

AGENDA
PLAN COMMISSION MEETING
Thursday, January 6, 2022 at 7:00 p.m.
Jackson Municipal Complex
Village Board Room
N168 W19851 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of Minutes for the Plan Commission Meeting of December 2, 2021
3. Conditional Use Amendment – Morning Star Lutheran Church – Early Childhood Learning Building Addition – N171W20131 Highland Road
4. Citizens to Address the Plan Commission
5. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

**DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday, December 2, 2021 at 7:00 p.m.
Jackson Municipal Complex
Village Board Room
N168 W19851 Main Street
Jackson, WI 53037**

1. Call to Order and Roll Call

Pres. Schwab called the meeting to order at 7:07 p.m.

Members Present: Tr. Kruepke, Sarah Mleziva, Jon Molkentin, Dan Reik, and Jon Weil

Member Excused: Tr. Emmrich

Staff Present: Building Inspector/Code Enforcement Officer Collin Johnson,
Administrator Jen Keller and Clerk Jilline Dobratz

2. Approval of Minutes for the Plan Commission Meeting of October 28, 2021 and Special Plan Commission Meeting of November 18, 2021

Motion by Jon Weil, second by Jon Molkentin to approve the Plan Commission minutes of October 28, 2021 and Special Plan Commission meeting of November 18, 2021 as submitted.

Vote: 6 ayes, 0 nays. Motion carried.

3. Conditional Use Permit – Holly and Maxwell Krajnik – Three Dogs – W207N17349 Parkview Drive

Motion by Pres. Schwab, second by Sarah Mleziva recommend Village Board approve the Conditional Use Permit – Holly and Maxwell Krajnik – Three Dogs – W207N17349 Parkview Drive.

Discussion on number of animals per Ordinance and expiration of Conditional Use Permit.

Motion amended by Pres. Schwab, second by Sarah Mleziva recommend Village Board approve the Conditional Use Permit – Holly and Maxwell Krajnik – Three Dogs – W207N17349 Parkview Drive per staff comment the approval would expire upon on the animal passing and it would not be extended.

Vote: 6 ayes, 0 nays. Motion carried.

4. Preliminary Plat – Neumann Developments, Inc. – Maple Fields Subdivision 3245 Maple Road

Bryan Lindgren, Neumann Developments, Inc., was present to answer any questions. They are not proposing any changes and will be phasing the development. They have no concerns with any of the staff comments.

Motion by Jon Weil, second by Jon Molkentin recommend the Village Board approve the Preliminary Plat – Neumann Developments, Inc. – Maple Fields Subdivision – 3245 Maple Road as presented.

Jon Weil inquired on signage and renaming East Gate Court. Easement discussion ensued.

Motion amended by Jon Weil, second by Jon Molkentin recommending the Village Board approve the Preliminary Plat – Neumann Developments, Inc. – Maple Fields Subdivision – 3245 Maple Road to include Staff comments general conditions of approval (1-12) and specific conditions of approval (1-4).
Vote: 6 ayes, 0 nays. Motion carried.

5. Covenants – Maple Fields Subdivision Discussion Only

Comments and questions included:

- Sidewalks are the Homeowners Responsibility
- Outline Maintenance Sidewalk Costs
- Potential Rental Restrictions
- Supply the Village with the Recorded Declarations
- East Gate Drive Finished Culverts
- Standardized Culverts

6. Developer's Agreement – Draft – Maple Fields Subdivision – Discussion Only

Comments and questions included:

- Developer's Agreement Specific to Phase One
- Developer's Agreement Consistent with the Project
- Updated Drawings for the Phase

7. Citizens to Address the Plan Commission

None.

8. Adjourn

Motion by Pres. Schwab, second by Tr. Kruepke to adjourn.

Vote: 6 ayes, 0 nays. Meeting adjourned at 7:37 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCPC*
Village Clerk

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

☐ COMMERCIAL	☐ INDUSTRIAL	☐ RESIDENTIAL	☒ OTHER Church/School-Institutional
☒ CONDITIONAL USE	☐ PLANNED UNIT DEVELOPMENT	☐ CERTIFIED SURVEY MAP	☐ CONCEPT PLAN
☐ <i>New</i>	☐ <i>New</i>		
☒ <i>Amendment</i>	☐ <i>Amendment</i>		
☐ <i>Special Use</i> (For existing Cond. Use ONLY)	☐ <i>Special Use</i> (For existing PUD ONLY)	☐ OTHER _____	

Property Address: N171 W20131 Highland Road Unit: Jackson, WI

Parcel #: V3_046300E Lot Size: 378,536 sq. ft. Building Area: Addition - 7,800 sq. ft.

Current Zoning: ☐ B-1 ☐ B-2 ☐ M-1 ☐ M-2 ☐ I-1 ☒ PUD ☐ Other _____ Floodplain: Y / (N)

APPLICANT INFORMATION

Name(s): Morning Star Evangelical Lutheran Church of Jackson - Darwin Schramm

Mailing Address: N171 W20131 Highland Road, Jackson State WI Zip 53037

Office: (262) 707-8061 Cell: () _____ Fax: () _____

Email: president@morningstarwels.org

BUSINESS INFORMATION *(If New Business)* Not a new business

Legal Business Name: _____

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: () _____ Cell: () _____ Fax: () _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): Morning Star Evangelical Lutheran Church of Jackson

Address: N171 W20131 Highland Road, Jackson State WI Zip 53037

Office: (262) 707-8061 Cell: () _____ Fax: () _____

Email: president@morningstarwels.org

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION *(Circle One)*

Firm Name: Excel Engineering Inc

Primary Contact: Jason Daye

Address: 100 Camelot Dr, Fond du Lac State WI Zip 54935

Office: (920) 322-1687 Cell: () _____ Fax: () _____

Email: jason.d@excelengineer.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: _____
Early childhood learning addition to the south side of the existing school building.

Provide a brief overview of proposed use(s) of entire property and/or lease space: _____
The existing & proposed use is a church and school.

Existing Church: Saturday evening, Sunday morning and religious holiday church services. Additional
Hours of Operation: individual meetings, activities on a smaller basis.
Existing School: Weekly - Before school care 6:30 am / School Opens 7:50 am / Dismissal 3:15 pm / After School Ends 6:00 pm
New Daycare Program: 6 am to 6 pm, M-F
Provide a brief overview of proposed daily on-site operations: _____

No change to existing church and school operations is proposed. New daycare program will be
operated M-F from 6 am to 6 pm.

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: _____
There will be no negative environmental impacts from the proposed use.

Describe all businesses, properties and other entities located adjacent to the proposed use: _____
All adjacent properties are residential.

Describe any proposed, development, on-site improvements or other construction/remodeling activities: _____
Early childhood learning addition to the south side of the existing school building with new parking
and drive lane .

Describe any proposed grading, and/or stormwater management plan: The site will be graded around the
proposed building addition, parking area, and new drive lane. The existing dry pond at the south end of
the site will be enlarged.

Describe any proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____
New trees will be planted along the west edge of the fire lane in order to provide headlight screening for neighboring property.

Describe any proposed on-site security measures including site lighting: _____
The new entrance will be secure. Additional doors shown on the plan are for emergency exiting.
New site lighting proposed at the new parking area and drive lane.

Describe any existing or proposed Life Safety Systems (Includes fire hydrants, fire suppression & fire alarm systems): _____
Hydrants exist on site, existing church is sprinklered with fire alarm system. Church is separated from the school
with a fire wall. The existing school is not sprinklered and contains a fire alarm. The addition would not
be sprinklered, but will include a fire alarm.

Describe the projected traffic circulation and impacts: Traffic will flow one way from east to west on the proposed driveway south of the proposed parking. Traffic will continue to move one way from south to north until it reaches Highland Rd.

List all setbacks from rights-of-way and property lines and height limitations: _____
Building addition is not located near right-of-way. Required front (30'), side (12'), and rear (25') building setbacks to residential lot line will be met. Required 25' pavement setback will be met. Addition building height will match existing at 27'-4".

Provide status of State/Federal License(s) or Certificate(s) required for operation, if any: _____
No additional licenses known to be required or will be pursued at this time.

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

☒ No ☐ Yes If yes, explain: _____

Describe any proposed signage including type, size, and location: New Do Not Enter direction signage proposed.

If construction is proposed, describe proposed exterior building materials (type, color, etc.): _____
Painted split face CMU block. Painted split face fluted block. Aluminum windows and doors. Hollow metal painted doors. All new exterior finishes will match existing.

Describe any site specific features/constraints, etc.: _____
No existing site specific features or constraints. Project is an addition to an existing building.

Outline proposed parking requirements including number of spaces plus those dedicated for handicapped parking: _____
Parking required is 1 space per employee and 1 space per student 16 years of age or older. 2 handicap stalls are required and 2 stalls are provided. 10 total spaces are required and 31 total spaces have been provided.

Describe all proposed screening/buffering from adjacent properties (where required by ordinance): _____
New trees will be planted along the west edge of the drive lane to provide screening for the neighboring properties.

Describe the proposed provisions for refuse and recycling collection/storage and required screening/buffering: _____
No new enclosures proposed; current enclosure is located on the east side of the garage at the southwest corner of the parking lot.

Projected Sewer/Wastewater Usage: TBD by plumber gal/year

Projected Water Usage: TBD by plumber gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print): Darwin Schramm

Applicant Signature: Darwin Schramm

Co-Applciant Name (Print): _____

CO-Applciant Signature: _____

Date of Application: 12-3-21

You MUST sign and date this Application!

SUBMIT TO: Village of Jackson – Village Hall (Checks shall be made payable to Village of Jackson)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For all **general questions** related to completing form or questions related to Village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For questions concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

☐ TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY	
Acct. #: 100-00-45730-000-00	
Date Received:	<u>12-7-21</u>
Amount: \$	<u>175.00</u>
Payment Type:	<u>CH</u> / CC / CASH
Check/Rcpt. #:	<u>084476/71</u>
Received By:	<u>[Signature]</u>

VILLAGE OF JACKSON

N168W19851 MAIN ST

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 251710

Date: 12/13/2021

Check

RECEIVED
FROM EXCEL ENGINEERING/MORNING STAR EV CHURCH

\$175.00

Type of Payment

Accounting

Description

PLANNING / ZONING FEES

PLAN COMM APP MORNING STAR EV LUTHERAN

Amount

175.00

TOTAL RECEIVED175.00

Receipt Memo: PLAN COMM APP/CK#084470-71

084470



EXCEL ENGINEERING, INC.
100 CAMELOT DRIVE
FOND DU LAC, WI 54935-8030
(920) 926-9800

HOMETOWN BANK
79-685/759

DATE

03-Dec-21

AMOUNT

\$ \$150.00

PAY
TO THE
ORDER
OF:

One Hundred Fifty 00/100

VILLAGE OF JACKSON
W194N16660 EAGLE DRIVE

JACKSON, WI 53037

MaVard Sand
AUTHORIZED SIGNATURE



⑈084470⑈ ⑆075906854⑆ 6105⑈508⑈

EXCEL ENGINEERING, INC.

084470

VILLAGE OF JACKSON

Check Number: 84470

Check Date: 03-Dec-21

Check Amount: \$150.00

Item to be Paid - Description

Discount Taken

Amount Paid

Fee

\$150.00

084471



EXCEL ENGINEERING, INC.
100 CAMELOT DRIVE
FOND DU LAC, WI 54935-8030
(920) 926-9800

HOMETOWN BANK
79-685/759

DATE

03-Dec-21

AMOUNT

\$ \$25.00

PAY
TO THE
ORDER
OF:

Twenty-Five 00/100

VILLAGE OF JACKSON
W194N16660 EAGLE DRIVE

JACKSON, WI 53037

MaVand Sander
AUTHORIZED SIGNATURE



⑈084471⑈ ⑆075906854⑆ 6105⑈508⑈

EXCEL ENGINEERING, INC.

084471

VILLAGE OF JACKSON

Check Number: 84471

Check Date: 03-Dec-21

Check Amount: \$25.00

Item to be Paid - Description

Discount Taken

Amount Paid

Fee

\$25.00

9
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December 8, 2021

Letter of Intent / Impact Statement

Project: Morning Star Early Childhood Center Addition
N171 W20131 Highland Rd
Jackson, WI 53037

Morning Star Evangelical Lutheran Church of Jackson is requesting Conditional Use Amendment approval for early childhood center addition to their existing property located at N171 W20131 Highland Rd in the Village of Jackson. The property is currently zoned PUD and the proposed project will require an amendment to the existing Conditional Use Permit.

The existing property area is 8.69 acres and 1.71 acres will be disturbed for the proposed project. The +/- 7,800 square foot addition is proposed on the south side of the existing school building. The exterior materials will match the existing building with painted split face CMU block and painted split face muted block. New parking (31 spaces including 2 handicap accessible) is also proposed to the south of the addition. A drive lane is proposed to the south and west of the addition and will connect to the drive lane that currently exists to the west of the existing main parking lot. Traffic will flow in a one-way pattern from east to west and the drive will connect to the existing parking area just off Highland Road to the west of the church. This parking area has an existing connection to Highland Road. No changes to the two (2) existing access points from Highland Road are proposed.

A portion of the existing trees and landscaping will need to be removed between the proposed addition/existing school and the neighboring properties to the west to make room for the drive lane. New trees are proposed along the west edge of the drive lane to provide headlight screening for the neighboring properties. New site lighting will also be provided at the new parking area and along the drive lane the lighting will provide appropriate illumination (measured in foot candles) for safety and will utilize cut-off fixtures for minimal light trespass. The existing dry stormwater pond at the south end of the site will be enlarged to account for the additional stormwater. The proposed development will drain to existing catch basins that will drain stormwater south to the existing dry pond and north to the existing rain garden. The new parking area will runoff directly into the proposed bio-retention basin. The combination of the bio-retention basin and existing dry pond will reduce peak flows and treat stormwater to meet local and state requirements.

The following information is provided to address the required impact statement items. Additional information can be found in the Plan Commission Application document.

A. General Hours of Operation:

- Existing Church: Saturday evening, Sunday morning, and religious holiday church services. Additional individual meetings, activities on a smaller basis.
- Existing School: Weekly - Before school care 6:30 am / School Opens 7:50 am / Dismissal 3:15 pm / After School Ends 6:00 pm.
- New Daycare Program: 6:00 am to 6:00 pm, M-F.

B. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.):

- There will be no negative environmental impacts from the proposed use.

C. Traffic Circulation

- Traffic circulation will flow one way from east to west on the proposed drive lane south of the proposed parking. Traffic will continue to move one way from the south to north until it reaches Highland Rd.

D. Estimated numbers of vehicles and/or equipment, materials, to be parked/stored on site:

- No vehicles, equipment or materials are proposed to be stored on site. For the proposed addition, adequate parking is proposed with 31 new total spaces (with 2 handicap accessible stalls).

E. Proposed sign(s) advertising business, directional signage, dwelling unit rental, etc.:

- No new building signage is proposed. New Do Not Enter directional signage proposed.

F. Proposed dates of construction:

- Anticipated start date is February 21, 2022.

G. Anticipated user profiles (for residential developments):

- N/A for this project.

H. Annual water consumption estimate (100% occupancy and build-out):

- TBD by plumber

I. Annual sewage generation estimate (100% occupancy and build-out):

- TBD by plumber

WARRANTY DEED

DOC#: 1054382



Document Number

This Deed, made between DARWIN HOEFERT, Grantor,
and MORNING STAR EVANGELICAL LUTHERAN CHURCH OF
JACKSON, WISCONSIN, INC., Grantee,

Grantor, for valuable consideration, conveys to Grantee the
following described real estate in WASHINGTON County, State of
Wisconsin (the "Property"):

Recorded
JUNE 28, 2004 AT 11:10AM
SHARON A. MARTIN
REGISTER OF DEEDS
WASHINGTON COUNTY, WI
Fee Amount: \$13.00
Fee Exempt 77.25-(17)

FEE
#77.25 (17)
EXEMPT

Recording Area

Name and Return Address

Morning Star Evangelical Lutheran
Church of Jackson, Wisconsin, Inc.
N171 W20051 Highland Road
Jackson, WI 53037

V3-0463-00D(Part of)

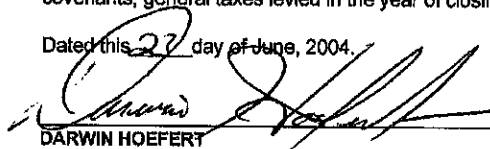
Parcel Identification Number (PIN)

This is not homestead property.**LEGAL DESCRIPTION - EXHIBIT A**

Together with all appurtenant rights, title and interests.

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances and will warrant and defend the same, EXCEPT: municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, general taxes levied in the year of closing.

Dated this 27 day of June, 2004.


DARWIN HOEFERT

(SEAL)

(SEAL)

(SEAL)

(SEAL)

AUTHENTICATION

Signature(s) _____

authenticated this ____ day of _____, _____

TITLE: MEMBER OF STATE BAR OF WISCONSIN
(If not, _____)

authorized by ss. 708.06, Wis. Stats.)
THIS INSTRUMENT WAS DRAFTED BY

ATTY. WILLIAM J. HICKMANN, AS SCRIVENER
WEST BEND WI 53095

(Signatures may be authenticated or acknowledged. Both are not necessary.)

*Names of persons signing in any capacity must be typed or printed below their signature

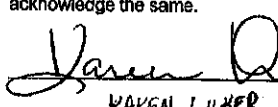
WARRANTY DEED

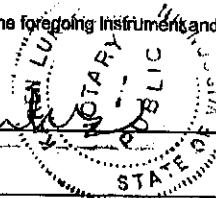
ACKNOWLEDGMENT

State of Wisconsin)
) ss.
WASHINGTON County,)

Personally came before me this 23 day of June,

2004, the above named **DARWIN HOEFERT** to me known
to be the person(s) who executed the foregoing instrument and
acknowledge the same.


KAREN LAKER



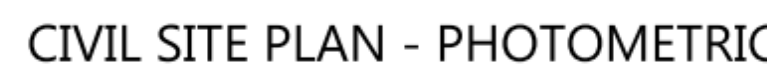
Notary Public, State of Wisconsin

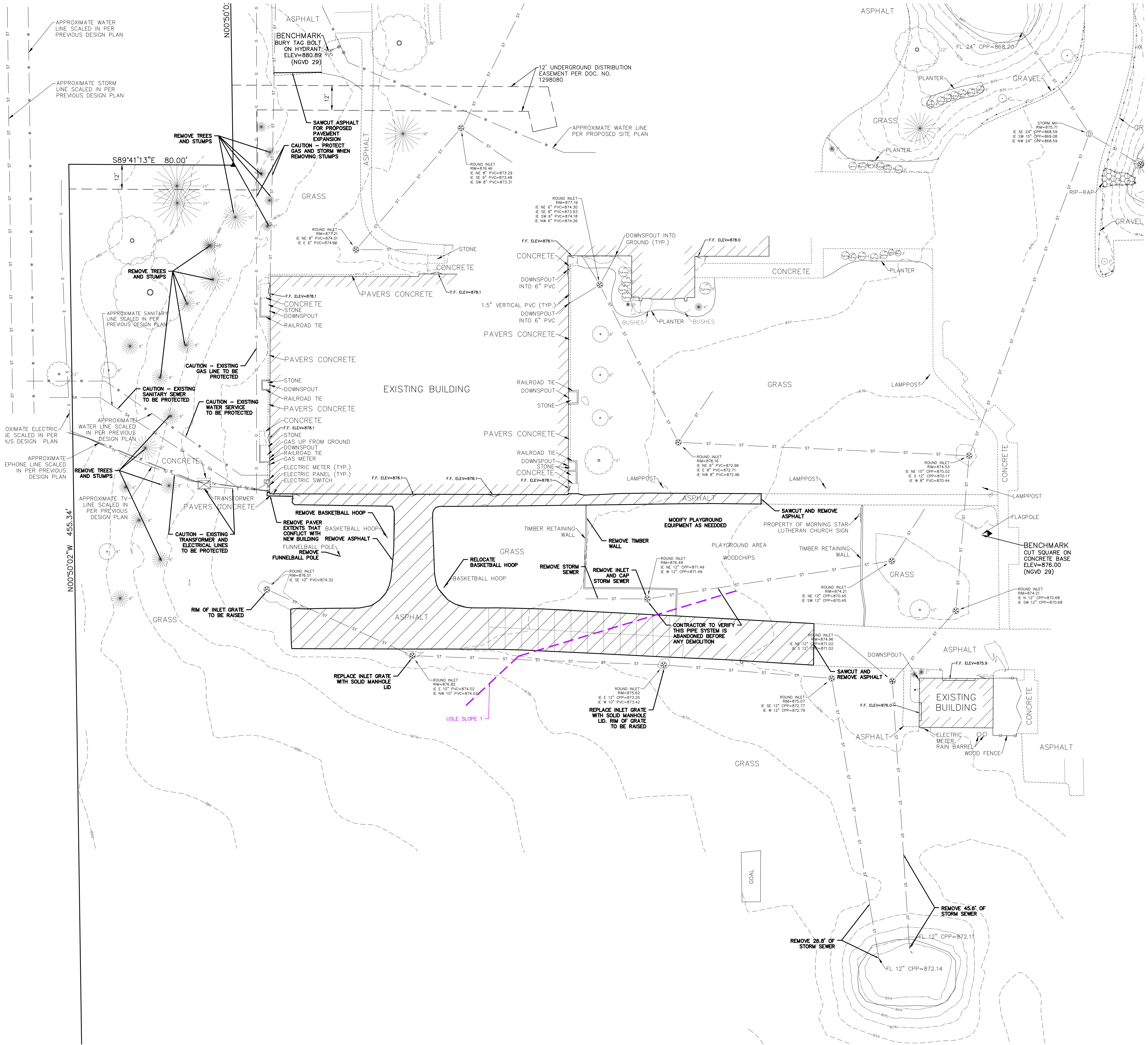
My commission is permanent. (If not, state expiration date): 3-4-07

EXHIBIT "A"

Lot One (1) of Certified Survey Map No. 5461 recorded in the Washington County Registry on April 16, 2002 in Volume 39 of Certified Survey Maps, pages 54 to 58 as Document No. 929487, being a redivision of Lots 1, 2 and 4 of Certified Survey Map No. 4587, as recorded in Volume 31 of Certified Survey Maps, on pages 1-3, as Document No. 704594, being in the NW ¼ of the SW ¼ of Section 17, Town 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin. EXCEPTING THEREFROM the parcels previously described as Lots 1 and 2 of Certified Survey Map No. 4587 recorded in the Washington County Registry on November 20, 1995 in Volume 31 of Certified Survey Maps, pages 1-3 as Document No. 704594.

*THIS DEED IS GIVEN IN FULFILLMENT OF LAND CONTRACT RECORDED
SEPTEMBER 11, 2001 AS DOCUMENT NO. 900203.

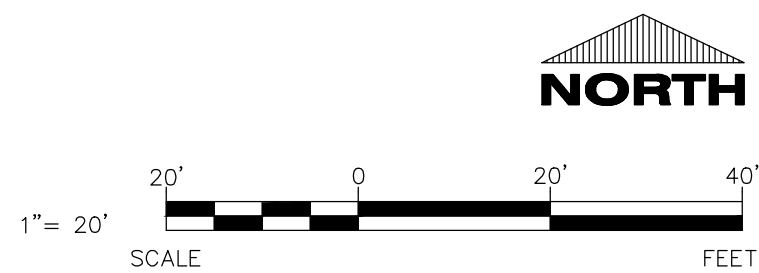


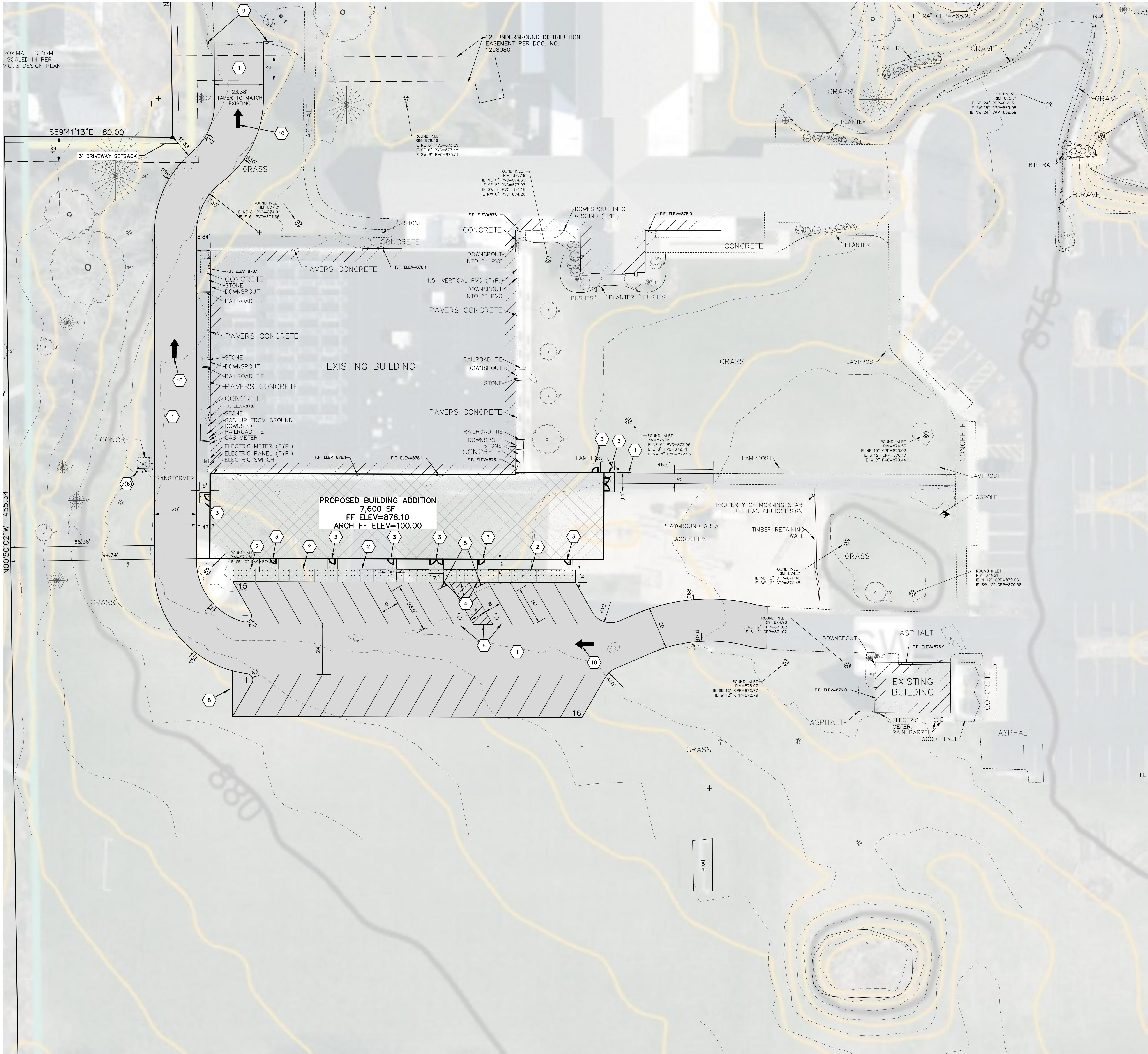


SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 2106602, BY KNIGHT BARRY TITLE GROUP, DATED NOVEMBER 2, 2021. AN UPDATED PLAT OF SURVEY OR ALTA SURVEY HAS NOT BEEN AUTHORIZED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.





SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PAVEMENT HATCH KEY:
STANDARD ASPHALT
SIDEWALK CONCRETE

SITE INFORMATION:

LEGAL DESCRIPTION: PT. OF NW SW CSM 5461 LOT 1 V1598 P73+DOC 1054381+1054382 +1108664

PROPERTY AREA: AREA = 8.69 ACRES

EXISTING ZONING: PUD

PROPOSED ZONING: PUD

PROPOSED USE: CHURCH AND SCHOOL

AREA OF SITE DISTURBANCE: 74,500 SF (1.71 ACRES)

SETBACKS: BUILDING: FRONT = 30'
SIDE = 12'
REAR = 25'

PAVEMENT: FRONT = 25'
SIDE = 25'
REAR = 25'

NOTE: DRIVEWAY SETBACK IS ONLY 3'

PROPOSED BUILDING HEIGHT: 27'

PARKING REQUIRED: 1 SPACE PER EMPLOYEE + 1 SPACE PER STUDENT OF 16 YEARS OF AGE OR OLDER (10 SPACES REQ.)

