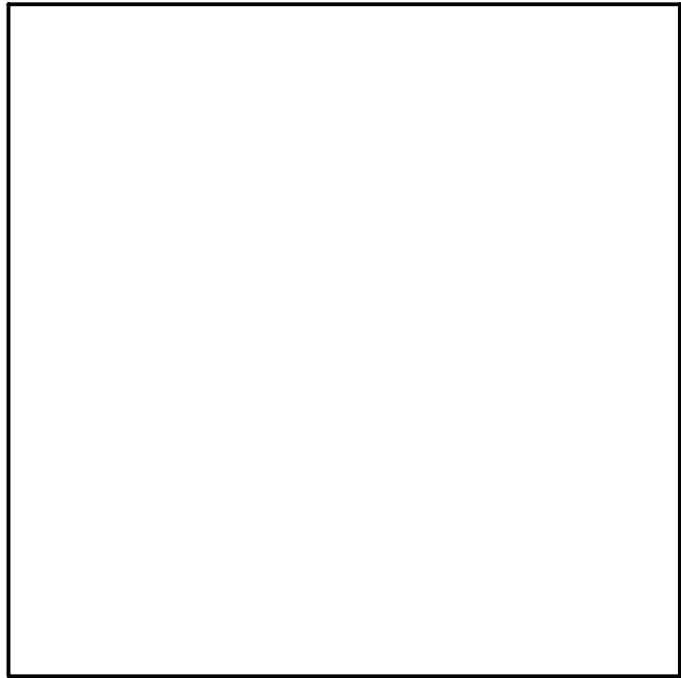
BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE	TS	TITLE SHEET
OCCUPANCIES:	STORAGE: S-1		
CLASS OF CONSTRUCTION:	TYPE VB	C-101	CIVIL DRAWINGS
NO. OF STORIES:	ONE	C-102	EXISTING CONDITIONS PLAN
BUILDING IS:	NON-SPRINKLERED		GRADING AND EROSION CONTROL PLAN
BUILDING TYPE:	STORAGE		ARCHITECTURAL
AREAS (GROSS):		A1.0	SITE PLAN
STORAGE	3,021 SF	A2.1	FLOOR PLAN
		A4.1	EXTERIOR ELEVATIONS



LOCATION MAP

PROJECT CONTACTS

CIVIL CONSULTANT	ARCHITECT
QUAM ENGINEERING	MARK HERTZFELDT
122 WISCONSIN STREET	
WEST BEND, WI 53095	
KEVIN PARISH	
kjparish@sbcglobal.net	
OFF: (262) 353-9766	



PREV. TRANS. NO.:
NEW TRANS. NO.:
REVIEWER:

N/A
N/A
N/A

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:

JACKSON STORAGE

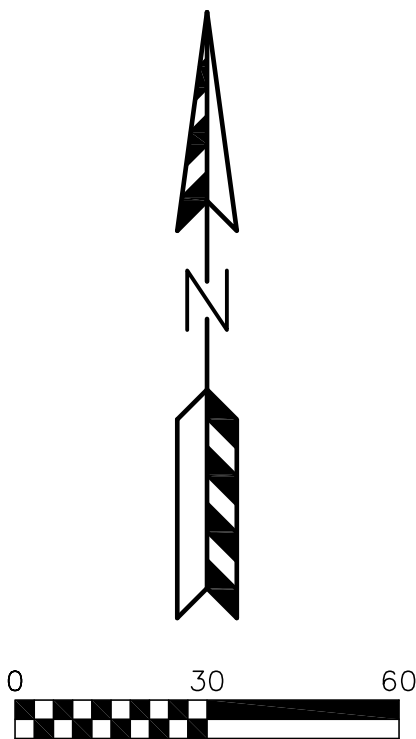
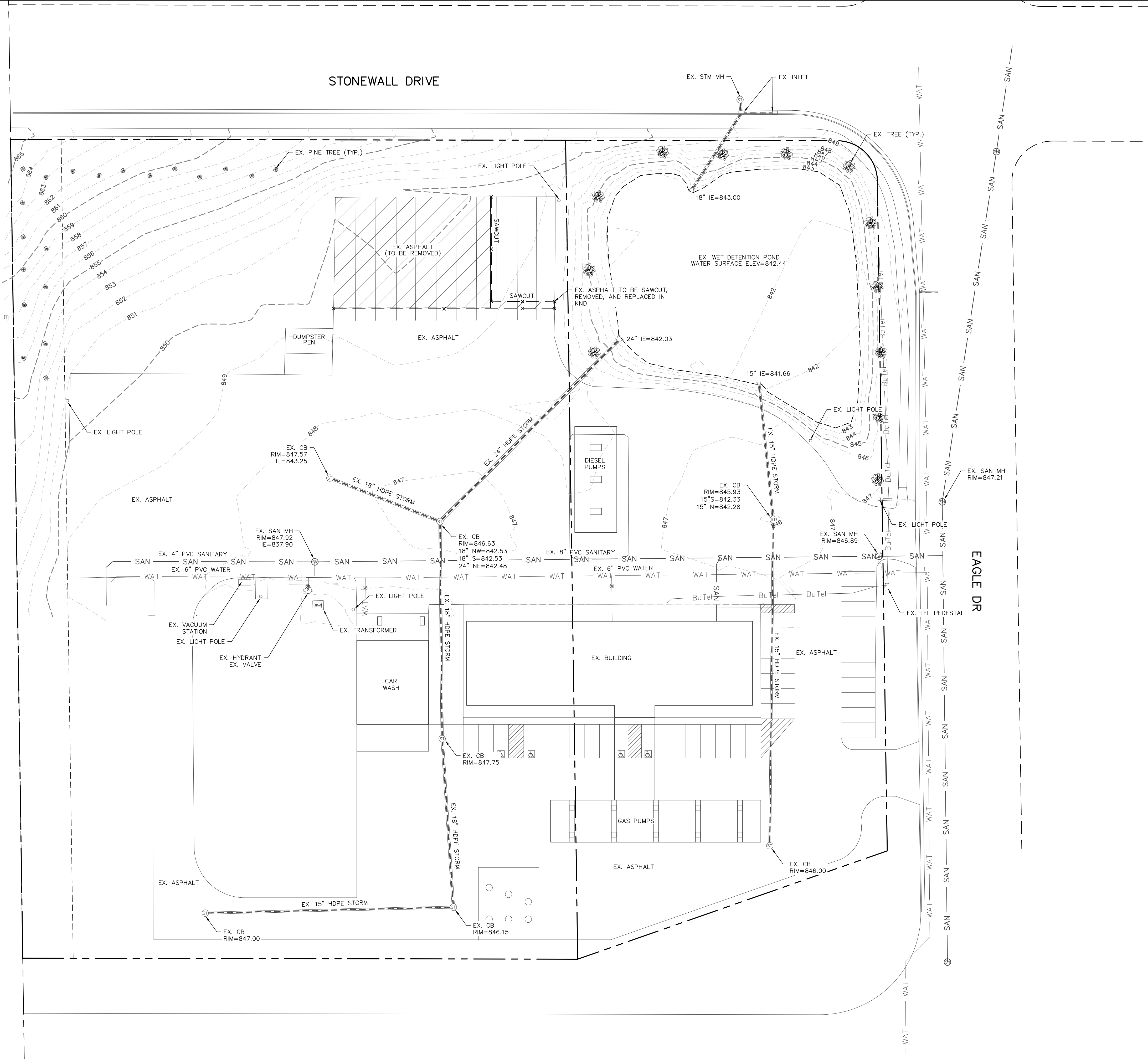
N168W19490 MAIN STREET
JACKSON, WI 53037

SHEET TITLE
TITLE SHEET

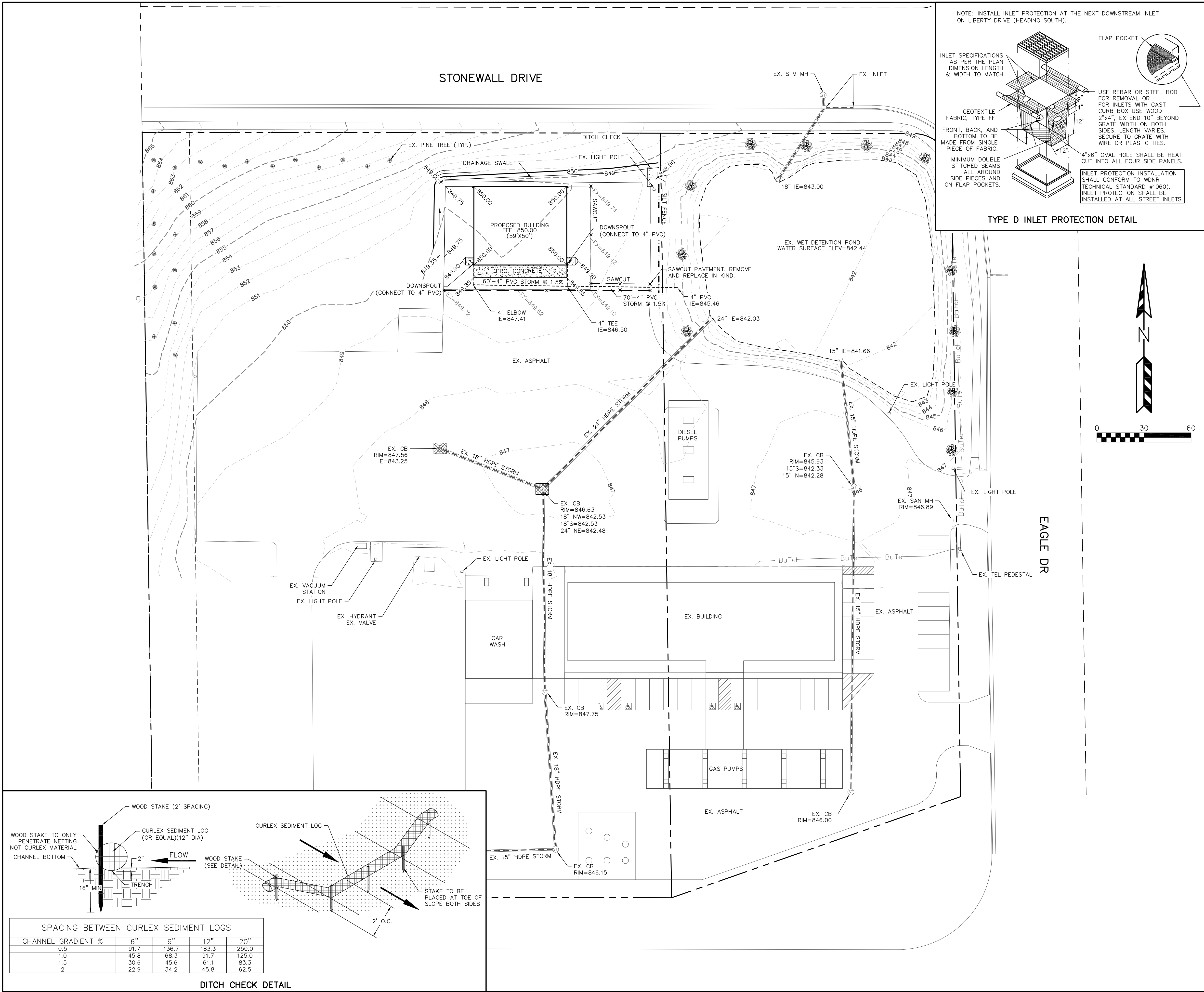
REVISIONS
09.04.2019 PC
09.19.2019

PROJECT DATA
DATE
02.07.2020
JOB NO.
19-00216
SET USE
PLAN COMMISSION
FILE NAME
A1-TS
DRAWN BY
DLH
SHEET NO.