PARKING PROVIDED: 31 SPACE (2 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	8.69	378,416	
BUILDING FLOOR AREA	0.74	32,152	8.5%
PAVEMENT (ASP. & CONC.)	1.74	75,883	20.1%
TOTAL IMPERVIOUS	2.48	108,035	28.5%
LANDSCAPE/ OPEN SPACE	6.21	270,381	71.5%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	8.69	378,416	
BUILDING FLOOR AREA	0.91	39,472	10.4%
PAVEMENT (ASP. & CONC.)	1.95	85,149	22.5%
TOTAL IMPERVIOUS	2.86	124,621	32.9%
LANDSCAPE/ OPEN SPACE	5.83	253,795	67.1%

SITE PLAN KEYNOTES

- STANDARD ASPHALT SECTION (TYP.)
- CONCRETE SIDEWALK (TYP.)
- CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
- HANDICAP RAMP AND LANDING (SEE DETAIL)
- HANDICAP SIGN (TYP.)
- HANDICAP STALL & STRIPING PER STATE CODES.
- CONCRETE BOLLARD (SEE DETAIL)
- RELOCATED BASKETBALL HOOP
- "DO NOT ENTER" SIGN
- TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.

IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

PROJECT INFORMATION

PROPOSED ADDITION FOR:
MORNING STAR LUTHERAN SCHOOL
N171 W20131 HIGHLAND ROAD • JACKSON, WI 53037

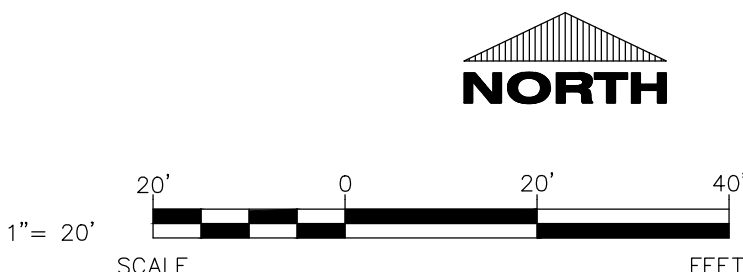
PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 8, 2021

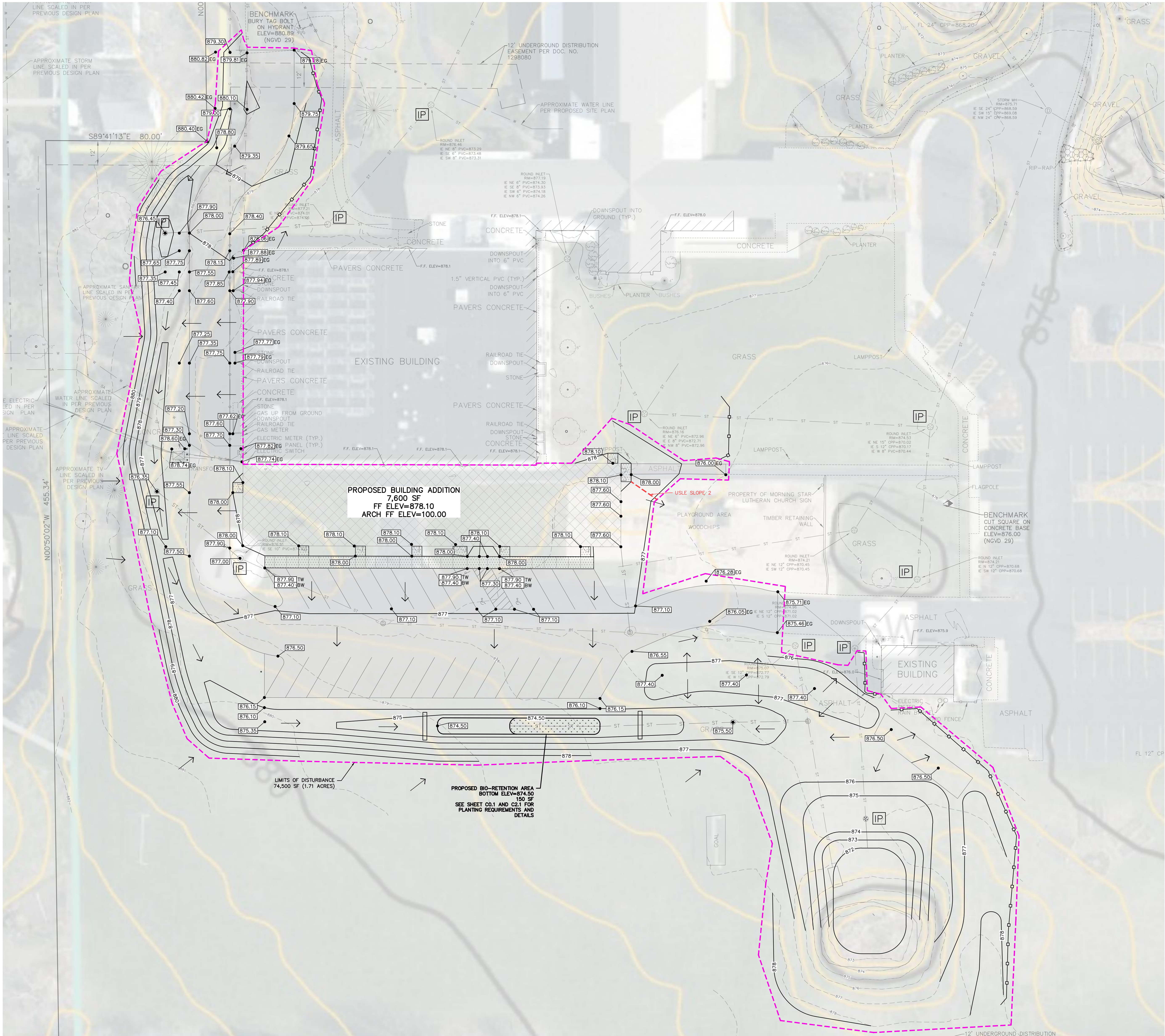
JOB NUMBER
2168580

SHEET NUMBER

C1.1



CIVIL SITE PLAN



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

- NOTES:
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:
CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:
CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

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PROJECT INFORMATION

PROPOSED ADDITION FOR:
MORNING STAR LUTHERAN SCHOOL
N171 W20131 HIGHLAND ROAD • JACKSON, WI 53037

PROFESSIONAL SEAL

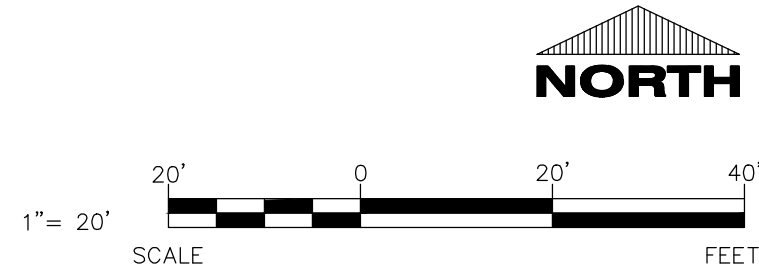
PRELIMINARY DATES
DEC. 8, 2021

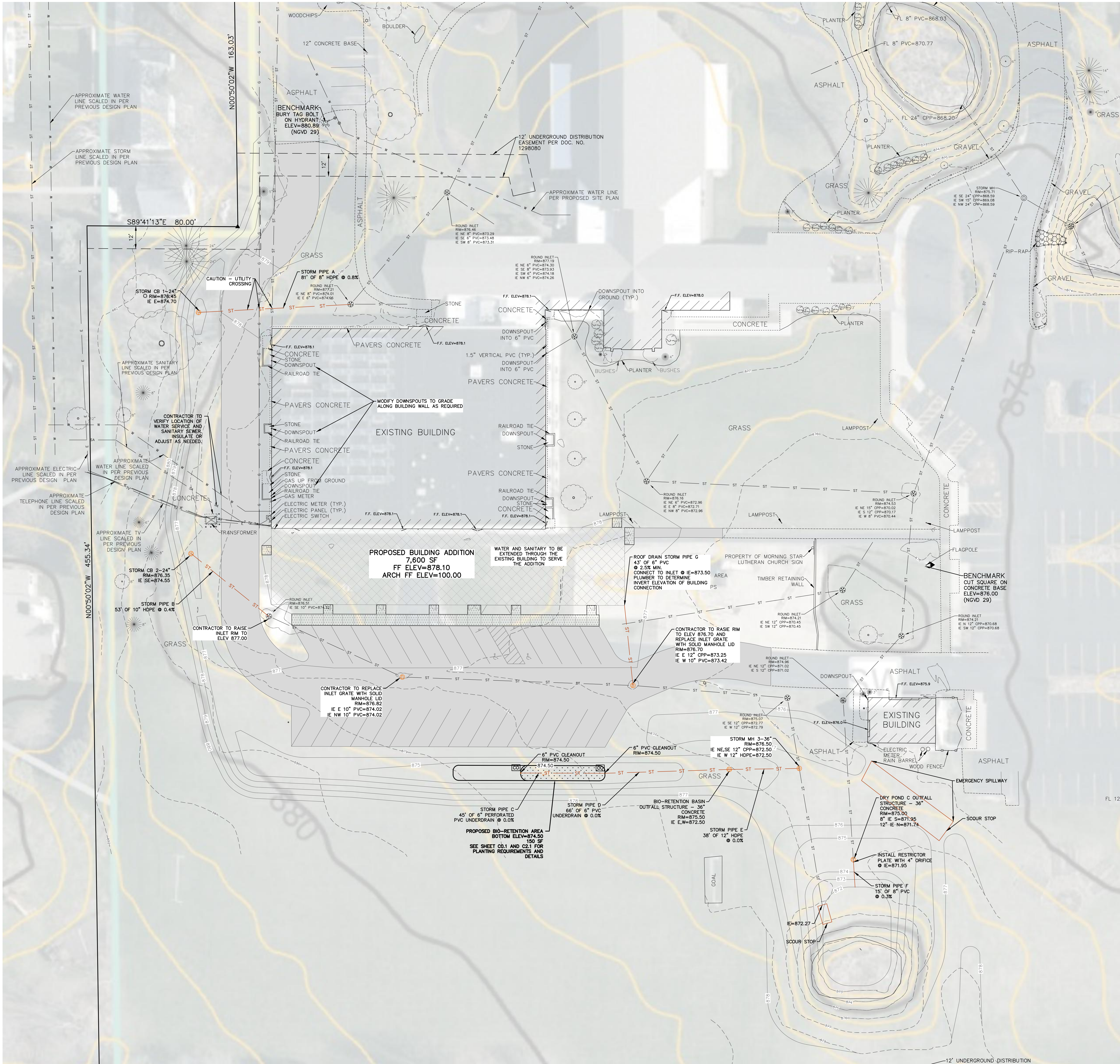
NOT FOR CONSTRUCTION

JOB NUMBER
2168580

SHEET NUMBER

C1.2





SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:

DS = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:

CO = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE C0.1 FOR SPECIFICATION.

PROJECT INFORMATION

PROPOSED ADDITION FOR:
MORNING STAR LUTHERAN SCHOOL
N171 W20131 HIGHLAND ROAD • JACKSON, WI 53037

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 8, 2021

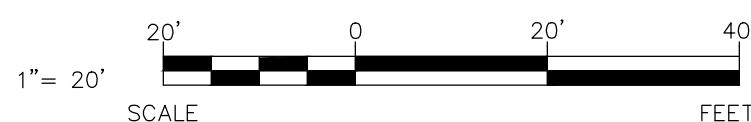
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JOB NUMBER

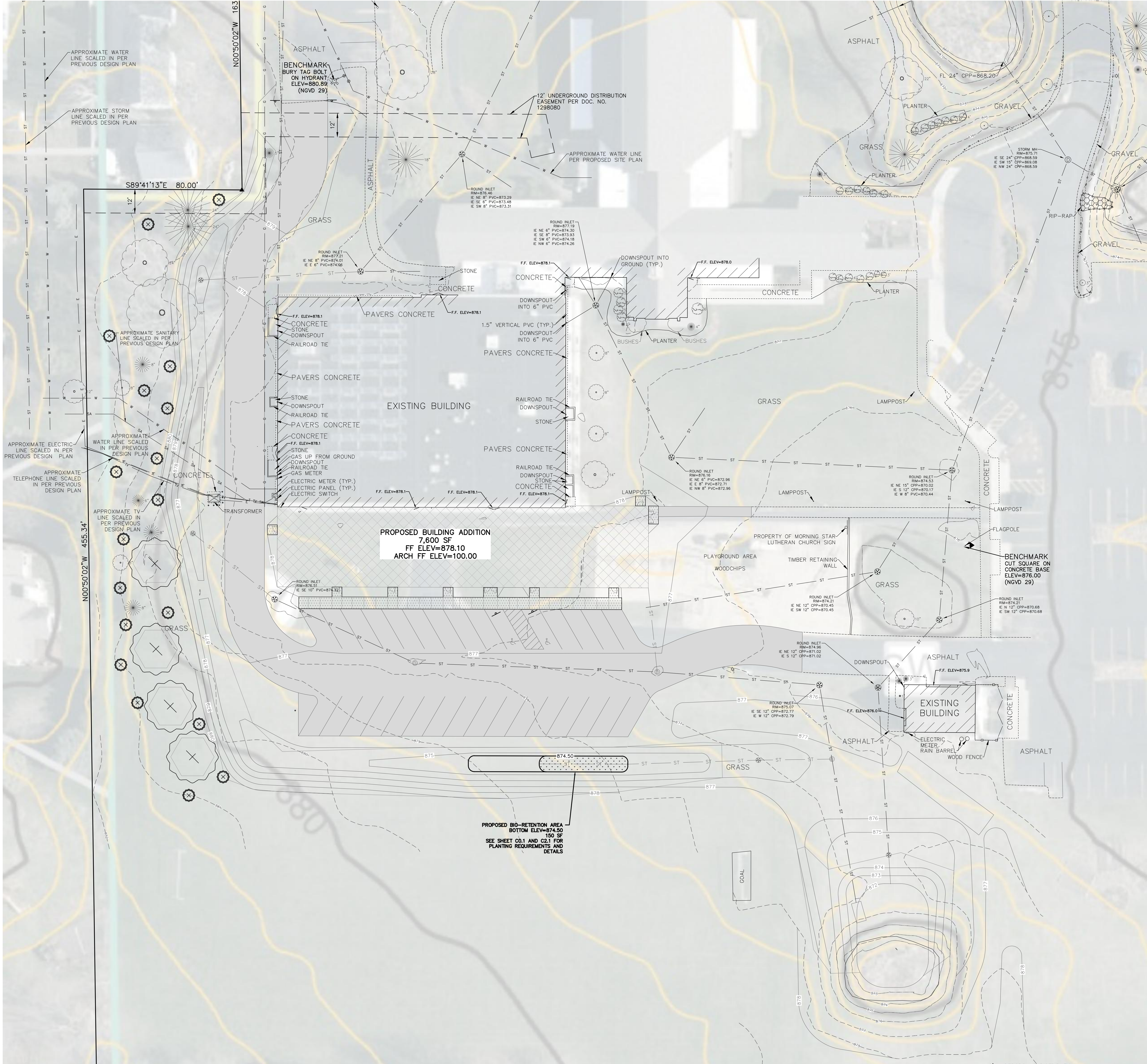
2168580

SHEET NUMBER

C1.3

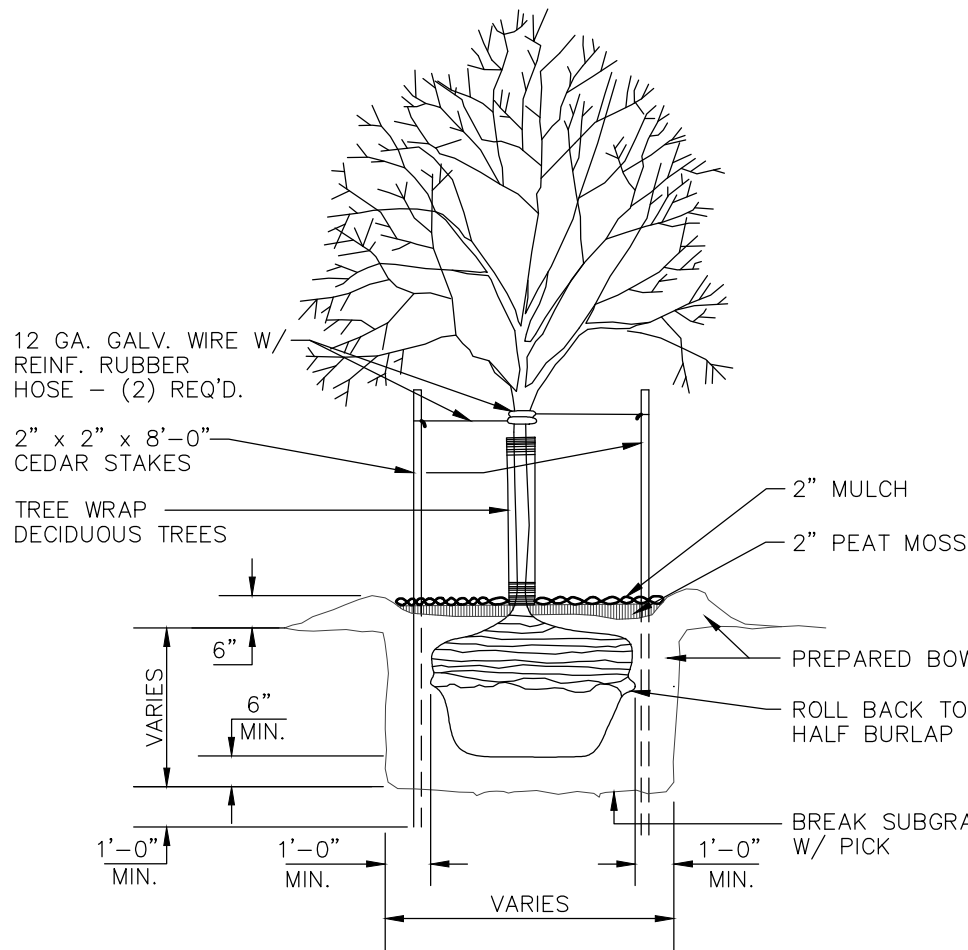


CIVIL UTILITY PLAN



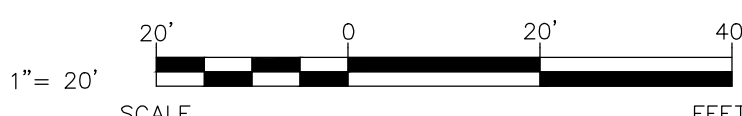
SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION



TREE PLANTING DETAIL
NO SCALE

LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
EVERGREEN TREES				
⊙	Colorado Spruce	Picea pungens	4"	4
⊗	Arbutus - Nigra	Thuja occidentalis 'Nigra'	2"	18



CIVIL LANDSCAPE AND RESTORATION PLAN

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PROJECT INFORMATION

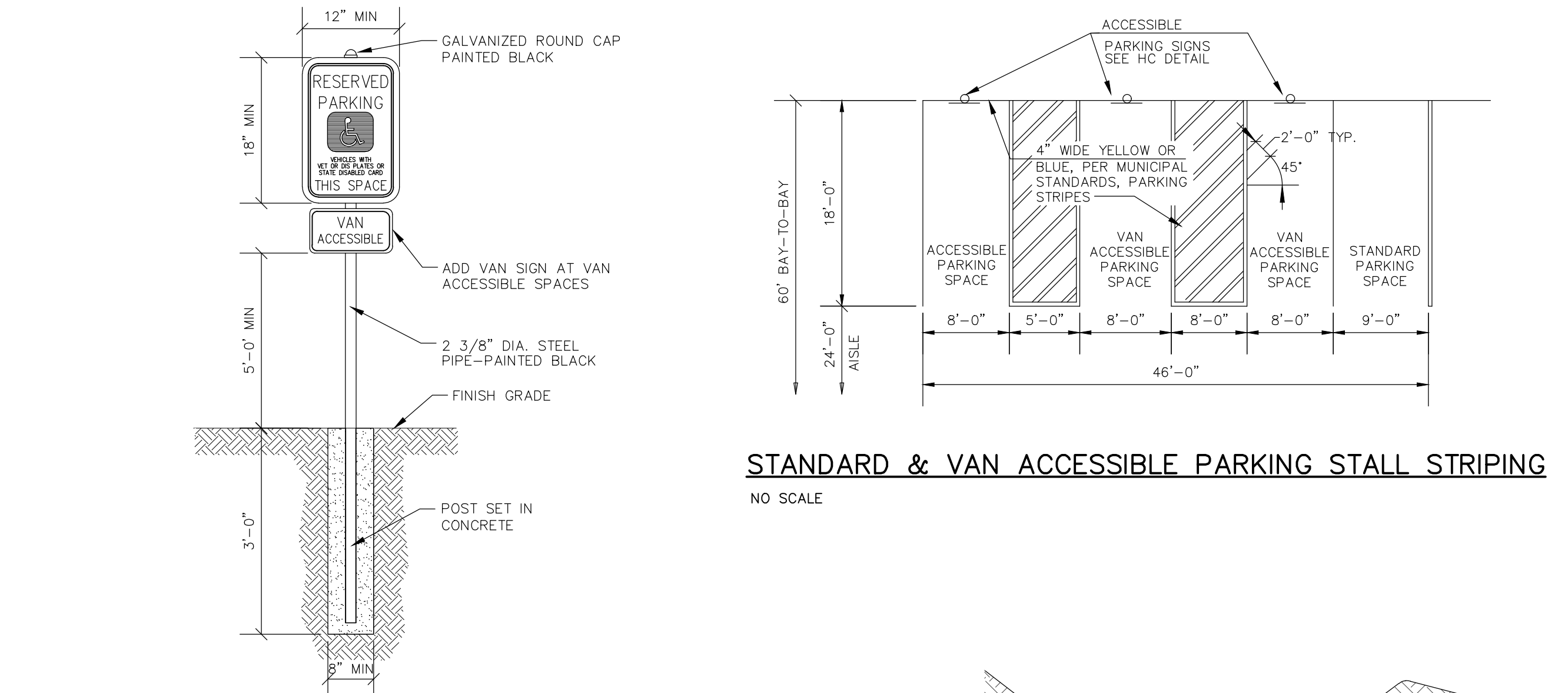
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PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 8, 2021

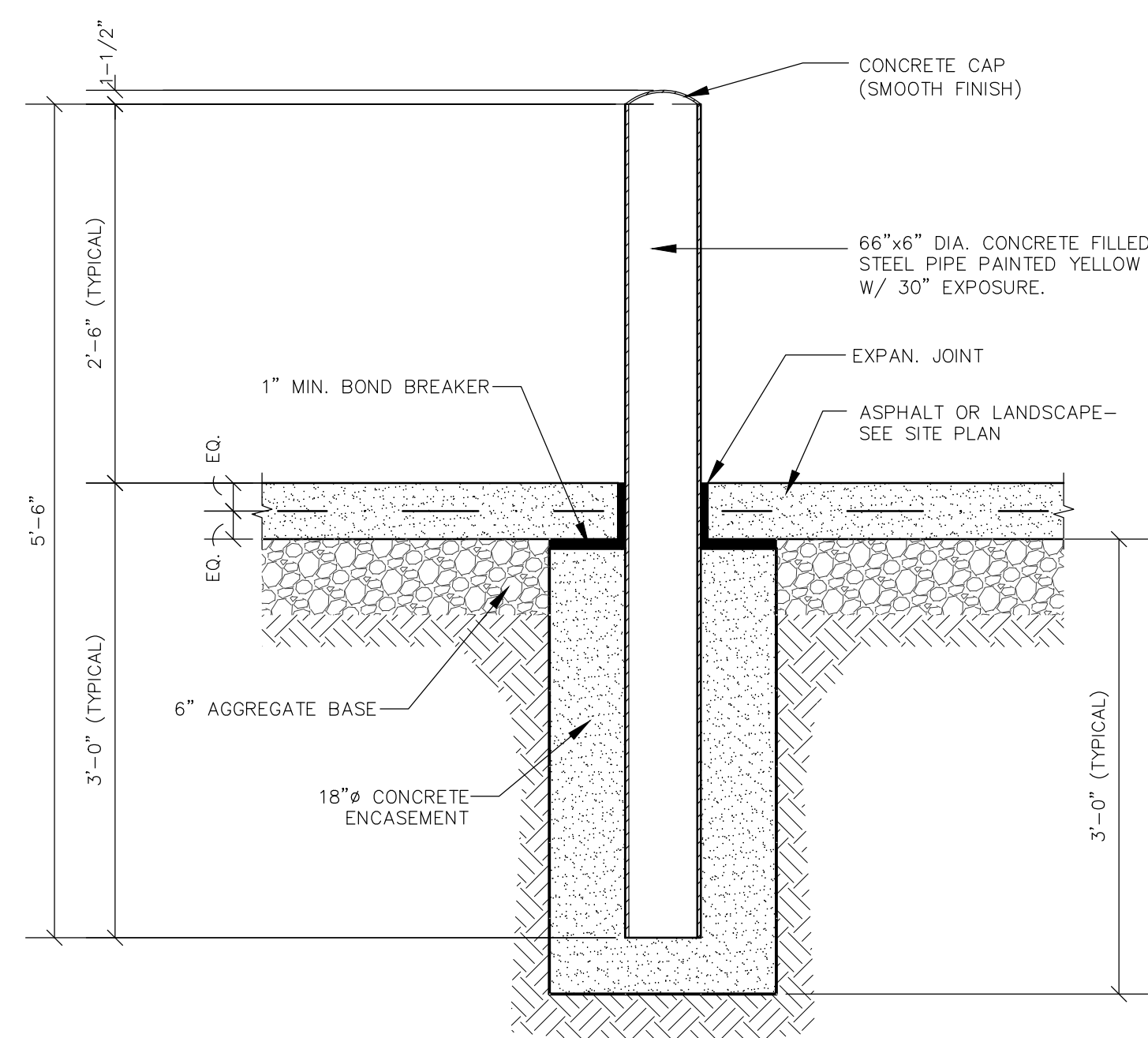
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2168580