TS



- LEGEND:
- 702 --- - EXISTING MINOR CONTOUR.
 - 700 --- - EXISTING MAJOR CONTOUR.
 - OHEL — OHEL — - OVERHEAD ELECTRIC LINE.
 - BUEL — BUEL — - BURIED ELECTRIC LINE.
 - BuTel — BuTel — - BURIED TELEPHONE LINE.
 - FO — FO — - FIBER OPTIC LINE.
 - GAS — GAS — - GAS LINE.
 - SAN — SAN — - SANITARY SEWER MAIN OR LATERAL.
 - WAT — WAT — - WATER MAIN OR SERVICE.
 - - STORM SEWER LINE.
 - ELECTRIC METER.
 - GAS METER.
 - GAS VALVE.
 - FIRE HYDRANT.
 - POWER POLE.
 - SANITARY SEWER MANHOLE.
 - STORM SEWER MANHOLE.
 - STORM SEWER INLET.
 - TELEPHONE PEDESTAL.
 - TRANSFORMER.
 - WATER VALVE.



EROSION NOTES:

THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS, AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

TIME SCHEDULE:

APRIL 15, 2020
APRIL 16, 2020 – SEPTEMBER 15, 2020
SEPTEMBER 16 – 30, 2020

INSTALL INITIAL EROSION CONTROL DEVICES.
CONSTRUCT PROPOSED BUILDINGS, PARKING LOT AND UTILITIES.
COMPLETE FINAL LANDSCAPING AND RESTORE ALL PERVIOUS DISTURBED AREAS.

RESTORATION NOTES:

ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEED WITH OLD'S "MOWOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDING AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

OWNER:

KARM PROPERTIES, LLC
N166 W21060 PARKWAY DRIVE
PO BOX 477
JACKSON, WI 53037

ENGINEER:

QUAM ENGINEERING, LLC
ATTN: KEVIN PARISH
122 WISCONSIN STREET
WEST BEND, WI 53095

Dial 811 or (800)242-8511
www.DiggersHotline.com

LEGEND:

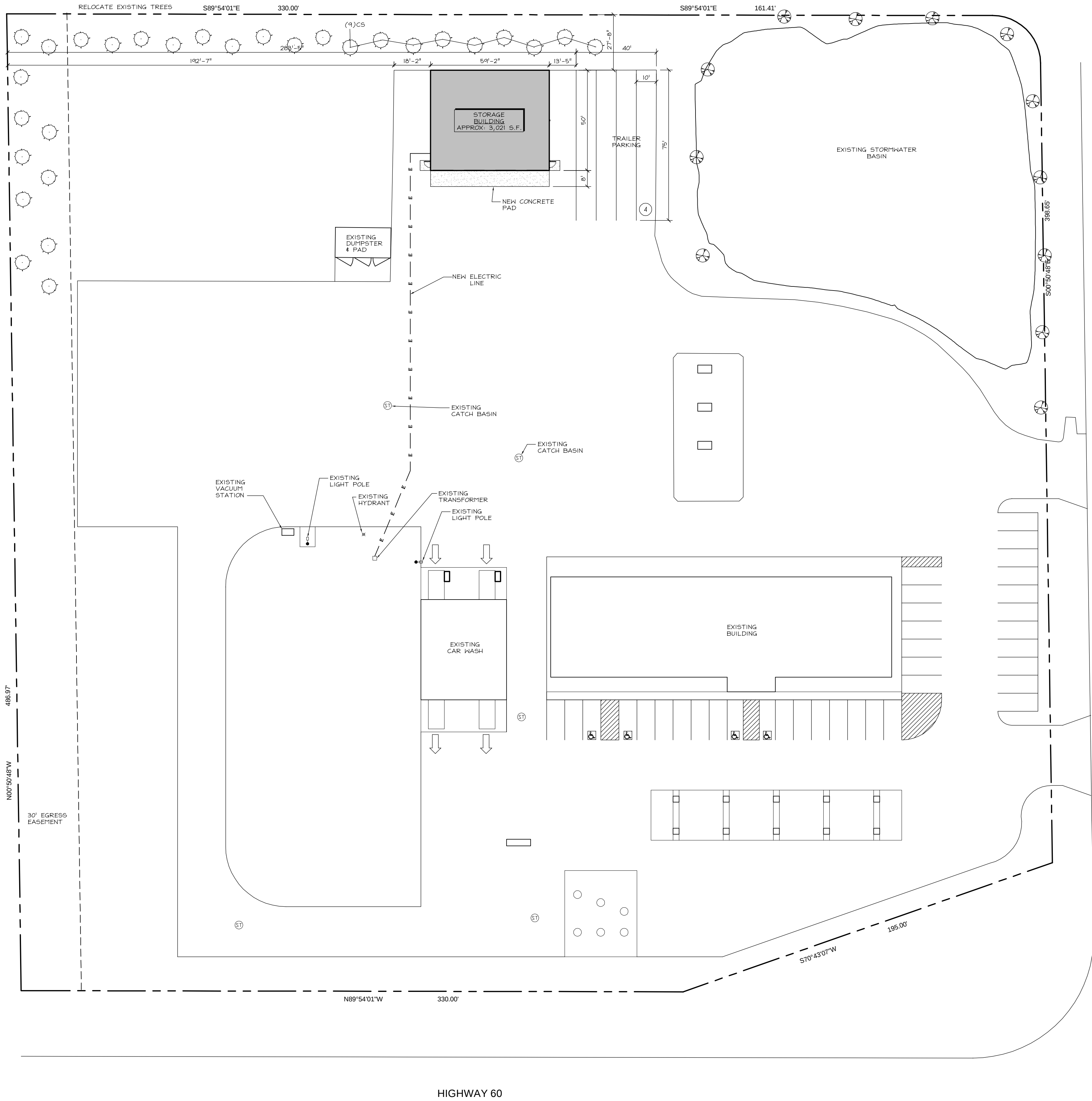
- 848 — EXISTING MINOR CONTOUR.
- 850 — EXISTING MAJOR CONTOUR.
- 848 — PROPOSED MINOR CONTOUR.
- 850 — PROPOSED MAJOR CONTOUR.
- EX=850.00 — EXISTING SPOT ELEVATION
- 849.10 — PROPOSED SPOT ELEVATION
- — PROPOSED STORM SEWER.
- — EXISTING STORM SEWER.
- — INSTALL WDOT TYPE D INLET PROTECTION.

N168 W19490 MAIN STREET
GRADING AND EROSION CONTROL PLAN
DATED: JANUARY 21, 2020

C-102

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

122 Wisconsin Street; West Bend, Wisconsin 53095
Phone (262) 338-6641; www.quamengineering.com



PLANT SCHEDULE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
CS	9	PICEA PUNGENS	COLORADO SPRUCE	40 - 50'	2-1/2" CAL.	B & B

UNTAGGED LANDSCAPING IS EXISTING. TAGGED LANDSCAPING IS NEW OR RELOCATED.
NEW PLANTS ARE TO BE OF REASONABLE GROWTH
TREES TO HAVE 2-1/2" (MIN.) CALIPER.

1 SITE PLAN

SCALE: 1" = 30'-0"

N

DESIGN

2

CONSTRUCT

DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:

JACKSON STORAGE

N168W19490 MAIN STREET

JACKSON, WI 53037

SHEET TITLE
SITE PLAN

REVISIONS
09.04.2019 PC

PROJECT DATA
DATE
02.07.2020
JOB NO.
19-00216
SET USE
PLAN COMMISSION
FILE NAME
C1-A1.0
DRAWN BY
DLH
SHEET NO.
A1.0

BUILDING DESIGN FOR:

JACKSON STORAGE

N168W19490 MAIN STREET
JACKSON, WI 53037

SHEET TITLE

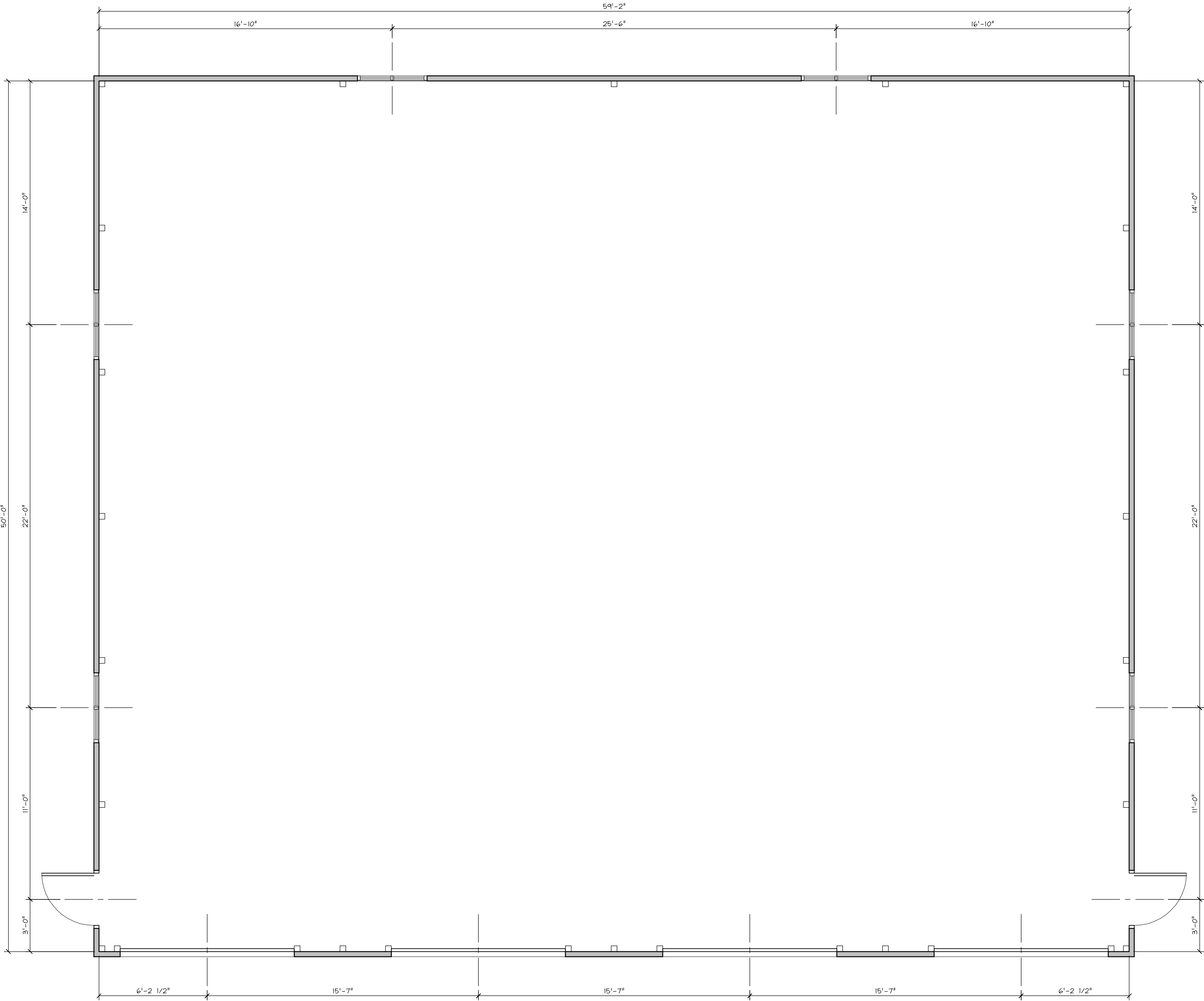
FLOOR PLAN

REVISIONS

PROJECT DATA

DATE	02.07.2020
JOB NO.	19-00216
SET USE	PLAN COMMISSION
FILE NAME	E4-A2.1
DRAWN BY	DLH
SHEET NO.	

A2.1



1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

BUILDING AREA: 3,021 SF

DESIGN

2

CONSTRUCT

DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:

JACKSON STORAGE

N168W19490 MAIN STREET
JACKSON, WI 53037

SHEET TITLE

EXTERIOR ELEVATIONS

REVISIONS

PROJECT DATA

DATE

02.07.2020

JOB NO.

19-00216

SET USE

PLAN COMMISSION

FILE NAME

G1-A4.1

DRAWN BY

DLH

SHEET NO.

A4.1

- TYPICAL BUILDING FINISHES
- 1

HI-RIB METAL ROOF PANELS WITH SNOW RETAINERS
- 2

HI-RIB METAL WALL PANELS
- 3

10' x 14' ROLL-UP OVERHEAD DOOR
- 4

PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT
- 5

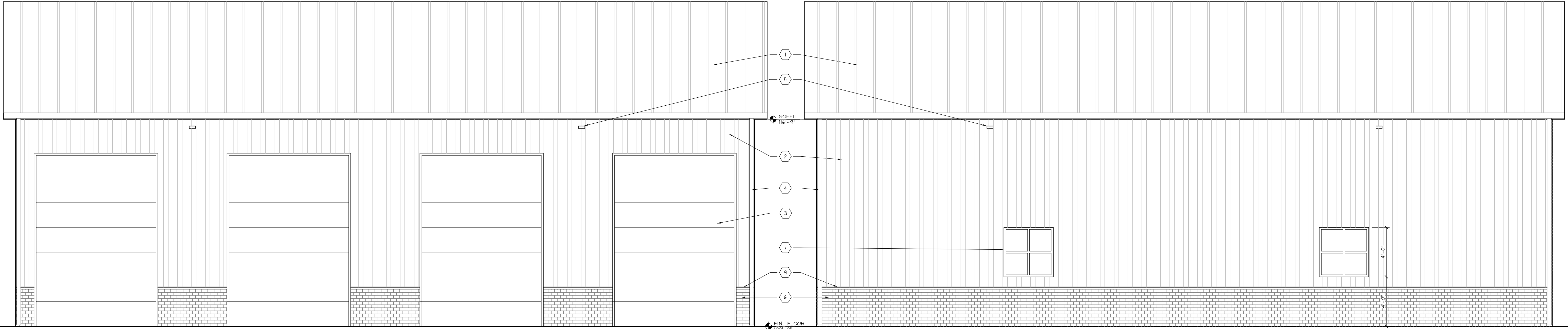
LED WALL PAK LIGHT FIXTURE
- 6

'NICHHA VINTAGE BRICK' WALL PANEL
- 7

SPANDREL GLASS IN VINYL FRAME
- 8

HOLLOW METAL DOOR AND FRAME
- 9

PREFINISHED METAL FLASHING



4

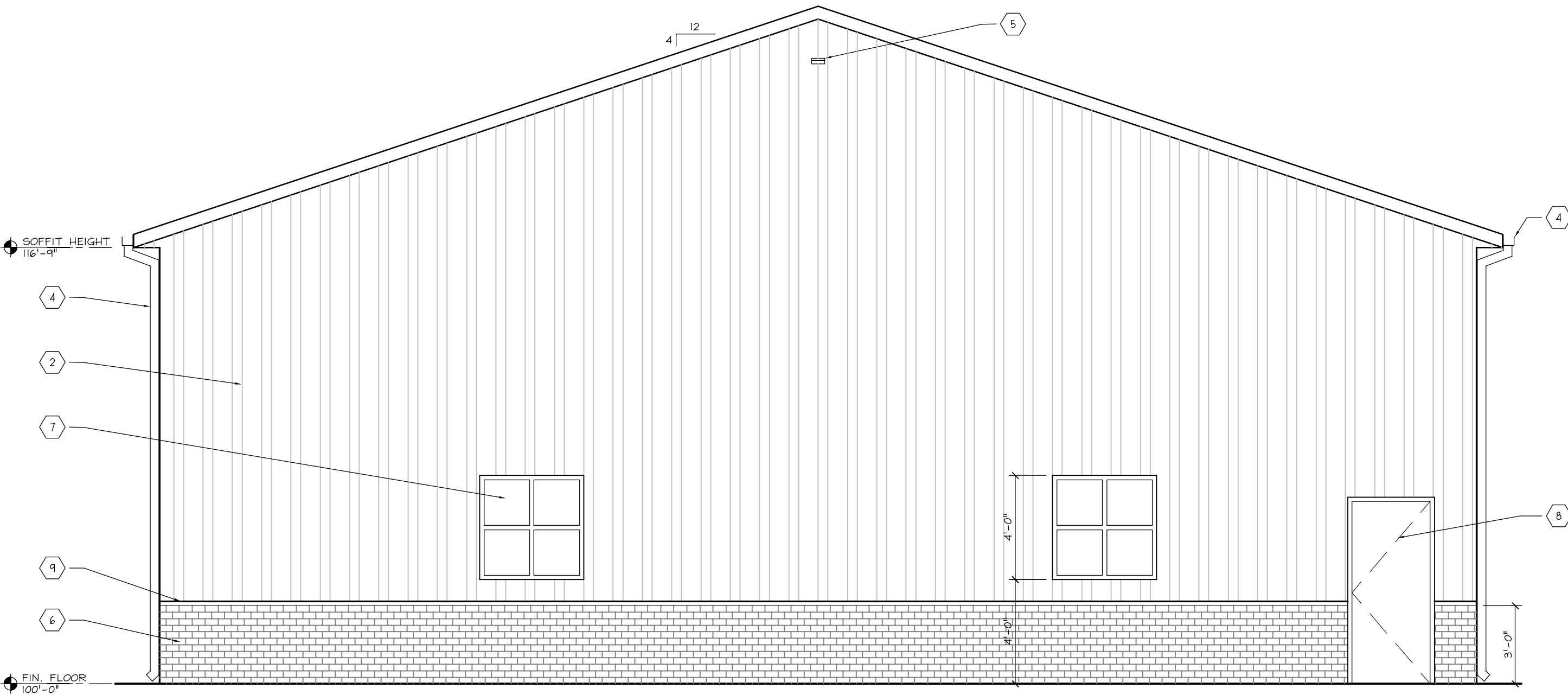
SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