SHEET NUMBER
C1.4

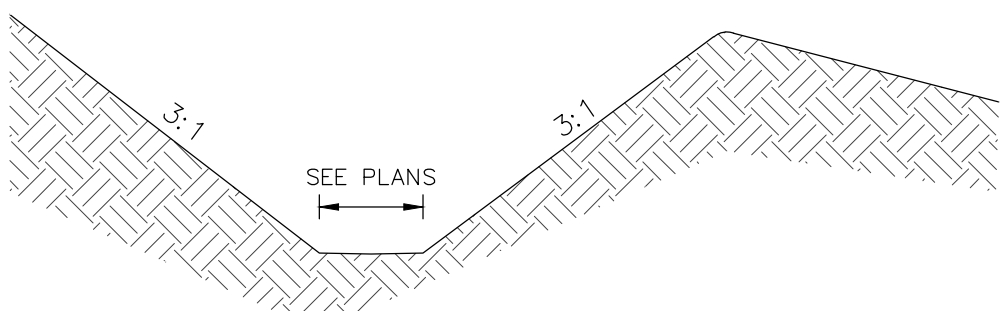


STANDARD & VAN ACCESSIBLE PARKING STALL STRIPING
NO SCALE

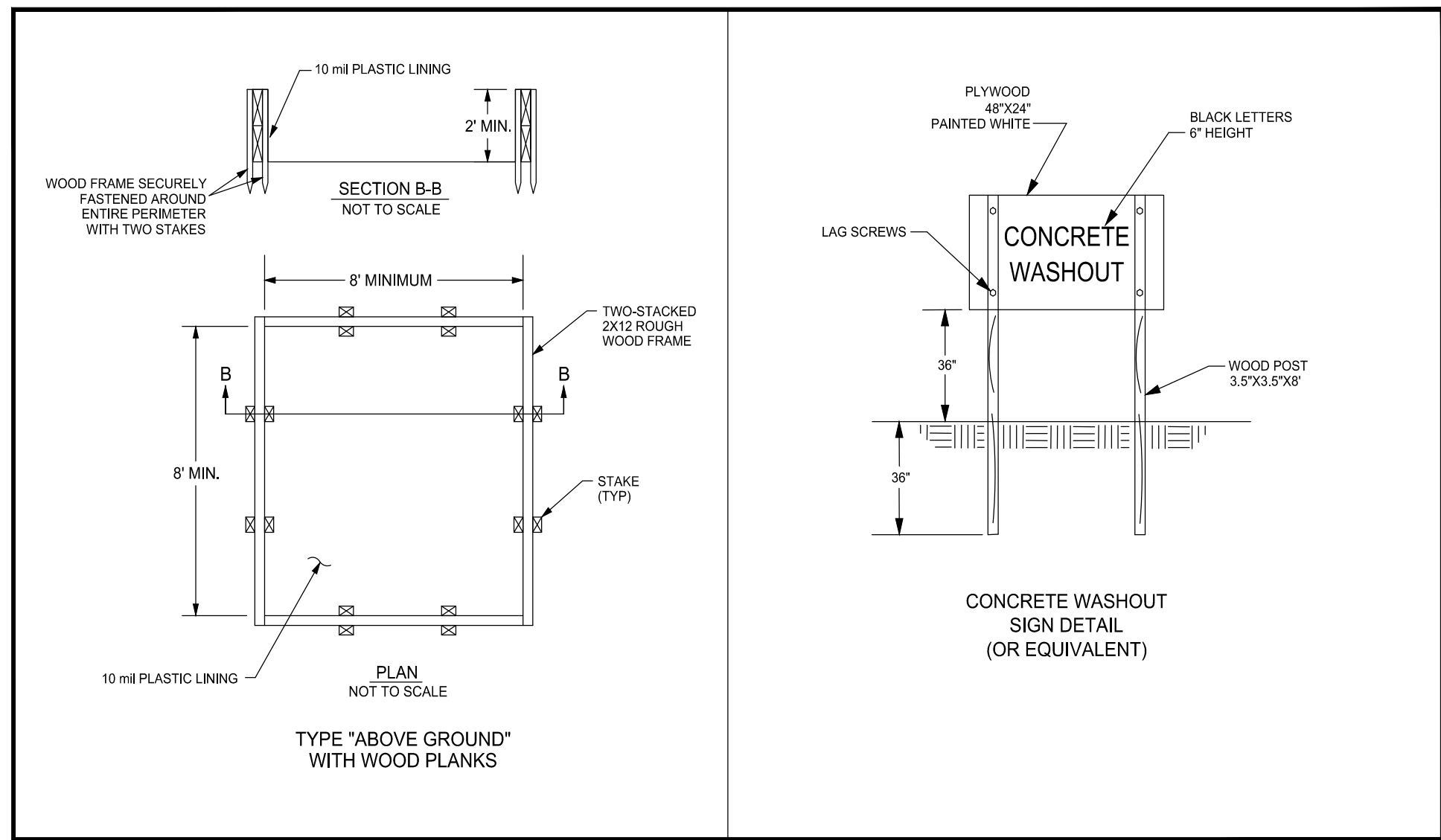
HANDICAP SIGNAGE WITH CONCRETE BASE DETAIL
NO SCALE



6" PIPE BOLLARD DETAIL
NO SCALE



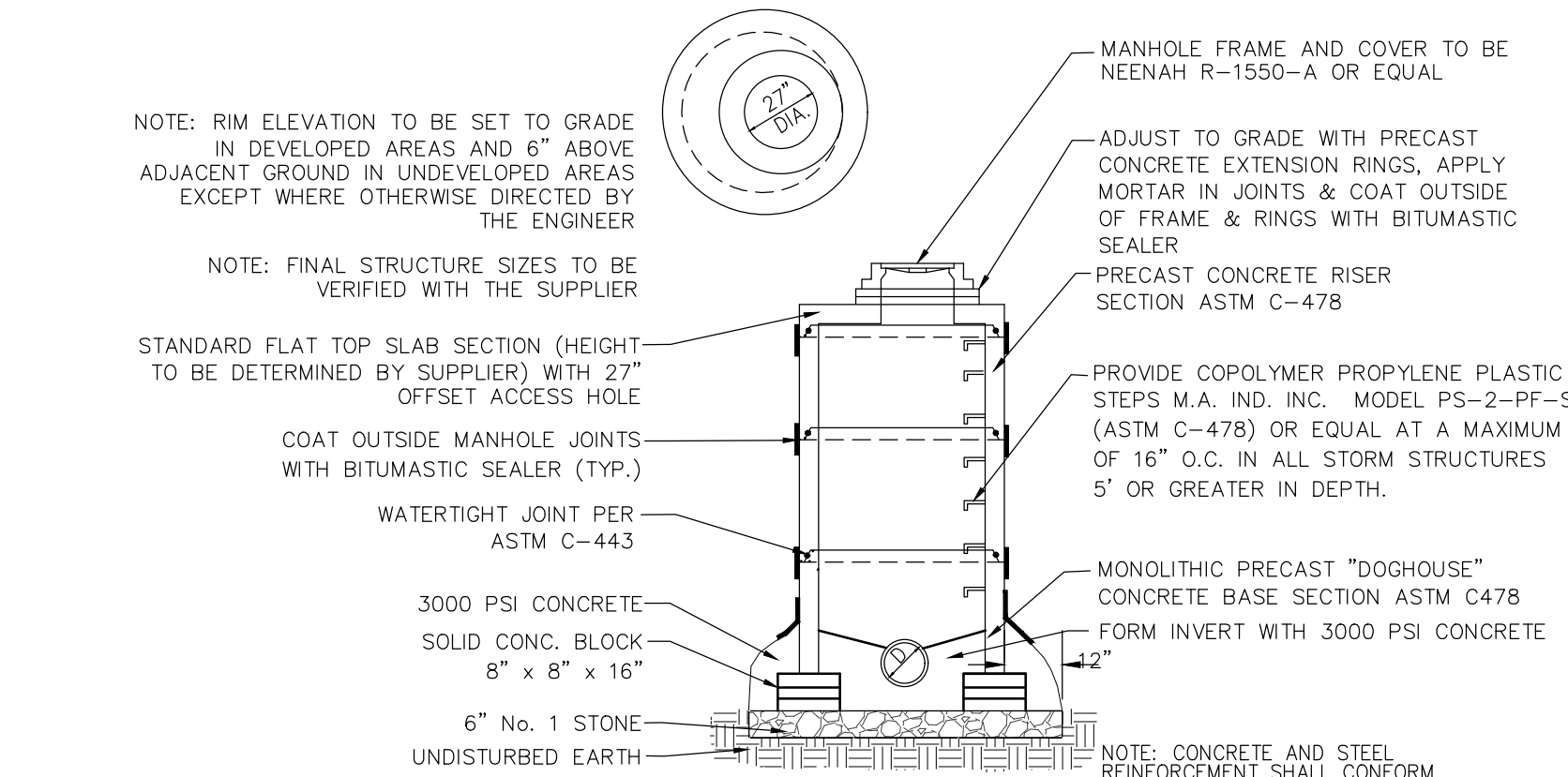
SECTION A-A
TYPICAL DITCH X-SECTION
NO SCALE



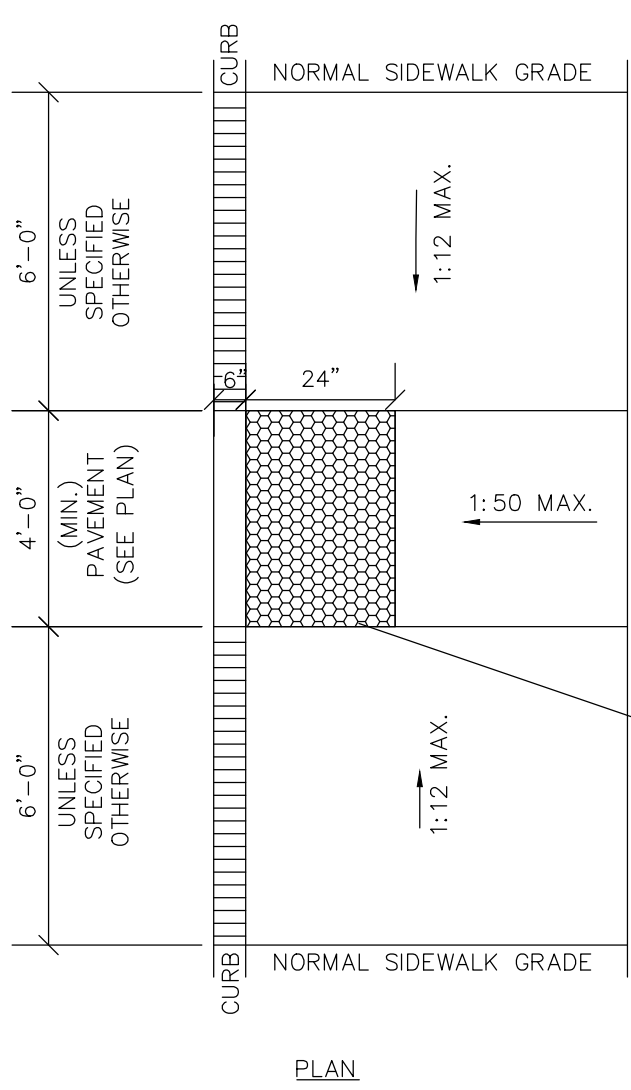
CONCRETE WASHOUT DETAIL
NO SCALE



STORM CATCH BASIN DETAIL
NO SCALE



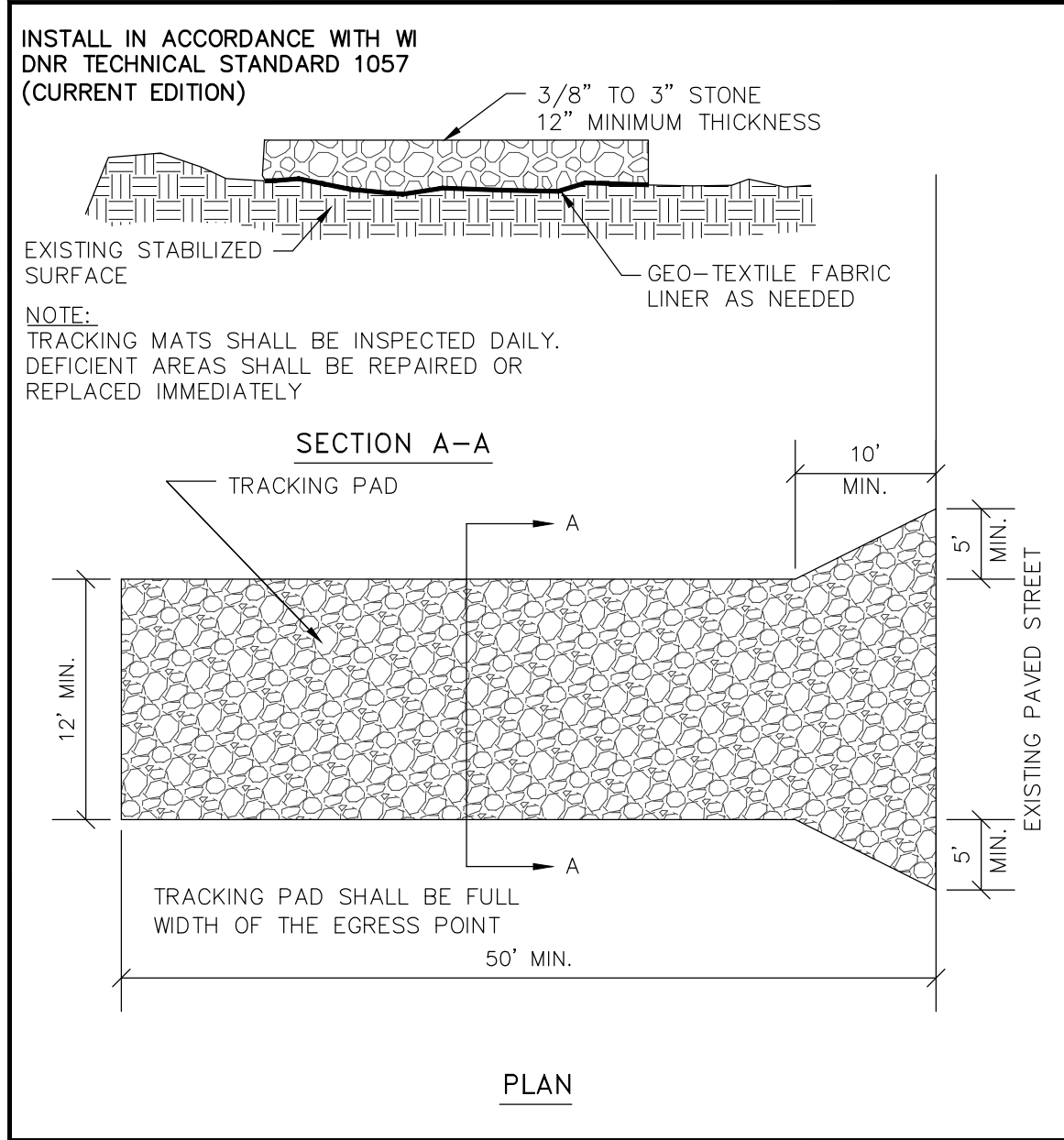
STORM MANHOLE OVER EXISTING PIPE DETAIL
NO SCALE



NOTE:
ADA CURB RAMP SHALL CONFORM TO THE CURRENT EDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN FOR ALL REQUIREMENTS.

DETECTABLE WARNING SURFACE: SURFACE TO BE TRUNCATED DOMES WITH A BASE DIAMETER OF 0.9" MIN. TO 1.4" MAX. AND A TOP DIAMETER OF 0.50" MIN. TO 0.55" MAX. OF THE BASE DIAMETER. HEIGHT OF DOMES SHALL HAVE A HEIGHT OF 0.2". TRUNCATED DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6" MIN. AND 2.4" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. MEASURED BETWEEN THE MOST ADJACENT DOMES ON THE GRID. DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

ADA SIDEWALK RAMP DETAIL
NO SCALE



TRACKPAD DETAILS
NO SCALE

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

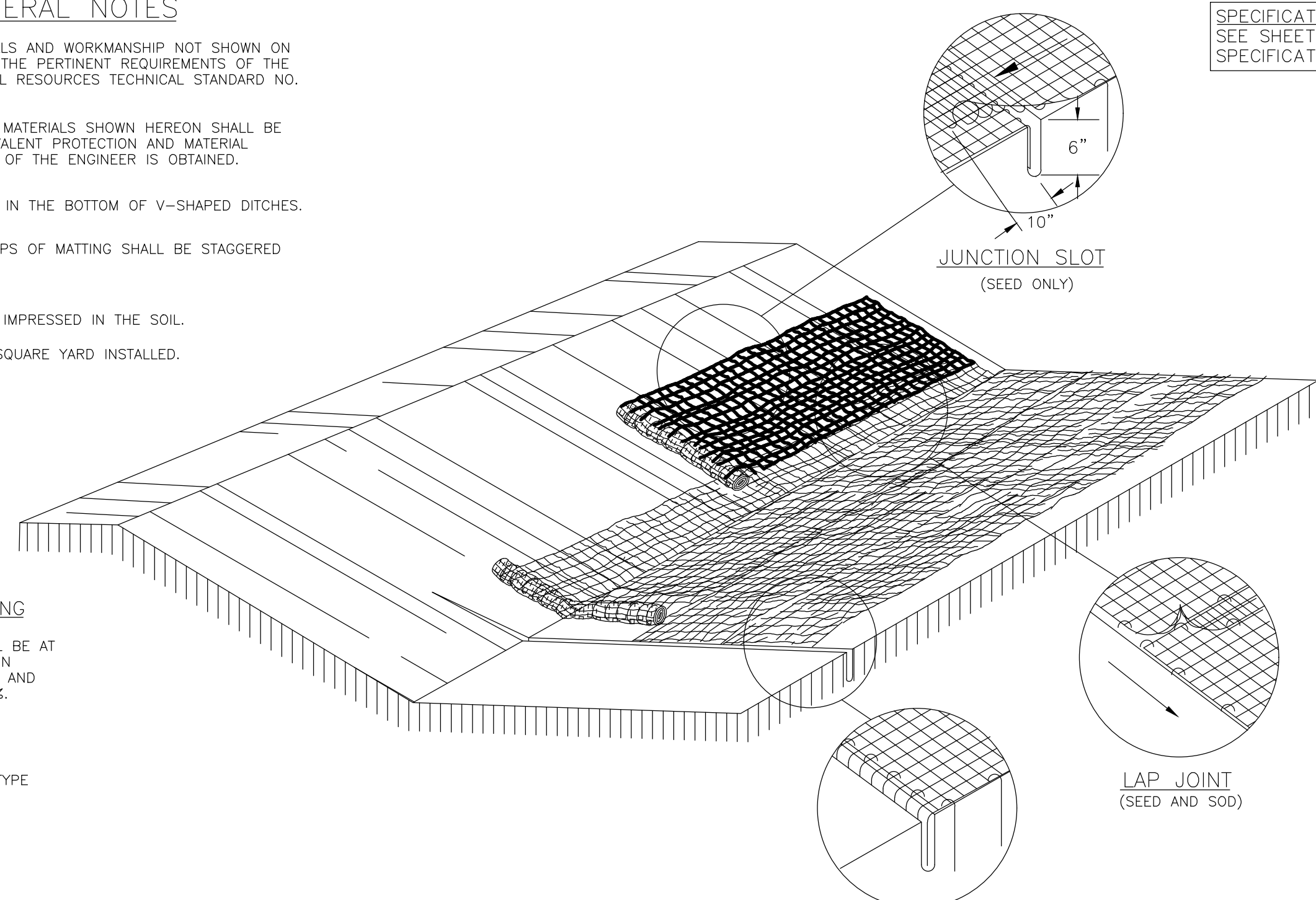
EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

EROSION MAT SHALL PAID BY THE SQUARE YARD INSTALLED.

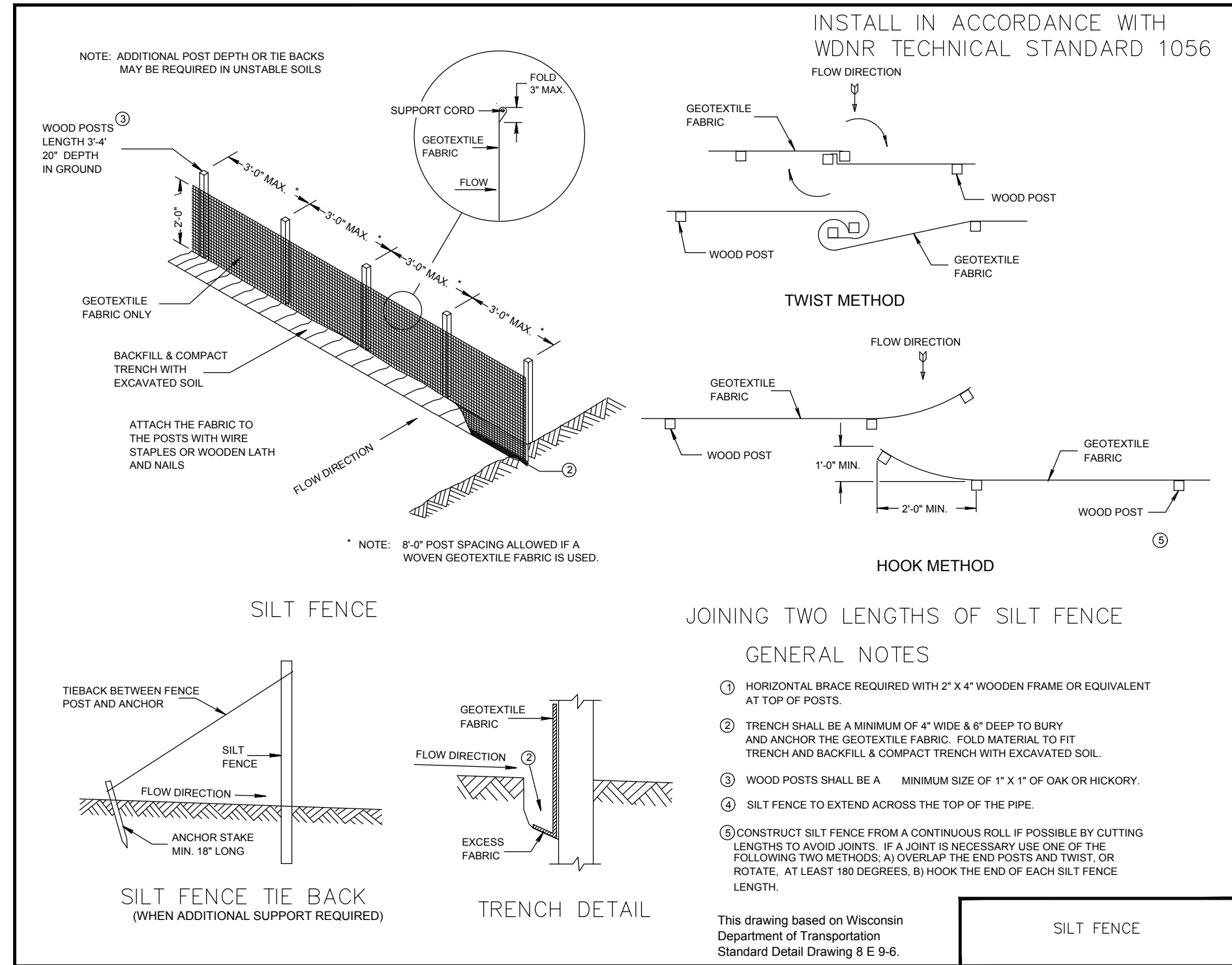
NOTE:
SEE SPECIFICATIONS FOR MATTING TYPE

EROSION MAT OVER SEEDING

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3% AND 50 FEET ON GRADES EXCEEDING 3%.