3

NORTH ELEVATION

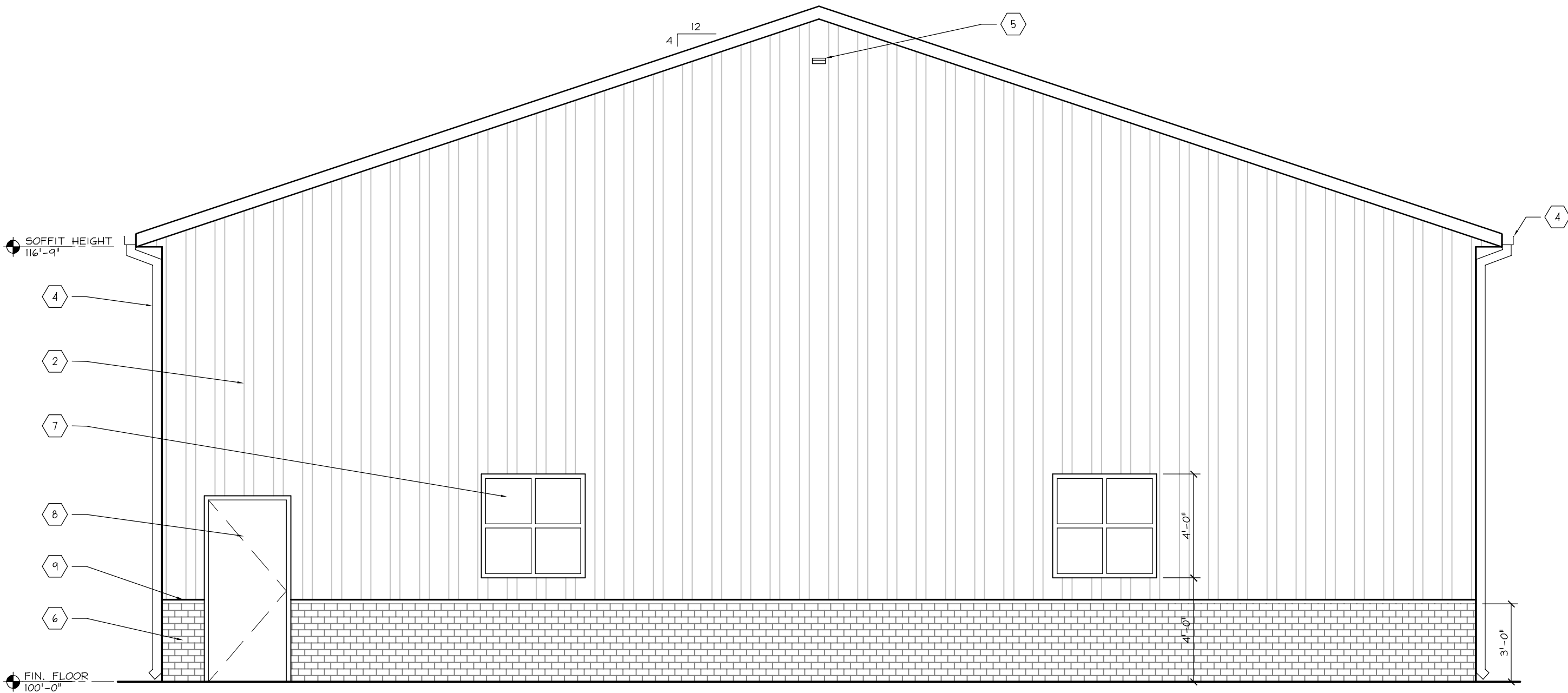
SCALE: 1/4" = 1'-0"



2

WEST ELEVATION

SCALE: 1/4" = 1'-0"



1

EAST ELEVATION

SCALE: 1/4" = 1'-0"

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Behrens 1927 LLC
 Contact Brian Behrens Address/ZIP 1927 County Rd W Grafton, NJ 53024 Phone # 262-573-6530
 E-mail Address Behrens.Karen@gmail.com E-mail Address where Agenda/Staff comments are to be sent. Same
 Name of Owner Same as above Address/ZIP _____ Phone# _____
 Owner Representative/Developer Same as above
 Proposed Use of Site Single family Homes Present Zoning R-1

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	USB DRIVE
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Brian Behrens Signature [Signature] Date February 3, 2020
 Office Use: Date Received 2/3/20 Date Paid 2/3/20 Receipt # 007308 Amount Paid \$ 150.00

VILLAGE OF JACKSON

Redivision of Lot 1

☐ Special Use ☐ Conditional Use ☐ Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☐ Planned Unit Development

Permit to:

Name of Business/Applicant: Behrens 1927 LLC

For a property located at (address): Section 28 Sherman Rd Town of Jackson

Phone number of Business/Applicant: 262-573-6530

For (land use, activity, sign, site plan, other): Redivision of Lot 1 of Prairie Meadow Estates in Section 28 Town of Jackson.
Parcel # T7 0734001

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): _____

Hours of Operation: _____

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): _____

Setbacks from rights-of-way and property lines: _____

Screening/Buffering: _____

Landscape Plan (sizes, species, location): _____

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), sidewalk/pedestrian way width and material): _____

Storm-water Management: _____

Erosion Control: _____

Fire Hydrant Location(s): _____

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: _____

Hazardous Material Storage: _____

Alarm Systems: _____

Site Features/Constraints: _____

Parking (no. of spaces, handicapped parking, and dimensions): _____

Tree and shrub preservation: _____

Setbacks/height limitations: _____

Wastewater Usage Projected: _____ gal/year Water Usage Projected: _____ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period): _____

Lot 1 is currently zoned R-1 and is 5.100 acres.
This is in the Village's Extra Territorial Rights area.
We request the Village of Jackson Plan Commission as
well as the Village Board approval of this redivision.

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

Behrens 1927 LLC, Owner

Please print name

Brian Behrens, Managing member

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on a USB Drive.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

VILLAGE OF JACKSON

N168W20733 MAIN ST.

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 227308**Date:** 2/03/2020**Check****RECEIVED
FROM**

BEHRENS FARMS LLC

\$150.00

Type of Payment**Description****Amount**

Accounting

Account Nbr: 100-00-45730-000-000

150.00

PLANNING / ZONING FEES

FEB PLAN COMMISSION / CSM / CK#7682

TOTAL RECEIVED150.00

Receipt Memo:

FEB PLAN COMMISSION / CSM / CK#7682

BEHRENS 1927 LLC

ADDRESS LABELS OF ADJACENT PROPERTY OWNERS

**Heckendorf Farms LLC
1997 Sherman Road
Jackson, WI 53037**

**Thomas Okruhlica
Michelle Przybyla et al
1998 Sherman Road
Jackson, WI 53037**

**Robin Olson
1930 Sherman Road
Jackson, WI 53037**

**Matthew Braeger
Jessica Braeger
1986 Sherman Road
Jackson, WI 53037**

TOWN OF JACKSON
ATTN TREASURER
PO BOX 337
JACKSON WI 53037

WASHINGTON COUNTY - STATE OF WISCONSIN
PROPERTY TAX BILL FOR 2019
REAL ESTATE

BEHRENS 1927 LLC



Parcel Number: T7 0734001
Bill Number: 326856

326856/T7 0734001
BEHRENS 1927 LLC
1927 CTY HWY W
GRAFTON WI 53024

Important: Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

Location of Property/Legal Description
SHERMAN RD
Sec. 28, T10N, R20E
PT OF E1/2 NW PRAIRIE MEADOW ESTATES LOT 1 DOC
982371+985996 +1394412
5.100 ACRES

Please inform treasurer of address changes.

ASSESSED VALUE LAND	ASSESSED VALUE IMPROVEMENTS	TOTAL ASSESSED VALUE	AVERAGE ASSMT. RATIO	NET ASSESSED VALUE RATE	NET PROPERTY TAX
1,100	0	1,100	0.856219669	0.01567784 (Does NOT reflect credits)	17.25
ESTIMATED FAIR MARKET VALUE LAND	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS	TOTAL ESTIMATED FAIR MARKET VALUE	☐ A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit	
See Reverse, Use Value Assessment				1.90	
TAXING JURISDICTION	2018 EST. STATE AIDS ALLOCATED TAX DIST.	2019 EST. STATE AIDS ALLOCATED TAX DIST.	2018 NET TAX	2019 NET TAX	% TAX CHANGE
STATE OF WISCONSIN	0	0	0.00	0.00	
WASHINGTON COUNTY	112,093	118,138	3.25	3.23	-0.6%
TOWN OF JACKSON	195,422	209,217	2.06	2.06	0.0%
GERMANTOWN SCHOOL	754,772	749,264	9.64	10.44	8.3%
MILW AREA TECH COL	240,105	247,279	1.52	1.52	0.0%
TOTAL	1,302,392	1,323,898	16.47	17.25	4.7%
FIRST DOLLAR CREDIT			0.00	0.00	0.0%
LOTTERY AND GAMING CREDIT			0.00	0.00	0.0%
NET PROPERTY TAX			16.47	17.25	4.7%

TOTAL DUE: \$17.25
FOR FULL PAYMENT, PAY TO LOCAL
TREASURER BY:
JANUARY 31, 2020

Warning: If not paid by due dates,
installment option is lost and total tax is
delinquent subject to interest and, if
applicable, penalty.
Failure to pay on time. See reverse.

FOR INFORMATION PURPOSES ONLY - Voter Approved Temporary Tax Increases					
Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends	Taxing Jurisdiction	Total Additional Taxes
GERMANTOWN SCHOOL	226,890	1.52	2037		

PAY 1ST INSTALLMENT OF: \$17.25

PAY 2ND INSTALLMENT OF: \$0.00

BY JANUARY 31, 2020

BY JULY 31, 2020

AMOUNT ENCLOSED

AMOUNT ENCLOSED

MAKE CHECK PAYABLE AND MAIL TO:

MAKE CHECK PAYABLE AND MAIL TO:

TOWN OF JACKSON
ATTN TREASURER
PO BOX 337
JACKSON WI 53037

WASHINGTON COUNTY TREASURER
432 E WASHINGTON ST, PO BOX 1986
WEST BEND, WI 53095-7986

PIN# T7 0734001
BEHRENS 1927 LLC
BILL NUMBER: 326856

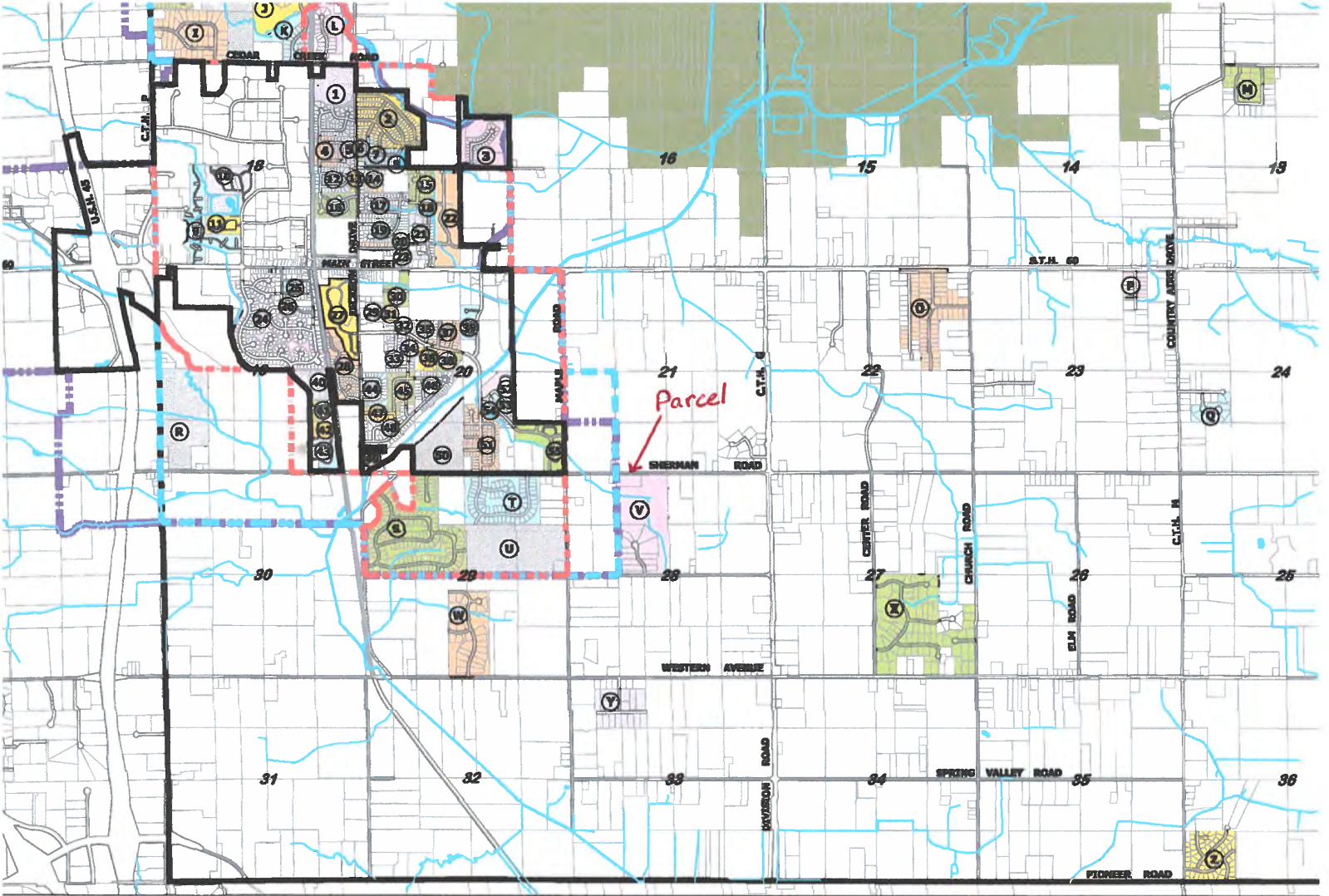
PIN# T7 0734001
BEHRENS 1927 LLC
BILL NUMBER: 326856



INCLUDE THIS STUB WITH YOUR PAYMENT



INCLUDE THIS STUB WITH YOUR PAYMENT



VILLAGE*

- | | |
|---|---|
| AUREL SPRINGS (2/52)† | (29) CRANBERRY CREEK - PHASE 5 |
| IGHLAND CREEK FARMS - 4 (1/139)† | (30) PINEHURST ADD. #3 |
| ENGLISH OAKS (0/32)† | (31) PINEHURST ADD. #2 |
| WESTFIELD II | (32) PINEHURST ADD. #1 |
| WESTFIELD | (33) PINEHURST ADD. #8 |
| IGHLAND CREEK FARMS | (34) PINEHURST ADD. #7 |
| IGHLAND CREEK FARMS - 3 | (35) PINEHURST ADD. #4 |
| IGHLAND CREEK FARMS - 2 | (36) PINEHURST ADD. #6 |
| REEN VALLEY PHASE I | (37) PINEHURST |
| REEN VALLEY PHASE II | (38) PINEHURST ADD. #5 |
| REEN VALLEY PHASE III | (39) PHEASANT RUN CONDOS |
| ARKSIDE ADD. #2 | (40) SHERMAN MEADOWS |
| ARKSIDE ADD. #1 | (41) COBBLESTONE TRAILS (16/32)† |
| IGHLAND VIEW | (42) THE CROSSINGS AT SHERMAN MEADOWS (12/32)† |
| JACKSON HIGHLANDS | (43) TWIN BRIDGES |
| ARKSIDE | (44) RIVERS BLUFF - ADD. #3 |
| WILLOW RIDGE | (45) RIVERS BLUFF |
| IGHLAND MEADOWS ADD. #1 | (46) DALLMANN VILLAGE |
| STONEFIELD | (47) RIVERS BLUFF - ADD. #1 |
| JACKSON PARK | (48) RIVERS BLUFF - ADD. #2 |
| WILLOW MEADOWS | (49) CEDAR CREEK CONDOS |

TOWN*

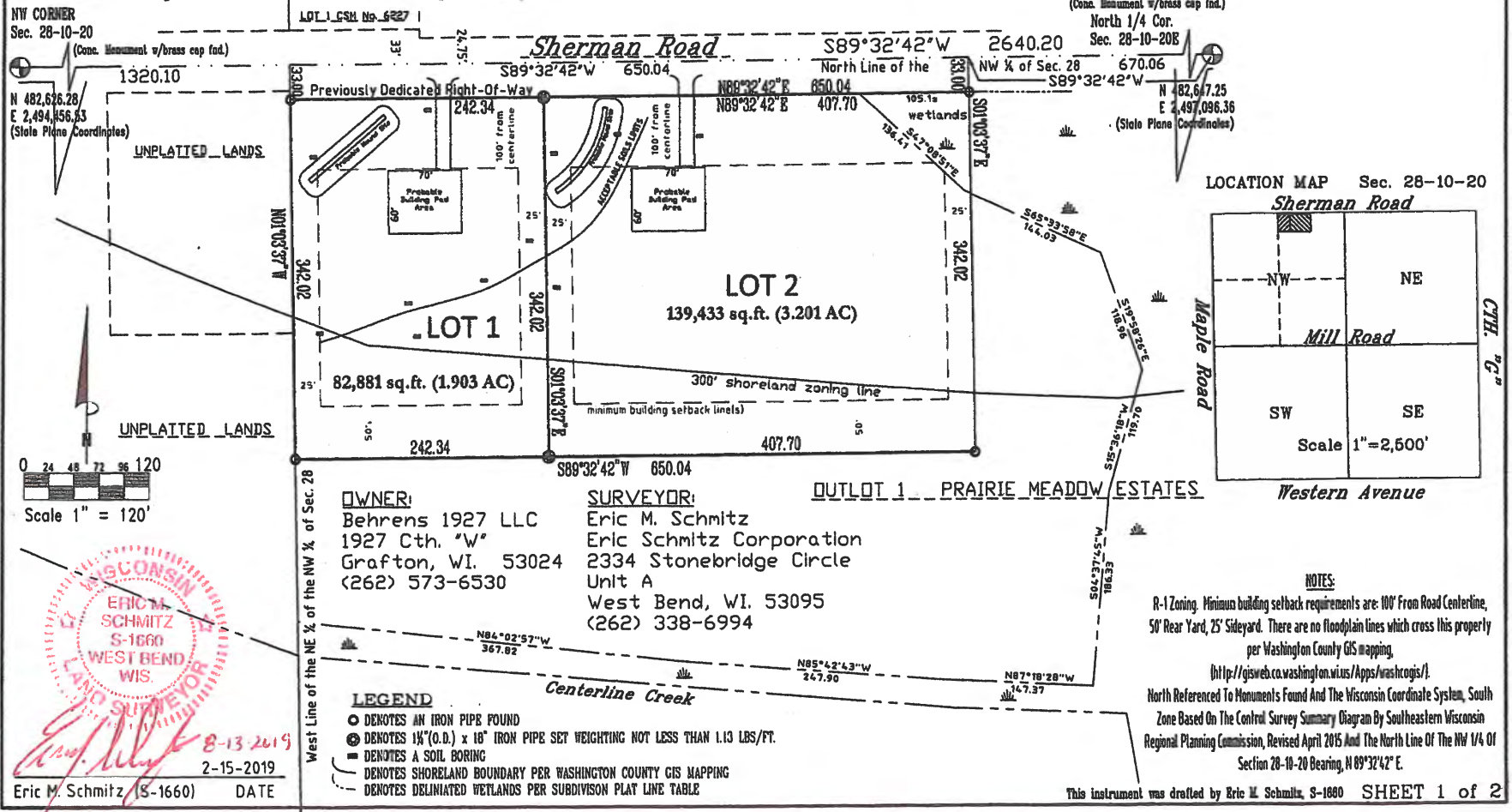
- | | |
|--|------------------------------------|
| (A) CATHEDRAL HEIGHTS | (N) STRAWBERRY GLEN (2/46)† |
| (B) STONEY CREEK (19/28)† | (O) FORREST HILLS |
| (C) VALLEYWOOD II & III | (P) COUNTRY VIEW |
| (D) PLEASANT HOLLOW ESTATES | (Q) TESSLA RUN (0/10)† |
| (E) HONEYWOOD | (R) MORNING MEADOWS |
| (F) MAGNA VISTA | (S) TWIN CREEKS (81/118)† |
| (G) CRESTHILL | (T) SHERMAN PARK (4/55)† |
| (H) VALLEYWOOD (10/29)† | (U) PALOROMA FARMS |
| (I) HERMITAGE | (V) PRAIRIE MEADOW ESTATES |
| (J) APPELLATION RIDGE - PHASE 2 (9/45)† | (W) CROSSWIND FARMS (11/26) |
| (K) APPELLATION RIDGE - PHASE 1 (8/19)† | (X) EL CAMINO ESTATES |
| (L) WEINAND'S HIDDEN CREEK | (Y) MOCKINGBIRD HILL |
| (M) HIGHVIEW ESTATES | (Z) COUNTRY AIRE ESTATES |

***NOTE: GREY SHADING INDICATES DEVELOPMENT HAS NOT BEGUN**
† (HOUSES, OR UNITS, BUILT/TOTAL IN SUBDIVISION)

———— VILLAGE/TOWN LIMITS
----- 2015 - MAXIMUM VILLAGE LIMITS WITHIN JACKSON TOWN

Certified Survey Map

A Re-division of LOT 1 of "Prairie Meadow Estates". Part of the NE ¼ of the NW ¼ of Section 28,
Town 10 North, Range 20 East, Town of Jackson, Washington County, Wisconsin,



Certified Survey Map

A Re-division of LOT 1 of "Prairie Meadow Estates". Part of the NE ¼ of the NW ¼ of Section 28,
Town 10 North, Range 20 East, Town of Jackson, Washington County, Wisconsin,

Surveyor's Certificate:

I, Eric M. Schmitz, registered land surveyor, hereby certify that by the direction of Brian S. Behrens, I have surveyed, divided, mapped, and shown the land described hereon; That part of the NE ¼ of the NW ¼ of Section 28, Town 10 North, Range 20 East, Town of Jackson, Washington County, Wisconsin, described as follows: Commencing at the North ¼ Corner of said Section 28; thence S 89°32'42" W along the North Line of the NW ¼ of said Section 28, 670.06 feet; thence S 01°03'37" E 33.00 feet to the southerly right-of-way line of Sherman Road, also being the point of beginning; thence continuing S 01°03'37" E 342.02 feet; thence S 89°32'42" W 650.04 feet to the West Line of the NE 1/4 of the NW 1/4 of said Section 28; thence N 01°03'37" W, along said West Line 342.02 feet to the southerly right-of-way line of Sherman Road; thence N 89°32'42" E along said southerly right-of-way line, 650.04 feet to the point of beginning. Said described lands containing 222,314 sq.ft. (5.104 Acres) of land, more or less. That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made. I have fully complied with the provision of Chapters 236.20, 236.21(2)(a) and 236.34 of the Wisconsin State Statutes and the Land Division Ordinances of the Town of Jackson, and the Village of Jackson in surveying, dividing and mapping said land.

Owner's Certificate:

As owner, I hereby certify that I caused the land shown and described herein to be surveyed, divided, and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required to be submitted to the following for approval: Town of Jackson Plan Commission, and the Town of Jackson Town Board, Village of Jackson Plan Commission, and the Village of Jackson Village Board.

(STATE OF WISCONSIN WASHINGTON COUNTY) s.s.

Personally came before me this _____ day of _____, 2019,
the above named owners are to me known to be the same persons
who executed the foregoing instrument and acknowledge the same.

(Notary Seal) _____, Notary Public,

WITNESS the hand and seal of said owners this _____ day of _____, 2019. In the presence of:

_____, Wisconsin.

My commission expires _____.

Brian S. Behrens

Witness

TOWN OF JACKSON PLAN COMMISSION APPROVAL

This land division is hereby approved by the Town of Jackson Plan Commission on this
_____ day of _____, 2019.

Randy Vogel, Chairperson

Gordon Hoffmann, Zoning Administrator

TOWN OF JACKSON TOWN BOARD APPROVAL

This land division is hereby approved by the Town of Jackson Town Board on this
_____ day of _____, 2019.

Raymond Heidtke, Chairperson

Julia Oliver, Town Clerk

VILLAGE OF JACKSON PLAN COMMISSION APPROVAL

This land division is hereby approved by the Village of Jackson Plan Commission
on this _____ day of _____, 2019.

Mike Schwab, Chairperson

Jilline Dobrats, Clerk

VILLAGE OF JACKSON VILLAGE BOARD APPROVAL

This land division is hereby approved by the Village of Jackson Village Board on
this _____ day of _____, 2019.

Mike Schwab, Chairperson

Jilline Dobrats, Clerk



2-15-2019

Eric M. Schmitz (S-1660) DATE

This instrument was drafted by Eric M. Schmitz, S-1660 SHEET 2 of 2

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant STEVEN R WEINAND Phone # 262-677-3266
 Contact 4310 JACKSON DRIVE Address/ZIP JACKSON WI 53037
 E-mail Address steve.weinand@gmail.com E-mail Address where Agenda/Staff comments are to be faxed
 Name of Owner STEVEN R WEINAND Address/ZIP 4310 JACKSON DRIVE JACKSON 53037 Phone# 262677 3266
 Owner Representative/Developer
 Proposed Use of Site SINGLE FAMILY RESIDENCE Present Zoning AGRICULTURAL

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	USB
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) with whose consent the requested action cannot be lawfully acted upon.

STEVEN R WEINAND Signature Steven R Weinand Date 1-31-2020

Fee Received 1-31-2020 Date Paid 1-31-2020 Receipt # 227110 Amount Paid \$ 150.00

VILLAGE OF JACKSON

CSM
☒ Special Use

☐ Conditional Use

☐ Planned Unit Development

Permit # _____

The Village of Jackson, hereby grants a ☐ Special Use ☐ Conditional Use ☐ Planned Unit Development

Permit to:

Name of Business/Applicant: STEVEN R WEINAND

For a property located at (address): 4310 JACKSON DRIVE JACKSON, WY

Phone number of Business/Applicant: 262-677-3266

For (land use, activity, sign, site plan, other): SINGLE FAMILY RESIDENTIAL

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): _____

Hours of Operation: _____

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): _____

Setbacks from rights-of-way and property lines: _____

Screening/Buffering: _____

Landscape Plan (sizes, species, location): _____

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), sidewalk/pedestrian way width and material): _____

Storm-water Management: _____

Erosion Control: _____
Fire Hydrant Location(s): _____

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: _____

Hazardous Material Storage: _____
Alarm Systems: _____
Site Features/Constraints: _____

Parking (no. of spaces, handicapped parking, and dimensions): _____

Tree and shrub preservation: _____

Setbacks/height limitations: _____

Wastewater Usage Projected: _____ gal/year Water Usage Projected: _____ gal/year
Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period): _____

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____



John Walther, Administrator

STEVEN R WEISANA, Owner
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on a Zip Drive (USB).**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

VILLAGE OF JACKSON

N168W20733 MAIN ST.

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 227110**Date:** 1/31/2020**Check****RECEIVED
FROM** WEINAND, STEVEN

\$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	Account Nbr: 100-00-45730-000-000	150.00
	PLANNING / ZONING FEES	
	PLAN COMMISSION FEE / WEINAND / CK#1359	
TOTAL RECEIVED		150.00

Receipt Memo: PLAN COMMISSION FEE / WEINAND / CK#1359

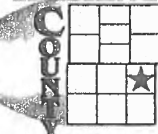
LETTER OF INTENT

I CURRENTLY OWN 10.3 ACRES AND DIVIDING
INTO 2 PARCELS OF 5+ ACRES.

LOT 1 CONTAINS SINGLE FAMILY HOME

LOT 2 WILL BE FUTURE SINGLE FAMILY HOME

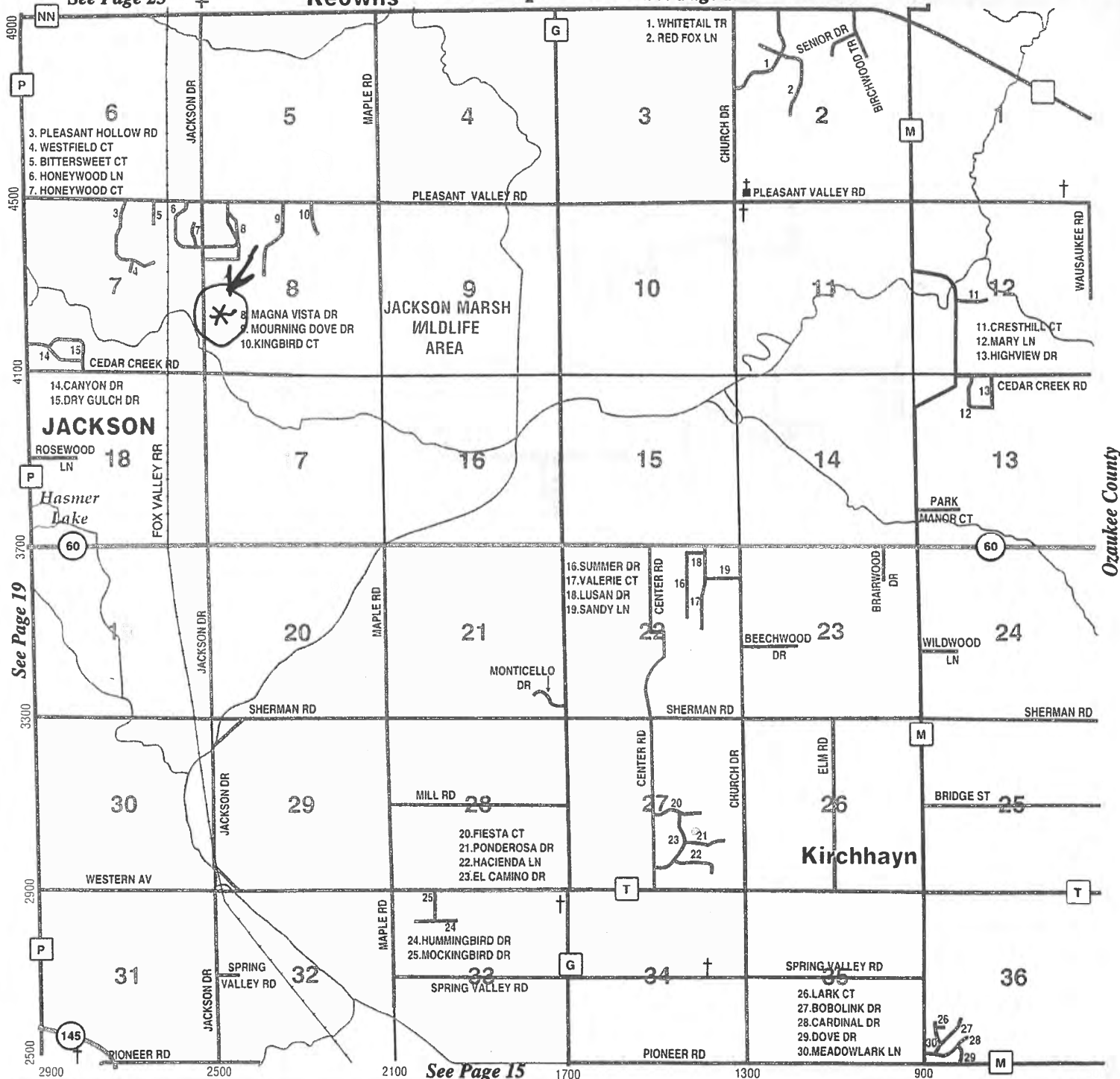
Steven R Weinand
STEVEN R WEINAND



See Page 25

Keown's

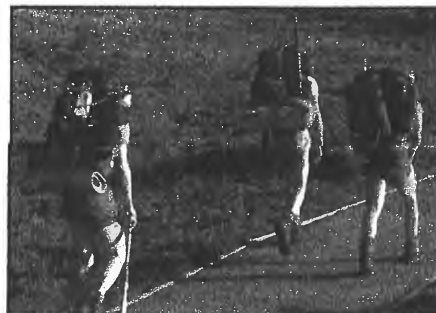
See Page 29



Ozaukee County

Heritage Trails County Park

With 234 acres of rolling Kettle Moraine hills, valleys and meadows, Heritage Trails County Park provides many panoramic views, miles of hiking trails and picnic opportunities.