CHANNEL EROSION MAT DETAIL
NOT TO SCALE



SILT FENCE - INSTALLATION DETAIL
NO SCALE

PROJECT INFORMATION

PROPOSED ADDITION FOR:
MORNING STAR LUTHERAN SCHOOL
N171 W20131 HIGHLAND ROAD • JACKSON, WI 53037

PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 8, 2021

JOB NUMBER

2168580

SHEET NUMBER

C2.0

CIVIL DETAILS

PROJECT INFORMATION

PROPOSED ADDITION FOR:
MORNING STAR LUTHERAN SCHOOL
N171 W20131 HIGHLAND ROAD • JACKSON, WI 53037

PROFESSIONAL SEAL

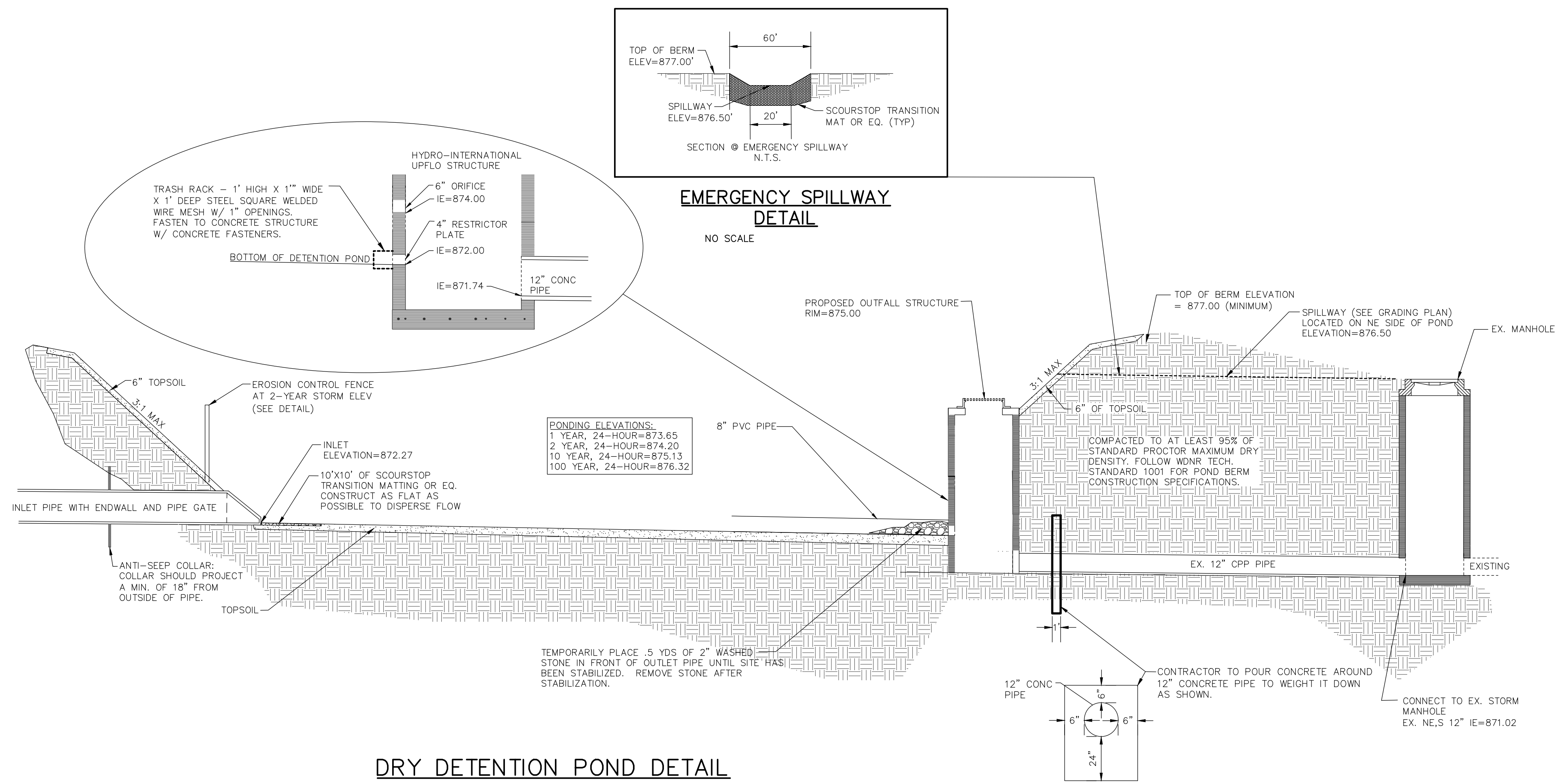
PRELIMINARY DATES
DEC. 8, 2021

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SHEET NUMBER

C2.1

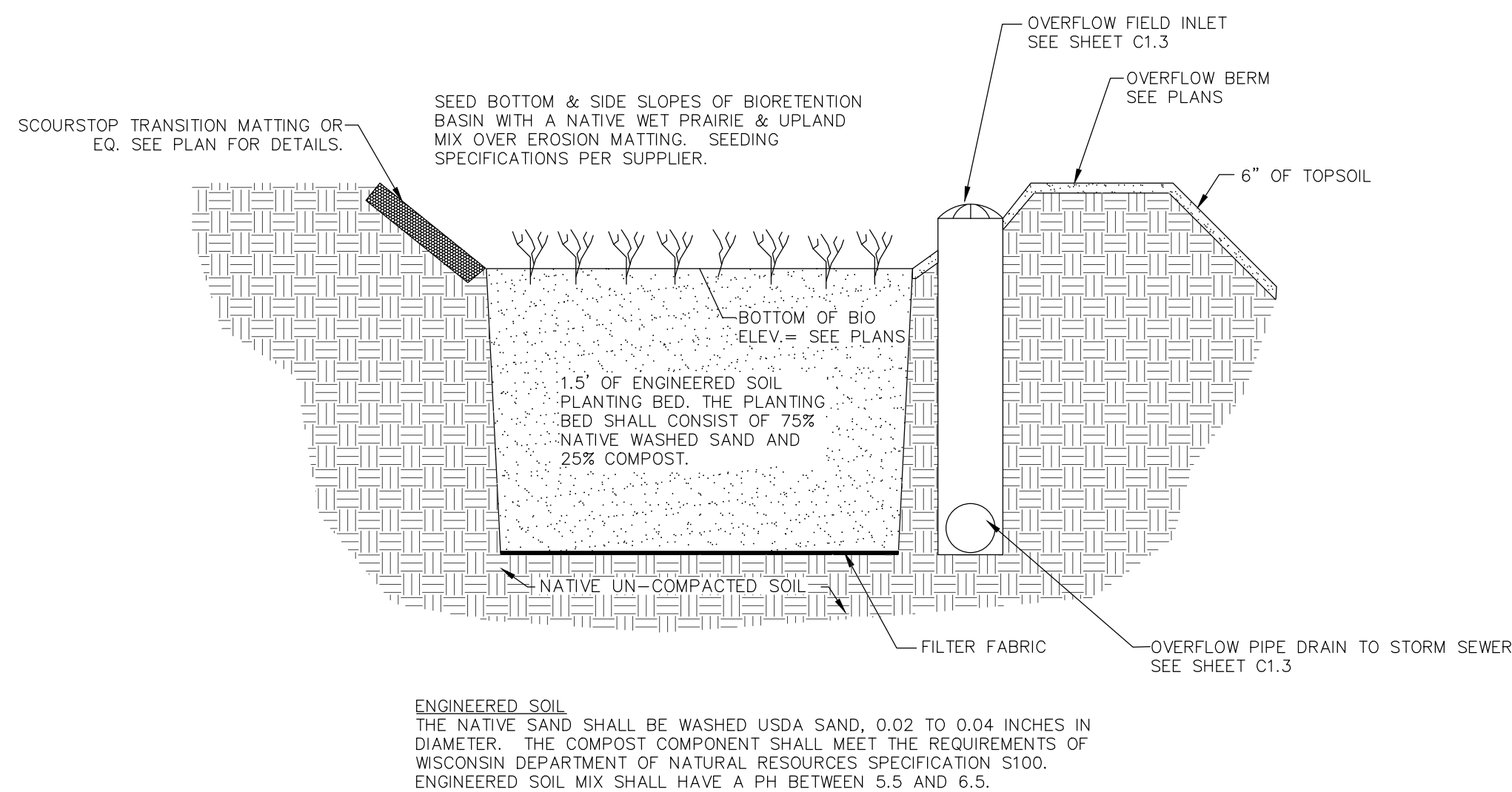


DRY DETENTION POND DETAIL

NO SCALE

STORMWATER POND ASBUILT NOTE

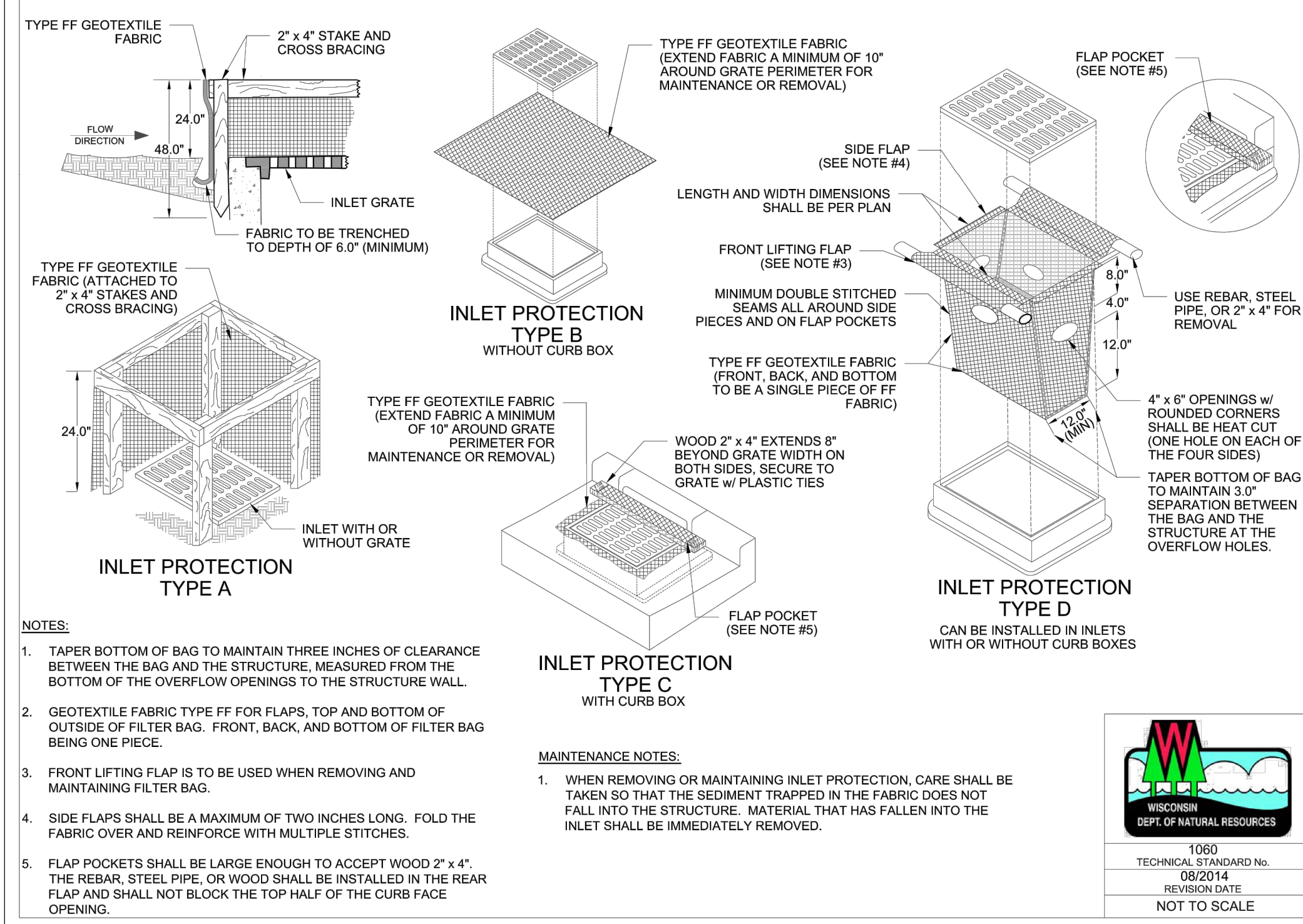
CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS-BUILT SURVEY FOLLOWING COMPLETION OF THE CONSTRUCTION OF THE STORMWATER POND. CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF A 3 DAY NOTICE. PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.



GRASSED BIOFILTRATION BASIN

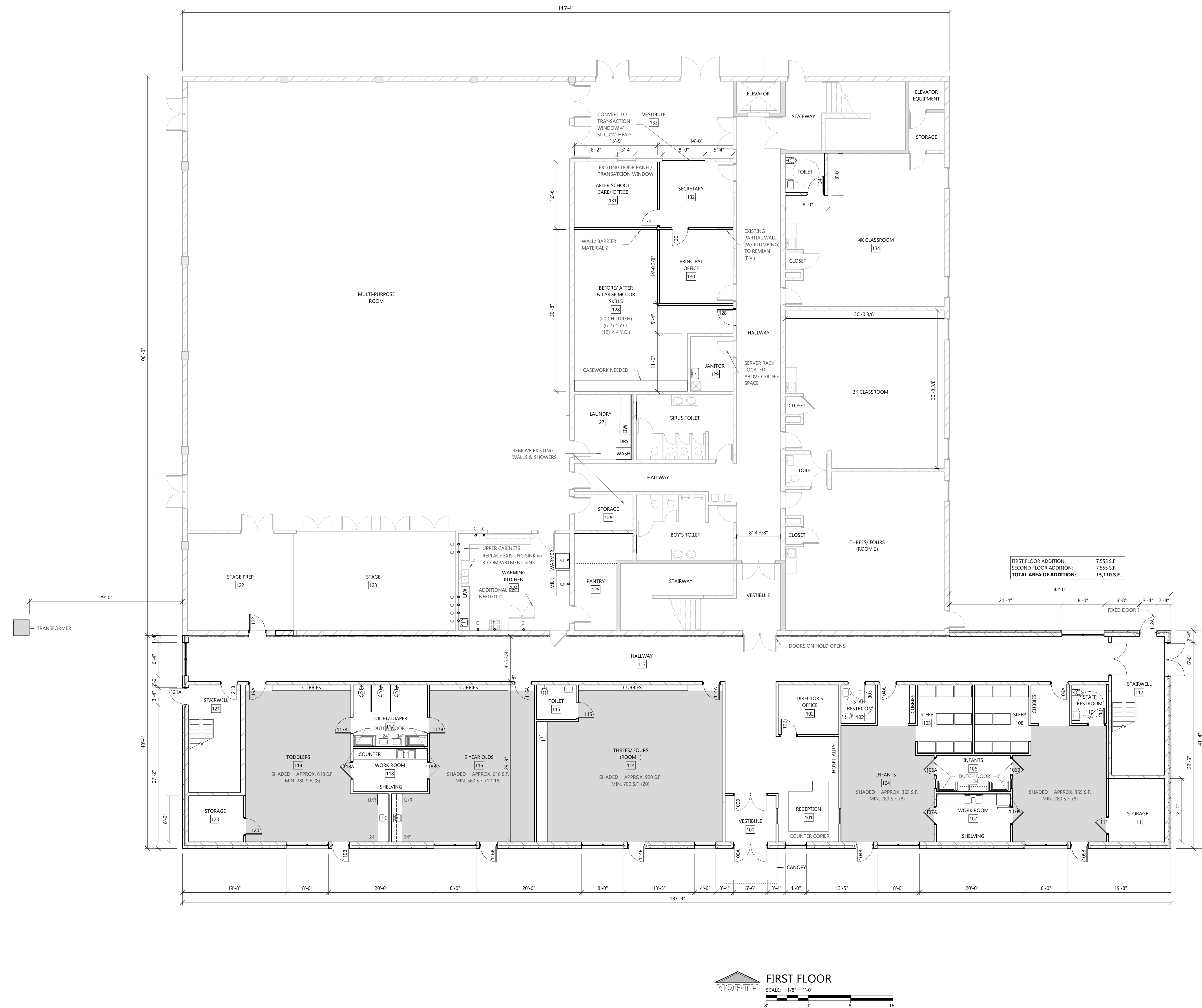
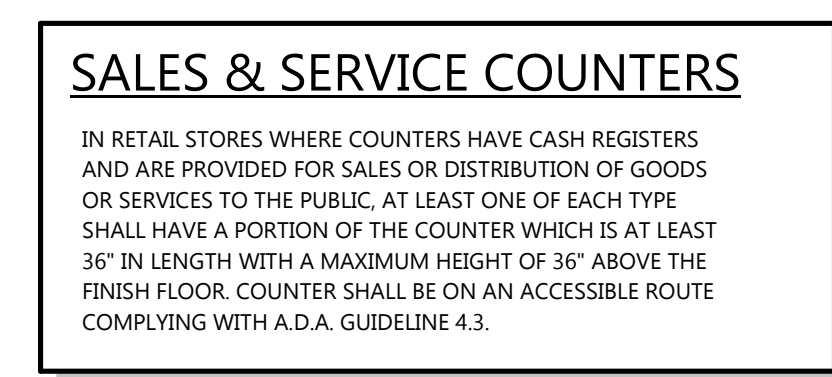
NO SCALE

FIGURE 1. INLET PROTECTION TYPES A, B, C AND D

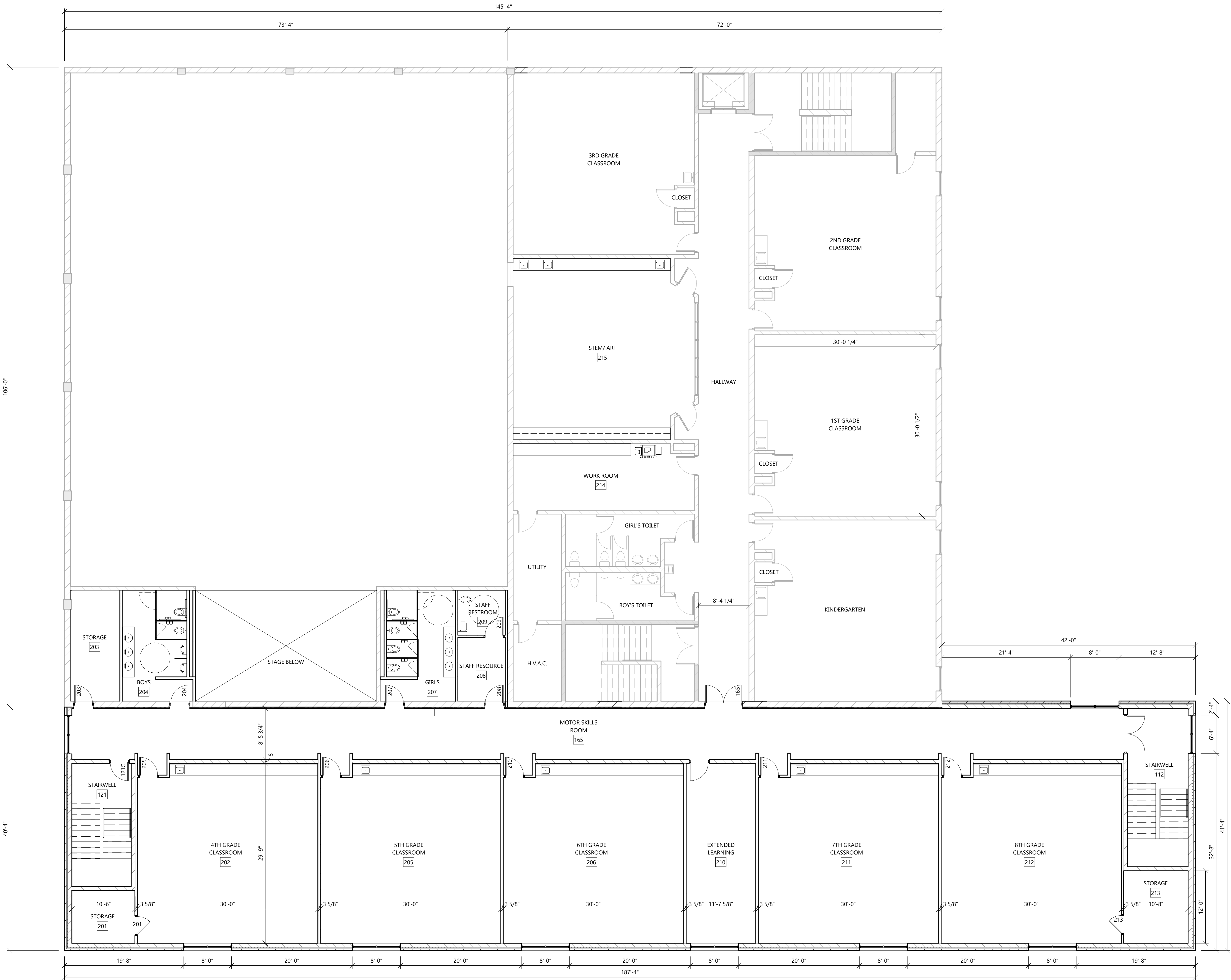


INLET PROTECTION DETAIL

NO SCALE



C:\projects\Documents\2168580\Arch\2021\10_26_21\2168580.dwg
12/20/2021 15:54:41 AM