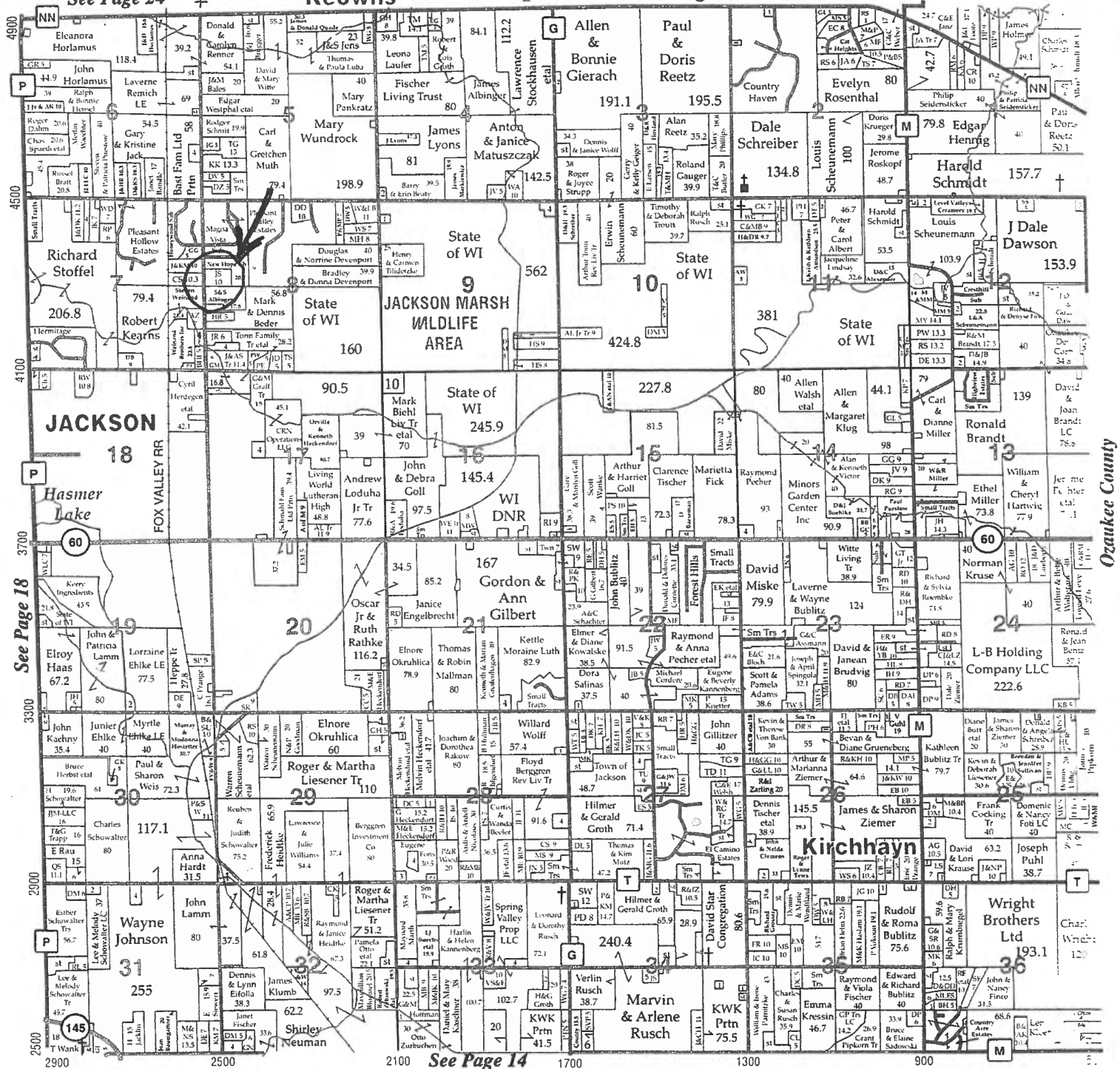


			★

See Page 24

See Page 28

© 2001 Cloud Cartographics, Inc. St. Cloud, MN 56301



Ozaukee County

Lakeland Title Services, Inc.

Lake Shore Division
133 W. Grand Ave.
P.O. Box 363
Port Washington, WI 53074-0363
Local (262) 284-9496
Metro (262) 377-8170
Fax (262) 284-9521
1-800-773-3436

Serving Ozoneka and Shobougan Counties

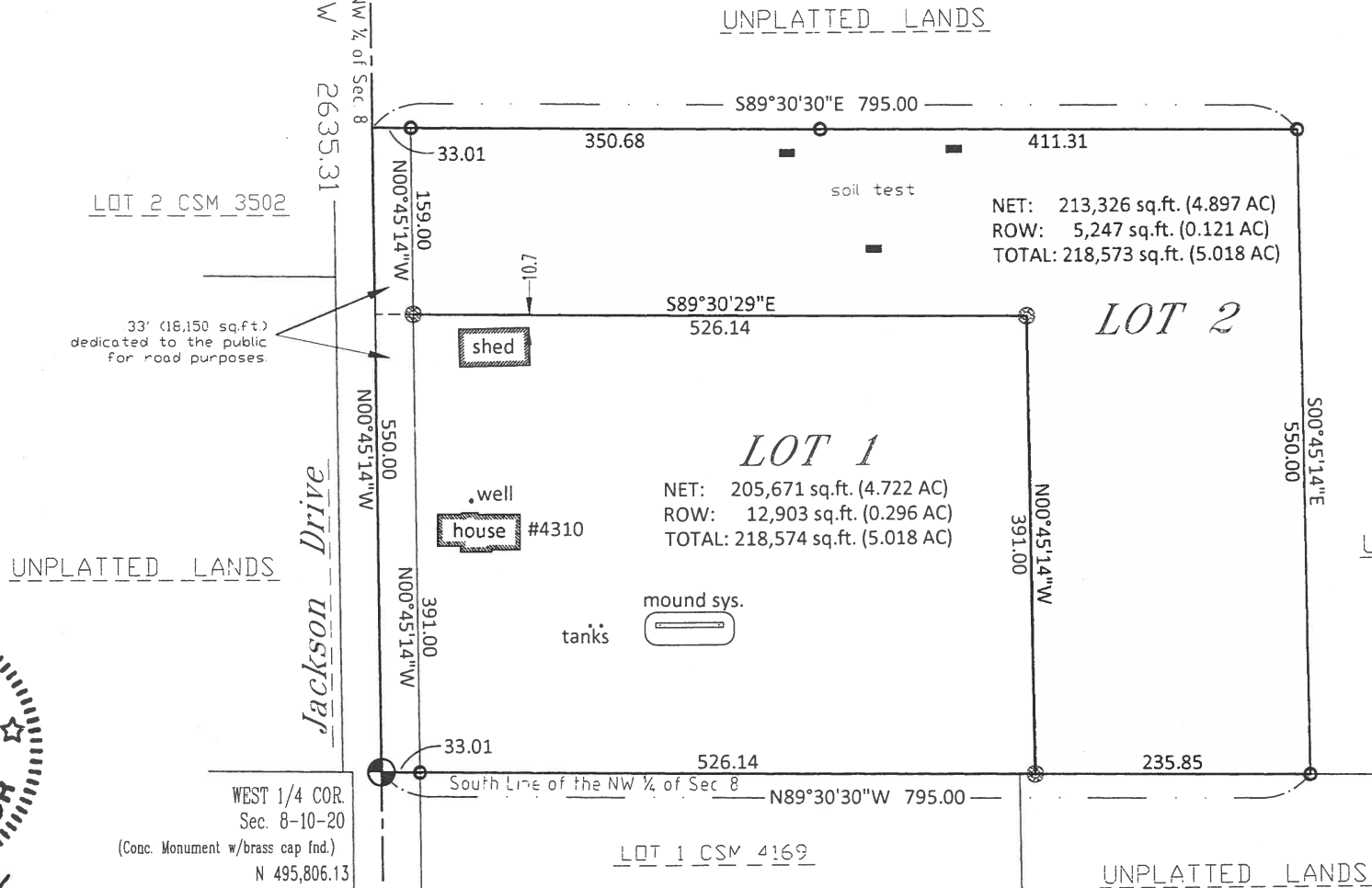
Certified Survey Map

Part of the SW ¼ of the NW ¼ of Section 8, Town 10
North, Range 20 East, Town of Jackson,
Washington County, Wisconsin,

NW CORNER N 498,440.92 (State Plane Coordinates)
Sec. 8-10-20 E 2,488,949.15
(Conc. Monument w/brass cap fnd.)

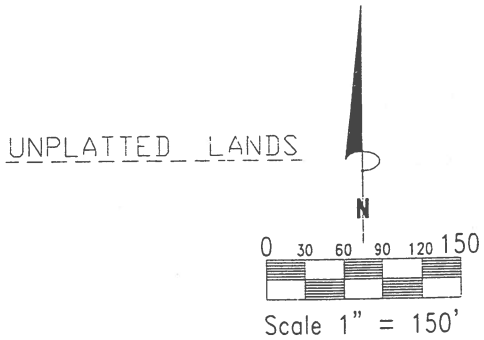
OWNER:
Steven R. Weinand
N172 W20625
Hazelwood Lane
Jackson, WI. 53037
(262) 677-3266

SURVEYOR:
Eric M. Schmitz
Eric Schmitz Corporation
2334 Stonebridge Circle
Unit A
West Bend, WI. 53095
(262) 338-6994



Eric M. Schmitz
Eric M. Schmitz (S-1660) DATE 1-22-2020

- LEGEND**
- DENOTES AN 1 1/4" (O.D.) IRON PIPE FOUND
 - ⊗ DENOTES 1 1/4" (O.D.) x 18" IRON PIPE SET WEIGHTING NOT LESS THAN 1.13 LBS/FT.
 - DENOTES A SOIL BORING



NOTES

There are no wetlands, floodplain, or shoreland district lines which cross this property per Washington County GIS mapping, (<http://gisweb.co.washington.wi.us/Apps/washcgis/>) North Referenced To The Wisconsin Coordinate System, South Zone Based On The Control Survey Summary Diagram By Southeastern Wisconsin Regional Planning Commission, Revised February 2019 And The West Line Of The NW 1/4 Of Section 8-10-20 Bearing N 06°45'14" W

This instrument was drafted by Eric M. Schmitz, S-1660 SHEET 1 of 2

Certified Survey Map

Part of the SW ¼ of the NW ¼ of Section 8, Town 10 North, Range 20 East, Town of Jackson, Washington County, Wisconsin,

Surveyor's Certificate:

I, Eric M. Schmitz, registered land surveyor, hereby certify that by the direction of Steven R. Weinand, I have surveyed, divided, mapped, and shown the land described hereon; That part of the SW ¼ of the NW ¼ of Section 8, Town 10 North, Range 20 East, Town of Jackson, Washington County, Wisconsin, described as follows: Commencing at the West 1/4 Corner of said Section 8; also being the point of beginning; thence N 00°45'14" W along the West line of the NW ¼ of said Section 8, 550.00 feet; thence S 89°30'30" E 795.00 feet; thence S 00°45'14" E 550.00 feet to the South line of the NW ¼ of said Section 8; thence N 89°30'30" W along the South line of the NW ¼ of said Section 8, 795.00 feet to the point of beginning. Said described lands containing 437,147 sq.ft. (10.036 Acres) of land, more or less. That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made. I have fully complied with the provision of Chapters 236.20, 236.21(2)(a) and 236.34 of the Wisconsin State Statutes, and the Land Division Ordinances of the Town of Jackson, and the Village of Jackson, in surveying, dividing and mapping said land.

Owner's Certificate:

As owner, I hereby certify that I caused the land shown and described herein to be surveyed, divided, dedicated, and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required to be submitted to the following for approval: Town of Jackson Plan Commission, and the Town of Jackson Town Board, Village of Jackson Plan Commission, and the Village of Jackson Village Board.

WITNESS the hand and seal of said owners this _____ day of _____, 2020. In the presence of:

Steven R. Weinand

Witness

TOWN OF JACKSON PLAN COMMISSION APPROVAL

This land division is hereby approved by the Town of Jackson Plan Commission on this _____ day of _____, 2020.

Randy Vogel, Chairperson

Gordon Hoffmann, Zoning Administrator

TOWN OF JACKSON TOWN BOARD APPROVAL

This land division is hereby approved by the Town of Jackson Town Board on this _____ day of _____, 2020.

Raymond Heidtke, Chairperson

Julia Oliver, Town Clerk

VILLAGE OF JACKSON PLAN COMMISSION APPROVAL

This land division is hereby approved by the Village of Jackson Plan Commission on this _____ day of _____, 2020.

Mike Schwab, Chairperson

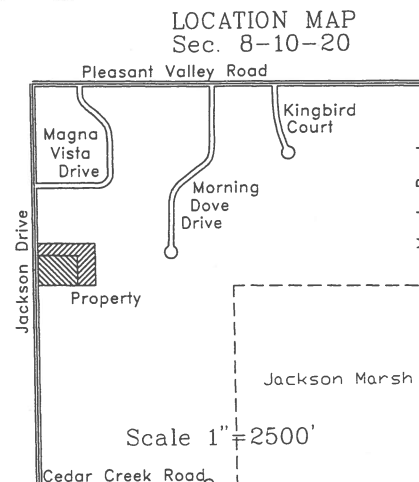
Jilline Dobratz, Clerk

VILLAGE OF JACKSON VILLAGE BOARD APPROVAL

This land division is hereby approved by the Village of Jackson Village Board on this _____ day of _____, 2020.

Mike Schwab, Chairperson

Jilline Dobratz, Clerk



(STATE OF WISCONSIN WASHINGTON COUNTY) s.s

Personally came before me this _____ day of _____, 2020,
the above named owners are to me known to be the same persons
who executed the foregoing instrument and acknowledge the same.

(Notary Seal) _____, Notary Public,

_____, Wisconsin.

My commission expires _____



Eric M. Schmitz (S-1660)

1-22-2020

DATE

This instrument was drafted by Eric M. Schmitz, S-1660 SHEET 2 of 2

Resolution #20-02

A RESOLUTION REAFFIRMING PLAN COMMISSION APPROVAL OF AN AMENDMENT TO THE VILLAGE OF JACKSON COMPREHENSIVE PLAN TO CREATE A YEAR 2050 VILLAGE OF JACKSON COMPREHENSIVE PLAN

WHEREAS, the Village of Jackson, Wisconsin, pursuant to Sections 60.10(2)(c), 62.23, 61.35, 60.22(3), and 66.1001(4)(b) of the Wisconsin Statutes, adopted a comprehensive plan on August 10, 2009, as referenced in Chapter 38 of the Village Code of Ordinances; and

WHEREAS, pursuant to Section 66.1001(2)(i) of the Wisconsin Statutes, a comprehensive plan shall be updated no less than once every 10 years; and

WHEREAS, pursuant to Section 66.1001(4)(a) of the Wisconsin Statutes, future amendments to the comprehensive plan must also be carried out in accordance with public participation procedures adopted by the Village Board designed to foster public participation in the amendment process; and

WHEREAS, the Village Board adopted such participation procedures to amend the comprehensive plan by means of Resolution #19-24 on September 10, 2019; and

WHEREAS, Part 1(6) of the procedures states "Following the public hearing", the Plan Commission will make a recommendation to the Village Board to approve, deny, or modify the proposed amendment. The Plan Commission's recommendation will be in the form of a resolution approved by a majority of the full membership of the Plan Commission; and

WHEREAS, the Village Plan Commission finds that the Village of Jackson comprehensive plan, with the proposed amendment, addresses all required elements specified in Section 66.1001(2) of the Statutes and that the comprehensive plan, with the proposed amendment, is internally consistent; and

WHEREAS, the Village Plan Commission, by a majority vote of the entire Plan Commission at its regular meeting held on September 26, 2019, adopted Resolution #19-27 approving the amendment, and recommended adoption of Amendment No. One (1) by the Village Board to create a year 2050 comprehensive plan for the Village of Jackson as the 10-year update to the Village comprehensive plan required by Section 66.1001(2)(i) of the Wisconsin Statutes; and

WHEREAS, the Village duly noticed and held a public hearing before the Village Board on the proposed amendment following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes, and the public participation procedures for the comprehensive plan amendments adopted by the Village Board pursuant to Resolution #19-24; and

WHEREAS, the Village Board of the Village of Jackson adopted Ordinance #19-04 on November 12, 2019 approving Amendment No. One (1) to create a year 2050

comprehensive plan for the Village of Jackson as the 10-year update to the Village of Jackson comprehensive plan;

NOW, THEREFORE, BE IT RESOLVED, that pursuant to Section 66.1001(4)(b) of the Statutes, the Village of Jackson Plan Commission hereby reaffirms Resolution #19-27 approving Amendment No. One (1) to create a year 2050 comprehensive plan for the Village of Jackson as the 10-year update to the Village comprehensive plan.

Adopted by the Village of Jackson Plan Commission this 27th day of February 2020.

Introduced by:_____

Seconded by:_____

Vote: _____ Ayes _____ Nays

Passed and Approved:_____

Michael E. Schwab, Chairperson
Village of Jackson Plan Commission

Attest:_____
Jilline S. Dobratz - Village Clerk

Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

Village Official

Date

STAFF REVIEW COMMENTS
Plan Commission Meeting – February 27, 2020

1. Concept Plan – John & Steve Kreuser – Self-Storage Facility - Alcan Ct., Lot 2

Building Inspection

- Staff held a pre-development meeting with the owners and contractor to discuss initial concerns.
- Separate permit(s) will be required for all signage.
- Building material and colors should be represented in the revised plans as well as any other planned architectural enhancements.
- Accessible storage units shall have at least one designated accessible parking area located as close as possible.
- Revised plans should indicate the total number of required accessible units and the location of accessible parking for those spaces.

(A minimum of 10 accessible units plus 2% of the total number of units over 200 are required to be accessible. Units shall be dispersed throughout the different classes of units.)

Public Works/Engineering

- Storm water will be discharge to the region pond in the industrial park, although, the proposal should address the increase of impervious area on the site, and how the surface water will discharge into the storm sewer system to meet Article III. Post-Construction Stormwater Management in the Village Code. The Village has allowed asphalt in the setback areas, although, the design did not infringe in proper storm water management. Some of the impervious areas may have to be reduced in order to meet the storm water management ordinance.

Police Department

- Recommend sufficient lighting and security cameras.

Fire Department

- All building must be within 250 ft. of fire hydrant.
- Distance looks good between and end of buildings.

Administrative/Planning

- No additional comments.

STAFF REVIEW COMMENTS
Plan Commission Meeting – February 27, 2020

2. Planned Unit Development Amendment – Design 2 Construct/J & M Ltd – Storage Building – N168W19490 Main St.

Building Inspection

- Recommend material color on the proposed building closely match those of the existing building(s) located on the parcel.

Public Works/Engineering

- The only utility is electric for the proposed, so no additional impact fees for the proposal.
- Will the proposed building eliminate the outside storage of the vehicles and trailers and the site?

Police Department

- Recommend sufficient lighting.

Fire Department

- Must be within 250 ft. of fire hydrant.
- Fire extinguisher.
- Knox box on building or ok with putting key in existing knox box on gas station.
- Access around all sides of building.

Administrative/Planning

- Fits the commercial nature of the current business.

3. Certified Survey Map – Town of Jackson, Behrens 1927 LLC – Sherman Rd.

Building Inspection

- No comments.

Public Works/Engineering

- The proposed land division is in the Town of Jackson Limited Water Service Area (LWSA) and the Village of Jackson Extraterritorial Jurisdiction. The Village should only review the land division and not how the land will be served by water service.
- Recommend take no exception.

STAFF REVIEW COMMENTS
Plan Commission Meeting – February 27, 2020

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- Recommend take no exception.

4. Certified Survey Map – Town of Jackson, Steven Weinand – 4310 Jackson Dr.

Building Inspection

- No comments.

Public Works/Engineering

- The proposed land division is in the Village of Jackson Extraterritorial Jurisdiction, and outside of the Village Sewer or Water service area.
- Recommend take no exception.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- Recommend take no exception.