SECOND FLOOR

SCALE: 1/8" = 1'-0"



SYMBOLS LEGEND

- SEE SHEET AX.X FOR WALL TYPES
- SEE SHEET AX.X FOR CURB DETAILS
- EXIT SIGNAGE
- FIRE EXTINGUISHER - SEE AS SHEETS
- FIRE EXTINGUISHER w/ CABINET - SEE AS SHEETS
- GUARD POST/GOAL POST DESIGNATION - SEE SHEET AX.X FOR DETAILS
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- STUD WALL
- CONCRETE WALL
- MASONRY VENEER
- C.M.U. WALL

- (1) HOUR FIRE RATED
- (2) HOUR FIRE RATED
- (3) HOUR FIRE RATED
- (4) HOUR FIRE RATED

SEE PLAN FOR ALL WALL WIDTHS

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED
- NEW DOOR

GENERAL NOTES

- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 @ 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ 1/2" OR 5/8" GYPSUM BOARD BOTH SIDES - EXTEND TO BOTTOM CHORD OF TRUSSES / UNDERSIDE OF DECK.
- ALL INTERIOR WALLS TO BE 3 5/8" OR 6" METAL STUDS @ 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ 5/8" GYPSUM BOARD BOTH SIDES - EXTEND TO BOTTOM CHORD OF TRUSSES.
- PROVIDE 3 1/2" SOUND BATT INSULATION AROUND PERIMETER OF TOILET ROOM AND OFFICE WALLS.
- MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS)
- ALL EXTERIOR WINDOWS TO HAVE ALUMINUM FLASHING RETURNS AT HEAD, JAMBS, AND SILL OF ALL WINDOWS.
- ALL EXTERIOR WINDOWS TO HAVE GYPSUM BOARD RETURNS AT HEAD AND JAMBS AND PLASTIC LAMINATE COVERED WOOD SILL.
- INTERIOR GLAZED OPENINGS IN OFFICES TO BE 1/4" GLASS SET IN OAK JAMBS AND STOPS (SEE PLAN FOR SIZES).
- SEE A4 SHEETS FOR TYPICAL CONTROL JOINT DETAILS.
- SEE A7 SHEETS FOR TYPICAL ATTIC ACCESS PANEL.
- SEE A7 SHEETS FOR TYPICAL MECHANICAL PIPE PENETRATION THRU CEILING VAPOR BARRIER.
- ALL CABINETS AND COUNTERTOPS TO HAVE PLASTIC LAMINATE FRONTS AND TOPS.
- KITCHEN AND CABINET W/ COUNTERS BY GENERAL CONTRACTOR AS REQUIRED.
- ALL CABINETRY AND EQUIPMENT BY OTHERS - SEE EQUIPMENT DRAWING BY INTERIOR DESIGNER FOR REQUIREMENTS.
- FOOD PREP AREA TO BE VERIFIED W/ OWNER. PROVIDE SHOP DRAWINGS ON EQUIPMENT.

SALES & SERVICE COUNTERS

IN RETAIL STORES WHERE COUNTERS HAVE CASH REGISTERS AND ARE PROVIDED FOR SALES OR DISTRIBUTION OF GOODS OR SERVICES TO THE PUBLIC, AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36" IN LENGTH WITH A MAXIMUM HEIGHT OF 36" ABOVE THE FINISH FLOOR. COUNTER SHALL BE ON AN ACCESSIBLE ROUTE COMPLYING WITH A.D.A. GUIDELINE 4.3.

COLLABORATION

PROJECT INFORMATION

PROPOSED ADDITION FOR:
MORNING STAR LUTHERAN SCHOOL
N171 W20131 HIGHLAND ROAD • JACKSON, WI 53037

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 4, 2021
NOV. 9, 2021
NOV. 15, 2021
NOV. 22, 2021
NOV. 23, 2021
DEC. 1, 2021

JOB NUMBER

2168580

SHEET NUMBER

A1.2

ARCHITECTURAL SECOND FLOOR PLAN

NOT FOR CONSTRUCTION

Long-term Stormwater Management
Maintenance Agreement

SITE NAME

Morning Star Early Childhood Addition

PROPERTY LEGAL DESCRIPTION

Tax Parcel Identification Number: V3_046300E
See Exhibit A for legal description.

RESPONSIBLE PARTY

Owner: Morning Star Evangelical Lutheran Church of Jackson
The owner is responsible for satisfying the provisions of this agreement throughout the project site for the duration of the construction period and upon completion of all construction phases. Unless otherwise expressly provided herein, all representations in this agreement shall remain operative and in full force and effect on the parties and subsequent assignees or purchasers. This agreement shall apply to the parties and any subsequent purchasers of the parcel or any portion thereof. No modifications, alteration, or amendment to this agreement shall be binding upon any party hereto until such modification; alteration or amendment is reduced to writing and executed by both parties hereto.

PERMANENT COMPONENTS OF THE STORMWATER SYSTEM

The stormwater system consists of the following components:

- Catch Basin/Curb Inlet Grates
- Retention/Detention Basin
- Grass Swales
- Rain Garden
- Rip Rap

INSPECTION AND MAINTENANCE (See Exhibit B for Operation and Maintenance Plan)

All components of the stormwater system shall be inspected at least semiannually in early spring and early autumn, and after major storm events. Repairs will be made whenever the performance of a stormwater control structure is compromised. Soil erosion, clogged or damaged inlets, sedimentation of the pond, rilling of side slopes, and other compromised features of the stormwater system are examples of items requiring repair work.
The operation and maintenance plan shall remain onsite and be available for inspection when requested by the Department of Natural Resources or the Village of Jackson. When requested, the owner shall make available for inspection all maintenance records to the department or agent for the life of the system.

DUTY TO PROVIDE MAINTENANCE

In the event the Owner fails to perform its obligations under this agreement, the Village of Jackson shall have the authority to inspect and maintain all components of the stormwater system. In such an event, all associated costs will be assessed back as a special charge against the property pursuant to Sec. 66.0627 Wis. Stats. **Said charge shall be a lien on the property and shall be collected with the real estate taxes.**

SIGNATURES

The undersigned agree to the provision set forth in this agreement.
For the Owner:

Name

Title

Signature

Date

STATE OF WISCONSIN)
) S.S.
ROCK COUNTY)

Personally came before me this _____ day of _____, 2022, the above named _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public
State of Wisconsin
My Commission expires _____

THIS INSTRUMENT DRAFTED BY:
Jason Daye - Excel Engineering Inc

Recording Area
Name and Return Address Morning Star N171 W20131 Highland Rd Jackson, WI 53037

Exhibit A
Legal Description

Lot 1 of Certified Survey Map No. 5461, recorded in the Washington County Registry on April 16, 2002 in Volume 39 of Certified Survey Maps on Pages 54-58, as Document No. 929487, being a redivision of Lots, 1, 2 and 4 of Certified Survey Map No. 4587 as recorded in Volume 31 of Certified Survey Maps on Pages 1-3, as Document No. 704594 being in the Northwest 1/4 of the Southwest 1/4 of Section 17, Township 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin.

Exhibit B

The owner of the property affected shall inspect and maintain the following stormwater management systems frequently, especially after heavy rainfalls, but at least on an annual basis unless otherwise specified.	
STORMWATER FACILITY	TYPE OF ACTION
1. Lawn and Landscaped Areas	All lawn areas shall be kept clear of any materials that block the flow of stormwater. Rills and small gullies shall immediately be filled and seeded or have sod placed in them. The lawn shall be kept mowed, tree seedlings shall be removed, and litter shall be removed from landscaped areas.
2. Swales	All grassed swales showing signs of erosion, scour, or channelization shall be repaired, reinforced, and revegetated immediately. All swales shall be repaired to the original plan requirements. Mowing shall take place no less than twice per year at a height of no less than three inches. Grasses shall not be allowed to grow to a height that permits branching or bending. Mowing shall only take place when the ground is dry and able to support machinery.
3. Rip Rap	All rip rap showing signs of erosion or scour shall be repaired, reinforced, and revegetated immediately. Rip rap should be kept clean of vegetation and sediment. All rip rap shall be repaired to the construction plan requirements.
4. Catch Basin/Curb Inlet Grates	The grate openings to these structures must be cleared of any clogging or the blocking of stormwater flow from getting into the stormwater conveyance system of any kind.
5. Retention/Detention Basins	Trash racks, standpipes, outlet structures, inlet and outlet pipes, and anti vortex devices shall be kept clear of debris. Non-structurally sound devices shall be replaced. Floating litter and algae shall be removed monthly. All grassed areas, embankments, and flow control devices showing signs of erosion shall be repaired, reinforced, and revegetated immediately to the original plan requirements. Dry basins shall be mowed no less than twice per year at a height of no less than 3 inches. Grasses shall not be allowed to grow to a height that permits branching or bending. Mowing shall only take place when the ground is dry and able to support machinery. Every 5 years, beginning in the summer of 2022, the elevations of the pond bottom shall be surveyed to determine the permanent pool depth and sediment depth in the pond. When silt has accumulated three feet from the original design depth elevation of the pond, the pond shall be cleaned out and restored back to the original design depth of a minimum of 5' from the normal water elevation. Cleaning, removal, and deposit of silt from the detention pond shall be done by means and

	methods acceptable to the Wisconsin Department of Natural Resources.
6. Rain Garden	During the first 2-3 months of establishment, the garden will require, at a minimum, watering on a weekly basis depending on weather. Visual inspections of the garden shall be performed annually at a minimum. Maintenance shall be required when standing water occurs 3 days after a rain event. Maintenance shall consist of the removal of sediment, and a 2 foot undercut. Replace the undercut material with 1/3 topsoil, 1/3 compost, and 1/3 sand. Restoration of plant material shall be by plugging 1 native perennial per square foot, not by seeding. In the spring of each growing year, dead vegetation shall be removed to allow for new growth. At least 2 times during the growing season, the garden should be weeded and additional hardwood mulch shall be added as needed to assist in weed suppression.
7. Record of Maintenance	The operation and maintenance plan shall remain onsite and be available for inspection when requested by WDNR. When requested, the owner shall make available for inspection all maintenance records to the department or agent for the life of the system.

STAFF REVIEW COMMENTS

Plan Commission December Meeting – January 6, 2022

Agenda Item #4 – Conditional Use Amendment – Morning Star Lutheran Church – Early Childhood Learning Building Addition – N171W20131 Highland Road

Building Inspection

- Proposal includes a two-story, 15,110 sq. ft. addition to the existing structure to provide additional area for early childhood learning as well as a reconfiguration of certain areas of the existing parking lot and creation of a new driveway along the west side of the property.
- All building, plumbing, HVAC and fire sprinkler/fire alarm systems, where proposed, shall be reviewed and approved by the State of WI.
- ADA parking requirements, including van-accessible spaces, shall comply with applicable regulations and shall be based on the total number of parking stalls provided. Passenger loading areas shall also be accessible. (Note: 31 parking stalls are proposed.)
- Building plans do not disclose full construction details or proposed occupant loads so it is not possible to determine how the designer intends to meet the exception for not sprinklering the addition given the fact that the addition area exceeds the exceptions in both IBC 903.2.1.3 and 903.2.3.
- It is recommended that the proposed new refuse enclosure incorporate a personnel door for direct access.
- Buffering is required between the subject parcel and the adjacent residential parcel. It is recommended that the buffering include both a privacy fence as well as a vegetative buffer to attenuate noise.
- Zoning designation language is included below for reference.

Sec. 48-150. - I-1 Institutional and Public Service District.

(a) *Generally.* The I-1 Institutional and Public Service District is intended to eliminate the ambiguity of maintaining, in unrelated use districts, areas which are under public or public-related ownership and where the use for public purpose is anticipated to be permanent.

(b) *Permitted uses.* None; all uses are conditional uses.

(c) *Lot area and width.* Lots shall be a minimum of 8,000 square feet in area and shall not be less than 70 feet in width at the setback line.

(d) *Setbacks and yards.* There shall be a minimum building setback of 30 feet from the right-of-way of all streets. There shall be a side yard on each side of all buildings not less than 12 feet in width and a rear yard of not less than 25 feet.

Public Works/Engineering

- The Stormwater Management Plan with date of December 8, 2021 per the design of maximum extent practicable approach is approved as submitted. Per the design, a new bio-retention area with be created and Dry Pond C will be expanded to accommodate the new stormwater run-off.
- The building addition will cause an increase to the annual water usage to the existing building, recommend after a year of occupancy the water usage shall be calculated to determine if additional REUs have been generated for increase charge of Sewer Connect Fee and Water Impact Fee.

Police Department

- No Comments

STAFF REVIEW COMMENTS

Plan Commission December Meeting – January 6, 2022

Fire Department

- Fire sprinkler system may be needed in new addition as square footage of addition is over 12,000 square feet.
- State approved plans will be required.
- Fire Hydrant needed on south side of building.

Administrative/Planning

- Staff recommend approval of the expansion seeing as parking capacity, hours of operation, stormwater management and setback concerns were all addressed in the applicant's submittal. Additional information regarding the potential relocation of playground/recreational amenities would be a topic of interest to Staff so as to understand any impacts that change may have on the surrounding residential parcels.